



CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

AGENDA

Joint REGULAR Meeting

Wednesday, February 12, 2025 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California



- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports. Public speakers have 3 minutes each to speak on each topic. Time may be donated by another

individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

COUNCIL DISCLOSURE

Pursuant to the Levine Act (Gov't Code Section 84308), any party to a permit, license, contract (other than competitively bid, labor or personal employment contracts) or other entitlement before the Council is required to disclose on the record any contribution, including aggregated contributions, of more than \$250 made by the party or the party's agents within the preceding 12 months to any Council Member. Participants and agents are requested to make this disclosure as well. The disclosure must include the name of the party or participant and any other person making the contribution, the name of the recipient, the amount of the contribution, and the date the contribution was made.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<u>CITY COUNCILMEMBERS</u>		
Lesa Heebner Mayor		
Kristi Becker Deputy Mayor / Councilmember District 2		Jill MacDonald Councilmember District 4
David A. Zito Councilmember District 1		Jewel Edson Councilmember District 3

Alyssa Muto
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

- SANDAG

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:

An opportunity for City Council to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.

CITY MANAGER / CITY ATTORNEY REPORTS:

An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.3.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held January 29, 2025.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for January 11, 2025 – January 24, 2025.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. ADA Pedestrian Ramps, Bid No. 2024-01 - Notice of Completion. (File 0830-40)

Recommendation: That the City Council

1. Adopt **Resolution 2025-013**:
 - a. Authorizing the City Council to accept, as complete, the ADA Pedestrian Ramps, Bid No. 2024-01, constructed by LC Paving & Sealing, Inc.
 - b. Authorizing the City Clerk to file a Notice of Completion.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 1128 Solana Dr., Applicant: Hall Family Trust, Case: DRP24-001, SDP24-003, APN: 298-371-27-10. (File 0600-40)

Recommendation: That the City Council

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan, and may be found, as conditioned, to meet the discretionary findings required to approve a DRP. The project also meets the requirements of the SDP. Therefore, should the City Council be able to make the findings to approve the DRP, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-012** conditionally approving a DRP and SDP to construct a new 3,843 square-foot, two-story single-family residence with an attached two-car garage and perform associated site improvements on a vacant property at 1128 Solana Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. La Colonia Master Plan Update. (File 0720-15)

Recommendation: That the City Council

1. Receive the report and provide direction to allow staff to move forward with an update to the La Colonia Master Plan for Council approval at a later date.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 26, 2024

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson

- d. Parks and Recreation Committee – Zito, Edson
 - e. Public Arts Committee – Edson, Heebner
 - f. School Relations Committee – Becker, MacDonald
 - g. Solana Beach-Del Mar Relations Committee – Heebner, Edson
- CITIZEN COMMISSION(S)**
- a. Climate Action Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is February 26, 2025
*Always refer to the City’s website Event Calendar for an updated schedule or contact
 City Hall. www.cityofsolanabeach.org 858-720-2400*

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
 COUNTY OF SAN DIEGO } §
 CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the February 12, 2025 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on February 05, 2025 at 5:15 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., February 12, 2025, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
 City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission’s Agenda webpage. See the [Citizen Commission’s Agenda webpages](#) or the City’s Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

ACTION MINUTES

Joint Meeting - Closed Session

Wednesday, January 29, 2025 5:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California
 Amended to include Councilmember remote participation for just cause
 pursuant to Government Code section 54953(j)(2)(B). (1-29-25 1:15pm)



Public Access Link: <https://cosb-org.zoom.us/j/81401821129?pwd=KSFrXN0Pdc9EkbnPUVZUtY41drcvA.1>

Action Minutes contain formal actions taken at a City Council meeting.

<u>CITY COUNCILMEMBERS</u>		
Kristi Becker Deputy Mayor / Councilmember District 2	Lesa Heebner Mayor	Jill MacDonald Councilmember District 4
David A. Zito Councilmember District 1		Jewel Edson Councilmember District 3
Alyssa Muto City Manager	Johanna Canlas City Attorney	Angela Ivey City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Kristi Becker, Jill MacDonald, David A. Zito, Jewel Edson,
 Absent: None
 Also Present: Alyssa Muto, City Manager
 Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session.

1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)
 One (1) Potential case.

ACTION: No reportable action.

ADJOURN:

Mayor Heebner adjourned the meeting at 5:25 p.m.

Approved: _____

Angela Ivey, City Clerk



CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

ACTION MINUTES

Joint REGULAR Meeting

Wednesday, January 29, 2025 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Amended to include Councilmember Edson remote participation for just cause pursuant to Government Code section 54953(j)(2)(B). (1-29-25 1:15pm)

Public Access Link: <https://cosb-org.zoom.us/j/84834847790>



Action Minutes contain formal actions taken at a City Council meeting.

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CITY COUNCILMEMBERS

Lesa Heebner
Mayor

Kristi Becker
Deputy Mayor / Councilmember District 2

Jill MacDonald
Councilmember District 4

David A. Zito
Councilmember District 1

Jewel Edson
Councilmember District 3

Alyssa Muto
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:00 p.m.

Present: Lesa Heebner, Jewel Edson (remote as noticed above), Kristi Becker, Jill MacDonald, David A. Zito

Absent: None

Also Alyssa Muto, City Manager

Present: Johanna Canlas, City Attorney
 Angela Ivey, City Clerk
 Dan King, Assistant City Manager
 Dan Goldberg, Acting Dir. Engineering/Public Works
 Rachel Jacobs, Finance Dir.
 Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

FLAG SALUTE:

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

- Annual Fire Department Update

Captain Josh Gordon presented a PowerPoint (on file).

- Annual Marine Safety Department Update

Captain Greg Uruburu presented a PowerPoint (on file).

APPROVAL OF AGENDA:

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to approve and moving Item C.1. up to be heard before public hearings. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

ORAL COMMUNICATIONS: None

CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:

CITY MANAGER / CITY ATTORNEY REPORTS:

A. CONSENT CALENDAR: (Action Items) (A.1. - A.4.)

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held January 15, 2025.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for December 14, 2024 – January 10, 2025.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.3. Quarterly Budget Report - Fiscal Year 2025. (File 0330-30)

Recommendation: That the City Council

1. Receive the quarterly report listing changes made to the FY 2025 General Fund Adopted Budget.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.4. Reclassification of Staff Positions, and the Addition of a Full-Time Ocean Lifeguard Classification to the City's Classification and Compensation Plan and Approving the Sideletter with the Solana Beach Employees' Association – Marine Safety Unit. (File 0510-40)

Recommendation: That the City Council

1. Adopt **Resolution 2025-010** approving the updates to the FY 2024/2025 Salary and Compensation Plans to include the following:
 - a. Creation of the Deputy Director of Public Works classification (Attachment 3) and the reclassification of the current Public Works Operations Manager into this new role.
 - b. Incorporate the Deputy Director of Public Works classification to the FY 2024/2025 Management Salary Schedule 1, pay grade M7 (Attachment 2).
 - c. Creation of the Senior Insurance & Risk Manager classification (Attachment 4) and the reclassification of the current Risk Manager into this new role.
 - d. Incorporate the Senior Insurance & Risk Manager classification to the FY 2024/2025 Management Salary Schedule 1, pay grade M4-A (Attachment 2).
 - e. Creation of the Sustainability Program Manager classification (Attachment 5) and the reclassification of the current Senior Management Analyst (Sustainability) into this new role.
 - f. Incorporate the Sustainability Program Manager classification to the FY 2024/2025 Management Salary Schedule 1, pay grade M4 (Attachment 2).
 - g. Creation of two full-time Senior Ocean Lifeguard classifications (Attachment 6) and incorporate this newly created classification to the FY 2024/2025 Marine Safety Salary Schedule 4, pay grade MS-7001 (Attachment 7).
 - h. Approve the reclassification of one of the three (3) current Marine Safety Sergeants to a Marine Safety Lieutenant position for a total of two (2) Lieutenants in the Marine Safety Department.
2. Adopt **Resolution 2025-011** approving the Side letter between the City and the SBEA-MSU to reflect the recommended changes above as they pertain to the Marine Safety Unit.
3. Authorize the City Treasurer to amend the FY 2024/2025 Adopted Budget accordingly.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.1.)

C.1. Fiscal Year 2024 Annual Comprehensive Financial Report (ACFR). (File 0330-30)

Recommendation: That the City Council

1. Accept and file the City of Solana Beach Annual Comprehensive Financial Report (ACFR) for the fiscal year July 1, 2023 – June 30, 2024.
2. Accept and file The Auditor's Communication with Those Charged with Governance letter.

Shanna Ayala, Partner, DavisFarr, presented a PowerPoint (on file).

Rachel Jacobs, Finance Director, presented a PowerPoint (on file).

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

B. PUBLIC HEARINGS: (B.1. – B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 501 S. Rios, Applicant: Ackad, Case: DRP23-007, SDP23-009, APN: 298-092-05. (File 0600-40)

Recommendation: That the City Council

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-004** conditionally approving a DRP/SDP to demolish the existing development onsite and construct a replacement multi-level residence with a subterranean basement, attached garages, and perform associated site improvements at 501 South Rios Avenue, Solana Beach.

Corey Andrews, Principal Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Applicant

Jennifer Boly, Eos Architecture, presented a PowerPoint (on file).

Speakers in Opposition

Akiko Maeda

Motion: Moved by Councilmember Zito and second by Councilmember MacDonald to close the public hearing. **Approved 4/0/1.** Ayes: Heebner, Edson, MacDonald, Zito. Noes: None. Absent: Becker (recused). Motion carried.

Motion: Moved by Councilmember Zito and second by Mayor Heebner to approve. **Approved 4/0/1.** Ayes: Heebner, Edson, MacDonald, Zito. Noes: None. Absent: Becker (recused). Motion carried.

B.2. Public Hearing: 1505 Lomas Santa Fe, Applicant: Crown Castle, Case: CUP24-002. (File 0600-40)

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive public testimony, Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approved the project, adopt **Resolution 2025-006** conditionally approving a CUP to entitle a physically existing mono-broadleaf tree WCF and associated equipment located at 1505 Lomas Santa Fe Drive, Solana Beach.

Mayor Heebner opened the public hearing.

Council disclosures.

Corey Andrews, Principal Planner, presented a PowerPoint (on file).

Applicant

Mark Linman

Public Speakers

Dr. Kramer, Telecom Law, City's third-party consultant.

Council discussion.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to close the public hearing. **Approved 4/0/1.** Ayes: Heebner, Edson, Becker, Zito. Noes: None. Absent: MacDonald (recused). Motion carried.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to complete the project in 12 months. **Approved 4/0/1.** Ayes: Heebner, Edson, Becker, Zito. Noes: None. Absent: MacDonald (recused). Motion carried.

B.3. Public Hearing: 705 Barbara, Applicant: Watkins, Case: DRP23-013 APN: 263-091-07 (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan, and may be found, as conditioned, to meet the discretionary findings and supplemental regulations required to approve a DRP in the HOZ and SAOZ. Therefore, should the City Council be able to make the findings to approve the DRP, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-007** conditionally approving a DRP to legalize unpermitted site improvements including grading, drainage, hardscape, landscaping, fences and walls, a deck, and a swim spa at 705 Barbara Avenue, Solana Beach.

Katie Benson, Senior Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Applicant Presentation
Dale Watkins

Public Speakers
James Meyer
Carl Bullen (time donated by Brandyn Bullen)

Council discussion. Council received comments from neighbor on landscaping; applicant requested a continuance to work on the concerns with the neighbor and return to council at a later date.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to continue this item to a date certain of March 12, 2025. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.2.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.2. 2025 Annual Citizen Commission Appointments. (File 0410-05)

Recommendation: That the City Council

1. Appoint three (3) members to the Budget and Finance Commission nominated/appointed by individual members (Mayor Heebner, Councilmember Edson, and Councilmember Zito) for two-year terms.

Motion: Moved by Councilmember Zito and second by Mayor Heebner to appoint Christopher Maulik (by Heebner), Jeff Lyle (by Edson), Kenneth Zito (by Zito). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

2. Appoint five (5) members to the Climate & Resiliency Commission nominated/appointed by *Council-at-large for the following positions*:
 - a. Three (3) *Resident* appointments for two-year terms.
 - b. One (1) *Resident* appointment for a one-year term.
 - c. One (1) *Professional* appointment for a member of the environmental and/or scientific community (*resident or non-resident*) for a two-year term.

Motion: Moved by Councilmember Zito and second by Mayor Heebner to appoint Mike Nagamine, Ken Flagg, and Cindi Gilliland to two-year terms, Heather Rock to a one-year term, and Jenny Byars to a two-year term in the professional position (all by Council-at-large). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

3. Appoint four (4) members to the Parks and Recreation Commission nominated/appointed by *Council-at-large* for two-year terms.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Becker to appoint Stan Bergum, Matt Linnik, Debbie Day, and Carol Jensen (all by Council-at-large). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

4. Appoint four (4) members to the Public Arts Commission nominated/appointed by *Council-at-large* for two-year terms.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Becker to appoint Deborah Sweet, Halle Shilling, Jeanie Grischy, and Vicki Cypherd (all by Council-at-large). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

5. Appoint three (3) members to the View Assessment Commission: nominated/appointed by individual members (Mayor Heebner, Deputy Mayor Becker, and Councilmember Edson) for two-year terms.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Becker to appoint Bob Moldenhauer (by Heebner), Rich Villasenor (by Edson), Matthew Cohen (by Becker). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

WORK PLAN COMMENTS:

Adopted June 26, 2024

COMPENSATION & REIMBURSEMENT DISCLOSURE: None

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

CITIZEN COMMISSION(S)

ADJOURN:

Mayor Heebner adjourned the meeting at 9:03 p.m.

Approved: _____

Angela Ivey, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: February 12, 2025
ORIGINATING DEPT: Finance – Rachel Jacobs, Finance Director
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands: 01/11/25 through 01/24/25

Check Register - Disbursement Fund (Attachment 1)		\$	1,077,659.86
Net Payroll Staff P15	January 17, 2025		319,114.13
TOTAL		\$	<u>1,396,773.99</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for January 11, 2025, through January 24, 2025, reflects total expenditures of \$1,396,773.99 from various City sources.

WORK PLAN: N/A

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

CITY COUNCIL ACTION: _____

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

A handwritten signature in blue ink, appearing to read 'Alyssa Muto', written over a horizontal line.

Alyssa Muto, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

1/11/2025 - 1/24/2025

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant P15	01/16/2025	9001900	\$18,836.91
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant P15	01/16/2025	9001907	\$900.00
SAN DIEGO COUNTY SHERIFFS DEPT	NOV 24-TOW FEE CREDIT/SB OVERTIME	01/16/2025	107729	(\$218.84)
DAVID ZITO	RFND: ENC22-0020	01/24/2025	107771	\$543.00
DEPARTMENT OF CONSERVATION	OCT-DEC 24 SMIP FEE	01/16/2025	107710	\$935.37
CALIFORNIA BUILDING STANDARDS CMSN	OCT-DEC 24-BUILDING STANDARDS	01/16/2025	107704	\$244.00
CALIFORNIA BUILDING STANDARDS CMSN	OCT-DEC 24-BUILDING STANDARDS	01/16/2025	107704	(\$24.40)
STERLING HEALTH SERVICES, INC.	PC06 FSA CONTRIBUTION	01/16/2025	9001908	\$266.67
STERLING HEALTH SERVICES, INC.	P14/15 DCA CONTRIBUTIONS	01/24/2025	9001924	\$416.68
STERLING HEALTH SERVICES, INC.	P14/15-PC07 FSA/DCA CONTRIBUTIONS	01/24/2025	9001924	\$5,213.91
STERLING HEALTH SERVICES, INC.	P14/15-PC07 FSA/DCA CONTRIBUTIONS	01/24/2025	9001924	\$3,029.08
PAYMENTUS CORPORATION	DECEMBER 24	01/24/2025	107758	\$1,552.63
FIDELITY SECURITY LIFE INSURANCE COMPANY	JAN 25-VISION-GROUP ID 1051871	01/16/2025	107714	\$483.56
CONSTRUCTION TESTING & ENGINEERING, INC.	11/18/24-12/15/24- INSPECTION/REVIEW	01/16/2025	9001910	\$350.00
ISABEL MINICK	RFND: FCCC-12/28/24	01/16/2025	107718	\$500.00
SANDRA MENDOZA	RFND: FCCC 12/21/24	01/16/2025	107731	\$500.00
JORDAN DIMARCO	REFUND:SB0650598	01/24/2025	107755	\$42.50
AMIRA EL-KHAOULI	REFUND:SB0649924	01/24/2025	107742	\$10.00
RICHARD BOBERTZ	RFND: DUPLICATE TOT PAYMENT	01/24/2025	107761	\$2,660.00
ALLEN ROSSI INVESTMENTS	RFND: ENC24-0129	01/24/2025	107741	\$833.00
TOTAL GENERAL FUND				\$37,074.07
1005150 - CITY CLERK				
STAPLES CONTRACT & COMMERCIAL	CLOCK	01/24/2025	107765	\$31.85
STAPLES CONTRACT & COMMERCIAL	BATTERIES	01/24/2025	107766	\$27.49
IRON MOUNTAIN	PROF SVC: 11/26/24-12/24/24	01/24/2025	107754	\$310.37
UT SAN DIEGO - NRTH COUNTY	ROP ADVERTISING	01/24/2025	107767	\$260.00
UT SAN DIEGO - NRTH COUNTY	NTC: ORD 537 ADOPT	01/16/2025	107735	\$176.92
UT SAN DIEGO - NRTH COUNTY	NTC: ORD 534 INTRO	01/16/2025	107735	\$185.85
UT SAN DIEGO - NRTH COUNTY	NTC: ORD 536 INTRO	01/16/2025	107735	\$185.85
CORODATA RECORDS MANAGEMENT, INC	DEC 24- STORAGE	01/24/2025	107747	\$818.93
CODE PUBLISHING COMPANY INC	MUNICIPAL CODE UPDATE	01/16/2025	107707	\$235.00
KFORCE INC.	TEMP SERVICES-12/12/24-CLK	01/24/2025	9001918	\$640.00
TOTAL CITY CLERK				\$2,872.26
1005200 - CITY MANAGER				
EMANUELS JONES & ASSOCIATES, LLC	JAN 25-LOBBYING SERVICES	01/16/2025	9001897	\$2,785.12
TOTAL CITY MANAGER				\$2,785.12
1005300 - FINANCE				
WILLDAN	DEC 24-USER FEE STUDY & COST ALLOCATION PLAN	01/16/2025	9001912	\$825.00
DAVIS FARR, LLP	DEC 24- AUDIT SERVICES	01/24/2025	107750	\$11,095.00
TOTAL FINANCE				\$11,920.00
1005350 - SUPPORT SERVICES				
CULLIGAN OF SAN DIEGO	JAN 25-EQUIPMENT-PW	01/16/2025	107709	\$75.10

CULLIGAN OF SAN DIEGO	DEC 24-WATER/JAN 25-EQUIPMENT-LC	01/16/2025	107709	\$68.90
CULLIGAN OF SAN DIEGO	DEC 24-WATER/JAN 25-EQUIPMENT-CH	01/16/2025	107709	\$189.70
XEROX CORPORATION	DEC 24-XEROX FIERY - PLN/ENG	01/16/2025	107739	\$132.61
XEROX CORPORATION	DEC 24-XEROX FIERY - UPSTAIRS	01/16/2025	107739	\$132.61
XEROX CORPORATION	DEC 24-XEROX FIERY - CLK	01/16/2025	107739	\$122.84
XEROX CORPORATION	DEC 24-XEROX -CLK	01/16/2025	107739	\$162.33
XEROX CORPORATION	DEC 24-XEROX -CLK	01/16/2025	107739	\$271.68
XEROX CORPORATION	DEC 24-XEROX -PLN/ENG	01/16/2025	107739	\$124.81
XEROX CORPORATION	DEC 24-XEROX -PLN/ENG	01/16/2025	107739	\$546.78
XEROX CORPORATION	DEC 24-XEROX -UPSTAIRS	01/16/2025	107739	\$193.08
XEROX CORPORATION	DEC 24-XEROX -UPSTAIRS	01/16/2025	107739	\$298.25
TOTAL SUPPORT SERVICES				\$2,318.69
1005450 - INFORMATION SERVICES				
CDW GOVERNMENT INC	AGOV AUTOCAD LT-2025	01/16/2025	9001895	\$509.91
SALIENT NETWORKS (FKA DIAL-PRO)	PROF SVC-MAINT	01/16/2025	107728	\$375.00
AT&T CALNET 3	9391012278 - 10/24/24-11/23/24	01/16/2025	107693	\$3,995.68
AT&T CALNET 3	9391012278 - 11/24/24-12/23/24	01/16/2025	107694	\$4,038.38
AT&T CALNET 3	9391012282 - 10/24/24-11/23/24	01/16/2025	107695	\$30.65
AT&T CALNET 3	9391012282-11/24/24-12/23/24	01/16/2025	107696	\$34.40
AT&T CALNET 3	9391053641-10/24/24-11/23/24	01/16/2025	107697	\$155.55
AT&T CALNET 3	9391053641-11/24/24-12/23/24	01/16/2025	107698	\$155.55
AT&T CALNET 3	9391062899-10/24/24-11/23/24	01/16/2025	107699	\$155.55
AT&T CALNET 3	9391062899-11/24/24-12/23/24	01/16/2025	107700	\$155.55
MANAGED SOLUTION	JAN 25-Office 365 and IT Support	01/24/2025	9001919	\$72.60
MANAGED SOLUTION	JAN 24-Office 365 and IT Support	01/24/2025	9001919	\$2,524.70
TING FIBER INC.	JAN 25-FIBER OPTICS-CITY FACILITIES	01/16/2025	9001909	\$3,263.31
AKKADIAN LABS, LLC	PHONE CALL CENTER LICENSE	01/16/2025	9001893	\$640.00
360 GLOBAL TECHNOLOGY LLC	FEB 25-WEBSITE HOSTING	01/24/2025	9001914	\$600.00
TOTAL INFORMATION SERVICES				\$16,706.83
1005550 - PLANNING				
UT SAN DIEGO - NRTH COUNTY	PUB NTC: DENSITY BONUS ORD UPDATE	01/16/2025	107735	\$578.47
UT SAN DIEGO - NRTH COUNTY	PUB NTC: ZONING ORD AMND	01/16/2025	107735	\$611.19
TOTAL PLANNING				\$1,189.66
1005560 - BUILDING SERVICES				
ESGIL CORPORATION	DEC 24-BLDG & PLN CHK REVIEW	01/24/2025	107752	\$24,408.40
TOTAL BUILDING SERVICES				\$24,408.40
1005590 - CODE ENFORCEMENT				
DATATICKET INC.	NOV 24-PARKING CITE ADMIN	01/24/2025	107749	\$401.79
DATATICKET INC.	NOV 24-PARKING CITE ADMIN	01/24/2025	107749	\$1,195.13
VERIZON WIRELESS SD	442224168-00001-11/24/24-12/23/24	01/16/2025	107737	\$141.39
TOTAL CODE ENFORCEMENT				\$1,738.31
1006110 - LAW ENFORCEMENT				
SAN DIEGO COUNTY SHERIFFS DEPT	NOV 24-LAW ENFORCEMENT SVC	01/16/2025	107729	\$425,621.14
SAN DIEGO COUNTY SHERIFFS DEPT	NOV 24-TOW FEE CREDIT/SB OVERTIME	01/16/2025	107729	\$286.62
TOTAL LAW ENFORCEMENT				\$425,907.76
1006120 - FIRE DEPARTMENT				
SANTA FE IRRIGATION DISTRICT	005512-000 - 11/02/24-01/02/25	01/16/2025	107732	\$907.37
ACE UNIFORMS LLC	SHIRTS/BARS	01/16/2025	9001892	\$120.66
ACE UNIFORMS LLC	SHIRTS/EMBRDRY	01/16/2025	9001892	\$136.37
ACE UNIFORMS LLC	NAME TAG	01/24/2025	9001915	\$24.77

ACE UNIFORMS LLC	BELT/TIE/HAT	01/24/2025	9001915	\$125.53
VERIZON WIRELESS SD	962428212-00001 - 11/29/24-12/28/24	01/16/2025	107737	\$729.32
REGIONAL COMMS SYS MS 056 RCS	DEC 24-CAP CODE	01/16/2025	107727	\$32.50
REGIONAL COMMS SYS MS 056 RCS	OCT 24-FIRE RADIOS	01/24/2025	107760	\$1,298.00
REGIONAL COMMS SYS MS 056 RCS	OCT 24-SHERIFF RADIOS	01/24/2025	107760	\$796.50
REGIONAL COMMS SYS MS 056 RCS	NOV 24-FIRE RADIOS	01/24/2025	107760	\$1,298.00
REGIONAL COMMS SYS MS 056 RCS	NOV 24-SHERIFF RADIOS	01/24/2025	107760	\$796.50
REGIONAL COMMS SYS MS 056 RCS	DEC 24-SHERIFF RADIOS	01/24/2025	107760	\$796.50
REGIONAL COMMS SYS MS 056 RCS	DEC 24-FIRE RADIOS	01/24/2025	107760	\$1,298.00
FIRE STATS LLC	NOV 24-MAINT & OPERATIONS	01/16/2025	107715	\$212.50
AT&T CALNET 3	9391012280-11/24/24-12/23/24	01/16/2025	107703	\$340.68
AT&T CALNET 3	9391059865-12/01/24-12/31/24	01/16/2025	107701	\$1,331.97
AT&T CALNET 3	9391012280-10/24/24-11/23/24	01/16/2025	107702	\$325.10
ROADONE INC	TRAINING	01/24/2025	107762	\$350.00
ALLSTAR FIRE EQUIPMENT INC	STRUCTURE HOODS	01/16/2025	107687	\$83.11
SAFEWARE, INC.	GAS MONITOR AND ACCESSORY	01/16/2025	9001904	\$425.50
SAFEWARE, INC.	LOCKWOOD HOOD	01/24/2025	9001922	\$199.48
SAFEWARE, INC.	LAMPS/BATTERIES	01/24/2025	9001922	\$510.75
SAFEWARE, INC.	STEEL HOOK	01/24/2025	9001922	\$270.00
SAFEWARE, INC.	LSA NOT36-B	01/24/2025	9001922	\$562.47
TOTAL FIRE DEPARTMENT				\$12,971.58
1006130 - ANIMAL CONTROL				
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	JAN 25-ANIMAL SERVICES	01/16/2025	107730	\$7,603.00
TOTAL ANIMAL CONTROL				\$7,603.00
1006150 - CIVIL DEFENSE				
AT&T CALNET 3	9391012275-11/24/24-12/23/24	01/24/2025	107744	\$155.55
TOTAL CIVIL DEFENSE				\$155.55
1006170 - MARINE SAFETY				
CULLIGAN OF SAN DIEGO	JAN 25-EQUIPMENT	01/24/2025	107748	\$58.00
VERIZON WIRELESS SD	962428212-00001 - 11/29/24-12/28/24	01/16/2025	107737	\$152.04
AT&T CALNET 3	9391019469 - 10/20/24-11/19/24	01/16/2025	107691	\$31.17
AT&T CALNET 3	9391019469 - 11/20/24-12/19/24	01/16/2025	107692	\$33.11
TOTAL MARINE SAFETY				\$274.32
1006510 - ENGINEERING				
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$53.08
UNDERGROUND SVC ALERT OF SOCAL INC	DEC 24-DIG ALERT	01/16/2025	9001911	\$63.65
WEST COAST CIVIL, INC	DEC 24- WEST COAST CIVIL ENGINEERING SERVICES	01/24/2025	107769	\$4,600.00
TOTAL ENGINEERING				\$4,716.73
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$16.75
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$16.75
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$14.80
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/24/2025	107757	\$16.96
BEST BEST & KRIEGER LLP	NOV 24-PROF SVCS	01/24/2025	107745	\$89.50
MIKHAIL OGAWA ENGINEERING, INC.	DEC 24- STORMWATER PROGRAM	01/16/2025	9001902	\$5,879.44
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$53.11
CLEAN EARTH ENVIROMENTAL SOLUTIONS	NOV 24- HHW COLLECTION	01/16/2025	107705	\$1,275.98
TOTAL ENVIRONMENTAL SERVICES				\$7,363.29
1006530 - STREET MAINTENANCE				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$27.20

MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$27.20
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$24.07
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/24/2025	107757	\$27.55
SDG&E CO INC	UTILITIES - 10/08/24-12/06/24	01/16/2025	107733	\$945.82
SDG&E CO INC	UTILITIES - 11/01/24-12/06/24	01/16/2025	107733	\$622.22
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$53.11
WEST COAST ARBORISTS INC	DEC 24-TREE MAINTENANCE SERVICES	01/16/2025	107738	\$13,200.00
BJS&T ENTERPRISES, INC.	POWDER COAT BENCHES	01/16/2025	9001905	\$1,144.84
TOTAL STREET MAINTENANCE				\$16,072.01
1006540 - TRAFFIC SAFETY				
SDG&E CO INC	UTILITIES - 10/08/24-12/06/24	01/16/2025	107733	\$1,472.53
SDG&E CO INC	UTILITIES - 11/01/24-12/06/24	01/16/2025	107733	\$665.08
REDFLEX TRAFFIC SYSTEMS, INC	DEC 24- RED LIGHT CAMERA ENFORCEMENT	01/16/2025	9001903	\$8,115.87
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$37.94
AT&T CALNET 3	9391012279 - 11/24/24-12/23/24	01/16/2025	107689	\$69.60
YUNEX LLC	OCT 24-SIGNAL & SAFETY LIGHT MAINT/REPAI	01/16/2025	9001913	\$6,319.45
TOTAL TRAFFIC SAFETY				\$16,680.47
1006550 - STREET CLEANING				
PRIDE INDUSTRIES	DEC 24-TRASH ABATEMENT SERVICES	01/16/2025	107723	\$1,217.04
TOTAL STREET CLEANING				\$1,217.04
1006560 - PARK MAINTENANCE				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$19.88
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$19.88
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$17.59
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/24/2025	107757	\$20.14
RANCHO SANTA FE SECURITY SYS INC	CODE ADDED	01/16/2025	107726	\$10.00
RANCHO SANTA FE SECURITY SYS INC	LC PARK-CELL CENTRAL STATION MONITORING	01/16/2025	107726	\$81.45
RANCHO SANTA FE SECURITY SYS INC	JAN 25-ALARM MONITORING	01/16/2025	107726	\$331.20
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$75.87
NISSHO OF CALIFORNIA	DEC 24- AS NEEDED LANDSCAPING SERVICES	01/24/2025	9001920	\$644.74
COAST RECREATION INC	MALLET/CLAMP COLLAR/BELLS	01/16/2025	107706	\$830.41
ARTURO ZERMENO	MILEAGE-12/06/24, 12/29/24	01/16/2025	107688	\$69.68
BFS GROUP OF CALIFORNIA LLC	SCREWDRIVER/SAW/PRUNER/HAMMER/BOLTS/NUTS	01/16/2025	107712	\$159.04
RANCHO SANTA FE PROTECTIVE SERVICES INC	DEC 24-PATROL SERVICES	01/24/2025	107759	\$695.00
RANCHO SANTA FE PROTECTIVE SERVICES INC	SEP 24-PATROL SERVICES	01/24/2025	107759	\$695.00
TOTAL PARK MAINTENANCE				\$3,669.88
1006570 - PUBLIC FACILITIES				
SDG&E CO INC	UTILITIES - 10/08/24-12/06/24	01/16/2025	107733	\$7,023.69
SDG&E CO INC	UTILITIES - 11/01/24-12/06/24	01/16/2025	107733	\$2,077.13
SEASIDE HEATING & AIR CONDITIONING	FY25 HVAC SERVICES AT CITY FACILITIES-MS	01/24/2025	107764	\$285.00
CONSOLIDATED ELECTRICAL DIST INC	LAMPS	01/16/2025	9001896	\$75.43
CONSOLIDATED ELECTRICAL DIST INC	LAMPS/LIGHTS	01/16/2025	9001896	\$107.53
SAN DIEGO COUNTY-APCD	2025-AIR POLLUTION DISTRICT FEE	01/24/2025	107763	\$664.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-TIDE PARK BEACH	01/16/2025	9001899	\$65.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-FCCC	01/16/2025	9001899	\$39.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-FC	01/16/2025	9001899	\$43.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-FS	01/16/2025	9001899	\$42.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-LCCC	01/16/2025	9001899	\$71.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-SEASCAPE SUR BEACH	01/16/2025	9001899	\$43.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-PW	01/16/2025	9001899	\$71.00

HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-DEL MAR SHORES BEACH	01/16/2025	9001899	\$43.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-MS	01/16/2025	9001899	\$71.00
HABITAT PROTECTION, INC	DEC 24- PEST/RODENT CONTROL-CH	01/16/2025	9001899	\$57.00
HABITAT PROTECTION, INC	DEC 24- ANIMAL REMOVAL	01/16/2025	9001899	\$160.00
CALIFORNIA OFFICE CLEANING, INC	DEC 24- JANITORIAL/CUSTODIAL SVC	01/16/2025	9001894	\$10,155.00
PRIDE INDUSTRIES	DEC 24-TRASH ABATEMENT SERVICES	01/16/2025	107723	\$1,217.05
BFS GROUP OF CALIFORNIA LLC	PAINT BRUSH/PAINT ROLLER/PAINT	01/16/2025	107712	\$50.12
BFS GROUP OF CALIFORNIA LLC	MASKS/PAINT ROLLERS	01/16/2025	107712	\$49.54
BFS GROUP OF CALIFORNIA LLC	RATCHET SET/SOCKET ADAPTER/BLANK KEYS	01/16/2025	107712	\$76.42
BFS GROUP OF CALIFORNIA LLC	AIR FRESH/GLOVES	01/16/2025	107712	\$59.64
BFS GROUP OF CALIFORNIA LLC	PAINT	01/16/2025	107712	\$225.77
BFS GROUP OF CALIFORNIA LLC	PAINT/GLOVES/SUPER GLUE/CAULK/PAINT ROLLERS	01/16/2025	107712	\$122.28
TOTAL PUBLIC FACILITIES				\$22,893.60
1007110 - GF-RECREATION				
ABLE PATROL & GUARD INC	DEC 24-GUARD SVC-FCCC	01/16/2025	107686	\$540.00
CALIFORNIA OFFICE CLEANING, INC	DEC 24-FCCC CLEANING	01/16/2025	9001894	\$450.00
PRISCILLA ROJO	REIMB: TREE LIGHTING SUPPLIES	01/16/2025	107724	\$563.99
TOTAL GF-RECREATION				\$1,553.99
110 - MEASURE S 1% TRANSACTION TAX				
QUALITY CONSTRUCTION & ENGINEERING, INC.	FY24 ANNUAL PAVEMENT RETENTION	01/24/2025	9001921	(\$14,770.63)
TOTAL MEASURE S 1% TRANSACTION TAX				(\$14,770.63)
1105900 - MEASURE S - 1% TRANSACTION TAX				
HDL HINDERLITER DE LLAMAS & ASSOC	Q2-OCT/DEC 24- MEASURE S TAX-CONTRACT/AUDIT	01/16/2025	107716	\$616.80
TOTAL MEASURE S - 1% TRANSACTION TAX				\$616.80
1106510 - MEASURE S - ENGINEERING				
QUALITY CONSTRUCTION & ENGINEERING, INC.	FY24 ANNUAL PAVEMENT MANAGEMENT PROGRAM - CIP	01/24/2025	9001921	\$283,677.60
WESTERN RIM CONSTRUCTORS, INC.	9438.11 LCP TOT LOT CONSTRUCTION	01/24/2025	107770	\$6,210.39
TOTAL MEASURE S - ENGINEERING				\$289,887.99
1205460 - SELF INSURANCE RETENTION				
GEORGE HILLS COMPANY, INC.	DEC 24-GL CLAIMS SERVICES	01/16/2025	9001898	\$508.30
TOTAL SELF INSURANCE RETENTION				\$508.30
1255465 - WORKERS COMPENSATION				
CORVEL ENTERPRISE COMP INC	DEC 24- CLAIMS SERVICES	01/16/2025	107708	\$38.00
CORVEL ENTERPRISE COMP INC	DEC 24- CLAIMS SERVICES	01/16/2025	107708	\$250.00
TOTAL WORKERS COMPENSATION				\$288.00
1355200 - ASSET REPLACEMENT-CTY MNGR				
TYLER TECHNOLOGIES INC	BUSINESS LICENSE & TYLER PAYMENTS	01/16/2025	107734	\$506.66
TOTAL ASSET REPLACEMENT-CTY MNGR				\$506.66
1355300 - ASSET REPLACEMENT-FINANCE				
TYLER TECHNOLOGIES INC	BUSINESS LICENSE & TYLER PAYMENTS	01/16/2025	107734	\$193.34
TOTAL ASSET REPLACEMENT-FINANCE				\$193.34
1355450 - ASSET REPLACEMENT-INFO SYS				
SALIENT NETWORKS (FKA DIAL-PRO)	SOFTWARE MANT SUPPORT-12/24-11/26	01/16/2025	107728	\$2,410.00
TOTAL ASSET REPLACEMENT-INFO SYS				\$2,410.00
1356170 - ASSET REPLACEMENT-MARN SFTY				
DIVE RESCUE INC	AQUALUNG HARD CASE	01/16/2025	107711	\$250.70
DIVE RESCUE INC	AQUALUNG HARD CASE	01/24/2025	107751	\$250.70
TOTAL ASSET REPLACEMENT-MARN SFTY				\$501.40

1406510 - FACILITIES MAINT-CIP

RANCHO SANTA FE SECURITY SYS INC	LCCC ALARM UPGRADE	01/16/2025	107726	\$3,275.00
RANCHO SANTA FE SECURITY SYS INC	LCCC ALARM UPGRADE	01/16/2025	107726	\$2,524.00

TOTAL FACILITIES MAINT-CIP**\$5,799.00****2026510 - GAS TAX-ENGINEERING**

QUALITY CONSTRUCTION & ENGINEERING, INC.	FY24 ANNUAL PAVEMENT MANAGEMENT PROGRAM - CIP	01/24/2025	9001921	\$11,735.00
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TOTAL GAS TAX-ENGINEERING**\$11,735.00****2037510 - HIGHWAY 101 LANDSC #33**

SDG&E CO INC	UTILITIES - 10/08/24-12/06/24	01/16/2025	107733	\$3,244.36
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TOTAL HIGHWAY 101 LANDSC #33**\$3,244.36****2087580 - COASTAL RAIL TRAIL MAINT**

KOPPEL & GRUBER PUBLIC FINANCE	OCT-DEC 24- CRT & ST LIGHT ADMIN	01/16/2025	9001901	\$332.45
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TOTAL COASTAL RAIL TRAIL MAINT**\$332.45****2117600 - STREET LIGHTING DISTRICT**

SDG&E CO INC	UTILITIES - 11/01/24-12/06/24	01/16/2025	107733	\$9,346.62
KOPPEL & GRUBER PUBLIC FINANCE	OCT-DEC 24- CRT & ST LIGHT ADMIN	01/16/2025	9001901	\$749.65
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$15.18

TOTAL STREET LIGHTING DISTRICT**\$10,111.45****2146120 - FIRE MITIGATION FEES**

ACE UNIFORMS LLC	PANTS/BELTS/SHIRTS/PATCH	01/16/2025	9001892	\$340.92
ACE UNIFORMS LLC	HAT/SHOES/BELTS/TIES	01/16/2025	9001892	\$192.85
ACE UNIFORMS LLC	TIES/JACKET/HAT/PATCH/ALTERNES	01/16/2025	9001892	\$675.09
ACE UNIFORMS LLC	SHIRT	01/16/2025	9001892	\$25.32
ACE UNIFORMS LLC	BOOTS	01/24/2025	9001915	\$290.91
ACE UNIFORMS LLC	HAT/JACKET/PANTS/SHIRT/ALTERATIONS	01/24/2025	9001915	\$873.83

TOTAL FIRE MITIGATION FEES**\$2,398.92****2466120 - MISC GRANTS - FIRE**

ALLSTAR FIRE EQUIPMENT INC	STRUCTURE HOODS	01/16/2025	107687	\$309.00
SAFWARE, INC.	GAS MONITOR AND ACCESSORY	01/16/2025	9001904	\$9,100.00

TOTAL MISC GRANTS - FIRE**\$9,409.00****2505570 - COASTAL BUSINESS/VISITORS**

SOLANA BEACH CHAMBER OF COMMERCE	Q3-CHAMBER OF COMMERCE SERVICES	01/16/2025	9001906	\$7,500.00
ASCAP	2025 MUSIC LICENSE	01/24/2025	107743	\$445.00
BMI GENERAL LICENSING INC	2025 MUSIC LICENSE	01/24/2025	107746	\$446.00
HOLIDAY GOO	EGGS-EGG HUNT	01/16/2025	107717	\$425.07
SESAC RIGHTS MANAGEMENT, INC.	2025 MUSIC LICENSE	01/24/2025	9001923	\$610.00
MAX ROEMER	SB PUBLIC ARTS PROGRAM	01/24/2025	107756	\$3,000.00
GALLERY BLU LLC	SB PUBLIC ARTS PROGRAM	01/24/2025	107753	\$3,000.00

TOTAL COASTAL BUSINESS/VISITORS**\$15,426.07****2706120 - PUBLIC SAFETY- FIRE**

VERIZON WIRELESS SD	962428212-00001 - 11/29/24-12/28/24	01/16/2025	107737	\$114.03
LIFE ASSIST INC	CSA.17-CLASSIC III STETHOSCOPE	01/16/2025	107719	\$531.72
LIFE ASSIST INC	CSA.17-LITTMANN PARTS KIT	01/16/2025	107719	\$49.78
LIFE ASSIST INC	CSA.17-QKDRW CANISTERS/EMGNCY SUCTN UNITS	01/16/2025	107719	\$244.95
LIFE ASSIST INC	CSA.17-QUICKDRAW BATTERY HOLDER	01/16/2025	107719	\$61.38
THE COUNSELING TEAM INTERNATIONAL	JAN 25-MENTAL WELLNESS SVC - FIRE	01/16/2025	107721	\$468.00

TOTAL PUBLIC SAFETY- FIRE**\$1,469.86****4506190 - SAND REPLNSHMNT/RETENTION**

TING FIBER INC.	JAN 24-FIBER OPTIC-TIDE BEACH PARK LG TWR	01/16/2025	9001909	\$450.00
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TING FIBER INC.	JAN 25-FIBER OPTIC-DEL MAR SHORES LG TWR	01/16/2025	9001909	\$450.00
TOTAL SAND REPLNSHMNT/RETENTION				\$900.00
459 - MISC. CAPITAL PROJECTS				
WESTERN RIM CONSTRUCTORS, INC.	9438.11 LCP TOT LOT RET	01/24/2025	107770	(\$326.87)
WESTERN RIM CONSTRUCTORS, INC.	9438.11 LCP TOT LOT CONT RET	01/24/2025	107770	(\$3,652.81)
TOTAL MISC. CAPITAL PROJECTS				(\$3,979.68)
4596510 - MISC.CAPITALPROJECTS-ENG				
VAN DYKE LANDSCAPE ARCHITECTS	NOV 24-LA COLONIA MASTER PLAN UPDATE	01/16/2025	107736	\$2,750.00
DOMUSSTUDIO ARCHITECTURE LLP	NOV 24- 9449.02 MS CENTR	01/16/2025	107713	\$1,235.00
WESTERN RIM CONSTRUCTORS, INC.	9438.11 LCP TOT LOT CONSTRUCTION	01/24/2025	107770	\$326.87
WESTERN RIM CONSTRUCTORS, INC.	9438.11 LCP TOT LOT CONTINGENCY	01/24/2025	107770	\$73,056.34
TOTAL MISC.CAPITALPROJECTS-ENG				\$77,368.21
4728520 - PACIFIC UNDERGROUNDNG-CIP				
NV5 INC	NOV 24-PROF SVC	01/16/2025	107722	\$4,855.00
TOTAL PACIFIC UNDERGROUNDNG-CIP				\$4,855.00
5097700 - SANITATION				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$10.46
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$10.46
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/16/2025	107720	\$9.26
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	01/24/2025	107757	\$10.60
VERIZON WIRELESS SD	362455526-00001-12/02/24-01/01/25	01/24/2025	107768	\$15.18
AT&T CALNET 3	9391012277 - 11/24/24-12/23/24	01/16/2025	107690	\$20.69
RAFTELIS FINANCIAL CONSULTANTS INC	DEC 24-SEWER RATE & REVENUE PLAN STUDY	01/16/2025	107725	\$1,815.00
IDRAINS LLC	C- SEWER CLEANING-54705	01/24/2025	107740	\$34,464.15
TOTAL SANITATION				\$36,355.80
REPORT TOTAL:				\$1,077,659.86



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: February 12, 2025
ORIGINATING DEPT: Engineering Department – Dan Goldberg, Acting Public Works Director/City Engineer
SUBJECT: **Consideration of Resolution 2025-013 Accepting the Project as Complete and Authorizing the City Clerk to File a Notice of Completion for the Americans with Disabilities Act (ADA) Pedestrian Ramps Project**

BACKGROUND:

On October 26, 2022, the City Council awarded a construction contract for the ADA Pedestrian Ramps, Bid No. 2024-01, to LC Paving & Sealing, Inc. This project is funded by the Fiscal Year (FY) 2023/24 Community Development Block Grant (CDBG) for construction of ADA pedestrian ramps at various public street intersections.

This item is before the City Council for consideration of Resolution 2025-013 (Attachment 1) to report the final project costs, accept the project as complete and direct the City Clerk to file a Notice of Completion (NOC).

DISCUSSION:

LC Paving & Sealing, Inc. completed all work on this project in accordance with the approved plans and specifications of Bid No. 2024-01 to the satisfaction of the City Engineer. The City will release the retention, in the amount of \$2,715, thirty-five (35) days after the Notice of Completion is approved by the City Council.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

CITY COUNCIL ACTION:

FISCAL IMPACT:

The project was completed within budget and at the original contract amount of \$54,300. There were no change orders issued during the construction of this project. The City Council had authorized a \$5,430 construction contingency from the City's Gas Tax account for unanticipated changes, but the contingency was not used. The contract is funded with a \$51,921 Community Development Block Grant, plus an amount of \$2,379 from Gas Tax. The unused portion of the \$5,430 contingency amount will remain in the City's Gas Tax account and may be used for other eligible projects.

WORK PLAN:

This project was not identified in the FY 2024/25 Work Plan.


OPTIONS:

- Adopt Staff recommendation.
- Deny Staff recommendation and provide direction.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council

1. Adopt Resolution 2025-013:
 - a. Authorizing the City Council to accept, as complete, the ADA Pedestrian Ramps, Bid No. 2024-01, constructed by LC Paving & Sealing, Inc.
 - b. Authorizing the City Clerk to file a Notice of Completion.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-013

RESOLUTION 2025-013

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ACCEPTING AS COMPLETE THE AMERICANS WITH DISABILITIES ACT (ADA) PEDESTRIAN RAMPS PROJECT, BID NO. 2024-01, AND AUTHORIZING THE CITY CLERK TO FILE A NOTICE OF COMPLETION

WHEREAS, on April 24, 2024, the City Council awarded a construction contract for the ADA Pedestrian Ramps, Bid No. 2024-01, to LC Paving & Sealing, Inc. This project is funded by the Fiscal Year (FY) 2023/24 Community Development Block Grant (CDBG) for construction of ADA pedestrian ramps at various public street intersections; and

WHEREAS, LC Paving & Sealing, Inc. completed all work on this project in accordance with the approved plans and specifications of Bid No. 2024-01 to the satisfaction of the City Engineer. The City will release the retention, in the amount of \$2,715, thirty-five (35) days after the Notice of Completion is approved by the City Council; and

WHEREAS, the project was completed within budget and at the original contract amount of \$54,300. There were no change orders issued during the construction of this project. The City Council had authorized a \$5,430 construction contingency from the City's Gas Tax account for unanticipated changes, but the contingency was not used. The contract is funded with a \$51,921 Community Development Block Grant, plus an amount of \$2,379 from Gas Tax. The unused portion of the \$5,430 contingency amount will remain in the City's Gas Tax account and may be used for other eligible projects.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts as complete the ADA Pedestrian Ramps Project, Bid No. 2024-01, constructed by LC Paving & Sealing, Inc.
3. That the City Council authorizes the City Clerk to file a Notice of Completion for the project.

PASSED AND ADOPTED this 12th day of February, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: February 12, 2025
ORIGINATING DEPT: Community Development Department – Katie Benson, Senior Planner
SUBJECT: **Public Hearing: Request for a DRP and SDP to Construct a New Two-Story Single-Family Residence with an Attached Two-Car Garage and Perform Associated Site Improvements at 1128 Solana Drive (Applicant: Hall Family Trust; Application: DRP24-001/SDP24-003; APN: 298-371-27-10; Resolution No. 2025-012)**

BACKGROUND:

The Applicant, Hall Family Trust, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to construct a new 3,843 square-foot, two-story single-family residence with an attached two-car garage and perform associated site improvements on a vacant property at 1128 Solana Drive. The 8,798 square-foot lot is located within the Estate Residential-2 (ER-2) Zone, Hillside Overlay Zone (HOZ), and Dark Sky Area, and is adjacent to an Environmentally Sensitive Habitat Area (ESHA). The project proposes grading in the approximate amounts of 152 cubic yards of cut and 12 cubic yards of fill located outside of the structure footprint; 230 cubic yards of cut and 3 cubic yards of fill located below the structure; 169 cubic yards of excavation for footings; 260 cubic yards of remedial grading; for an aggregate grading quantity of 826 cubic yards, with 536 cubic yards of export. The maximum building height of the proposed residence would be 24.83 feet above the proposed grade (or 264.00 feet above MSL).

An application for a DRP shall be required for any structure or site development which meets the criteria listed in SBMC Section 17.68.040(B)(1)(a-n). The project meets the following criteria for the requirement of a DRP:

- (d) Grading in excess of 100 cubic yards;
- (f) Development on a property located in the HOZ;
- (n.i) Construction in excess of 60 percent of the maximum allowable floor area; and
- (n.ii) Construction of a second story that exceeds 35 percent of the floor area of the first floor.

CITY COUNCIL ACTION:

The project requires an SDP because the proposed structure exceeds 16 feet in height above the pre-existing grade. The issue before the City Council is whether to approve, approve with conditions, or deny the Applicant's request for a DRP and SDP as contained in Resolution 2025-012 (Attachment 1). The project plans are included in Attachment 2.

DISCUSSION:

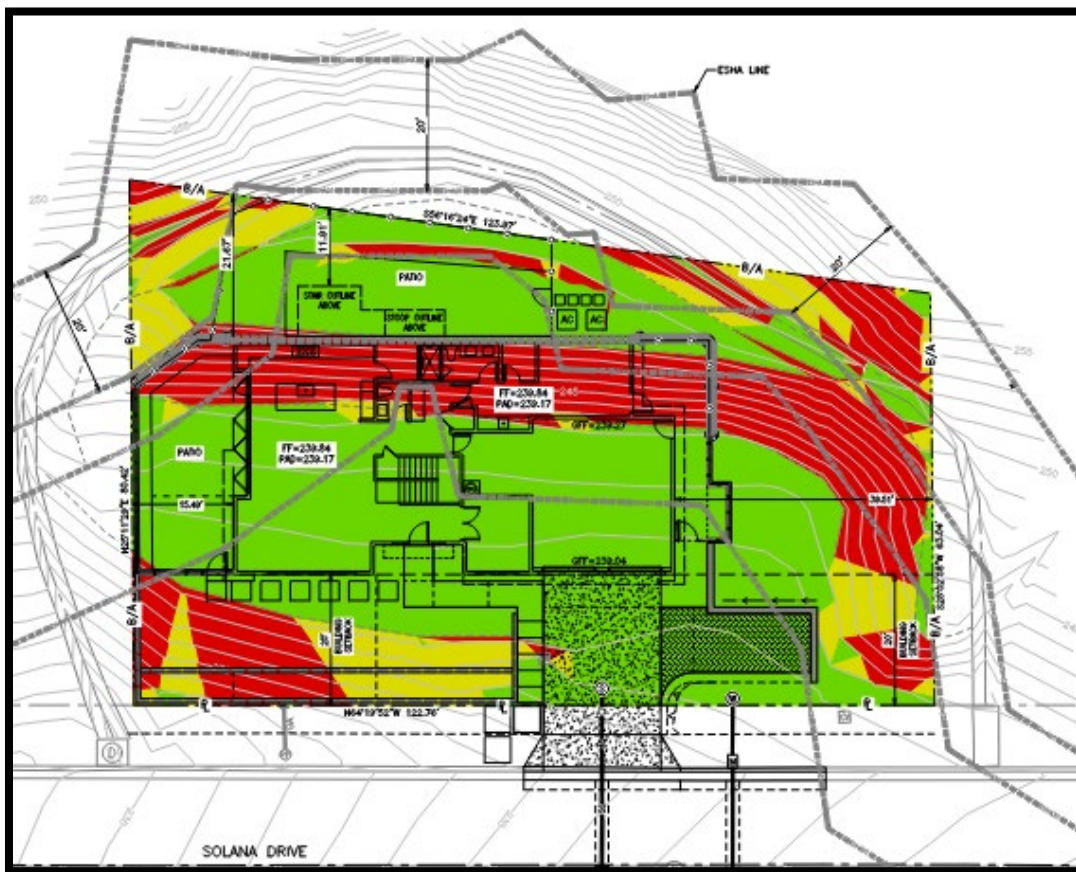
The proposed project is located in the Solana Hills Estates Planned Residential Development (PRD), which is a 7.85-acre single-family condominium development that was approved by the City Council on November 7, 1988, when Major Use Permit P88-03 and the associated Site Development Plan were approved by Resolution No. 88-94. The PRD included eight building sites and a tennis court located on a private extension of San Julio Road and two building sites located along the north side of Solana Drive. The PRD designated the remaining area around the building sites as open space. The PRD established a perimeter setback of 25 feet around the entire 7.85-acre site and established a buildable area for each residential unit.

It was the intent of the developer to complete the rough grading for the entire PRD and then construct and sell all ten of the single-family homes. However, after grading the building pads, building the first home, and completing the required infrastructure and recreational facilities, the remaining graded building sites were sold and developed individually. The subject property, Residential Unit 10 (RU-10), is located on the north side of Solana Drive between 1120 and 1138 Solana Drive in the lower southwest corner of the property and is the single remaining undeveloped building site in the PRD.



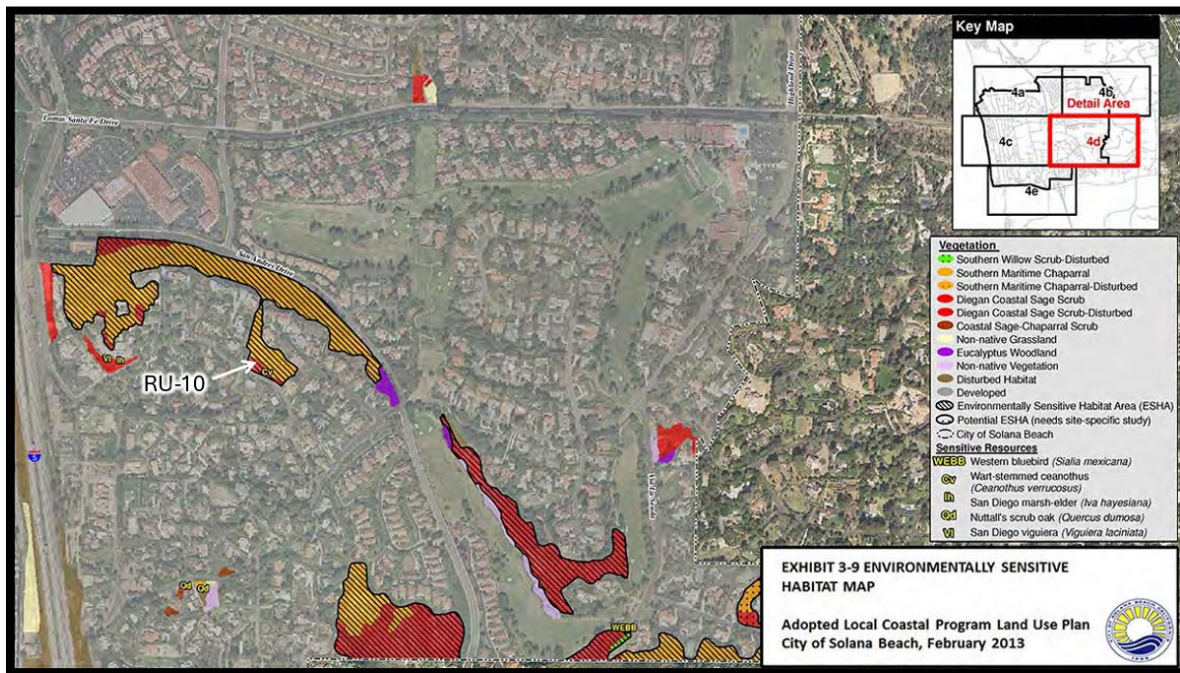
There were two previous entitlements proposed on the subject property. In 2010, the City Council approved the same Applicant's request for a DRP/SDP to construct a two-story, single-family residence built above a basement-level garage on the subject building site. However, the Applicant did not obtain construction permits before the expiration of the entitlements. The same Applicant applied for relatively the same project in 2016, but withdrew the application prior to the installation of story poles and presenting the project to the City Council.

The PRD property is located within the HOZ. The topography slopes down from San Julio Road to the north (San Andres Drive), west (adjacent single-family homes), and south (Solana Drive). Rough grading was completed under the PRD approval to create 10 building sites for each residential unit, including RU-10 in the southwest corner of the PRD. There are manufactured steep slopes remnant from the rough grading work that remain on the RU-10 building site (see B/A boundary line), as shown in the Slope Analysis below. The Slope Analysis indicates areas with an inclination less than 25 percent in green, from 25 to 45 percent in yellow, and in excess of 45 percent in red. The proposed development would alter 20 percent of the existing steep slopes. Additional analysis of the project's consistency with the HOZ is provided later in this report.



The City Council adopted the Local Coastal Program (LCP) Land Use Plan (LUP), which established policies for the protection of Environmentally Sensitive Habitat Areas (ESHA) and an ESHA Map. The ESHA Map (Exhibit 3-9, shown below) identifies portions of the

RU-10 building site as “Diegan Coastal Sage Scrub” (DCSS) and surrounding open space as “Southern Maritime Chaparral” (SMC) habitat areas. The site-specific analysis conducted by the Applicant’s consultant, Vincent N. Scheidt, and peer-reviewed by the City’s on-call environmental consultant, Helix Environmental Planning, Inc., clarifies that the majority of the RU-10 building site contains “Non-native Vegetation/Disturbed Habitat” (NNV/DH) with areas of SMC that extend to the surrounding open space of the PRD. The SMC ESHA boundary and corresponding 20-, 30- and 50-foot buffers are identified on the Slope Analysis (above).



The original approval of the PRD considered preservation of the vegetated slopes in an effort to preserve both the natural topography and the sensitive habitat and establish precise building sites for each residential unit, the tennis court, and street improvements prior to the adoption of the LUP and ESHA policies. That being said, the proposed project was evaluated and found to be consistent with the applicable LUP policies that protect ESHA. Additional analysis of the project’s consistency with the LUP is provided later in this report.

The Applicant is requesting approval of a DRP and SDP to construct a new two-story single-family residence with an attached two-car garage. The finished floor of the main level including the garage would be built approximately 5 feet above the elevation of Solana Drive and into the existing slope. The finished floor of the upper level would be at the same elevation of the upper pad in the rear (north) side of the residence. Associated site improvements would include grading, drainage, hardscape, and landscaping. The project plans are included in Attachment 2.

Table 1, on the following page, provides a comparison of the SBMC applicable zoning regulations with the Applicant’s proposed design.

Table 1		
LOT INFORMATION		
Property Address:	1128 Solana Drive	Zoning Designation: ER-2 (1-2 du/ac)
PRD Residential Unit:	RU-10	# Units Allowed: 1 SFR, 1 ADU, 1 JADU
PRD Lot Size:	7.85 ac	# Units Requested: 1 SFR
Building Site Size:	8,798 sf	Setbacks: (b)
Max. Allowable FAR:	4,140 sf	Required
Proposed Floor Area:	3,843 sf	Proposed
Below Max. Floor Area	297 sf	Front (S)* 20 ft 20 ft
Max. Allowable Height:	25 ft	Interior Side (E)** -- 39 ft
Max. Proposed Height:	24.83 ft	Street Side (W)** -- 15 ft
Highest Point/Ridge:	264.00 MSL	Rear (N)** -- 13 ft
Overlay Zone(s):	HOZ, Dark Sky, ESHA, Coastal Zone	* 25-foot FYSB reduced to 20 ft because the average depth of the building site is less than 100 feet. ** The underlying zoning setbacks do not apply to the side and rear as these are interior to the PRD, however the proposed building setbacks from the RU-10 building site are included for reference
PROPOSED PROJECT INFORMATION		
Proposed Floor Area Breakdown:		Required Permits:
Main Level Living Area	1,667 sf	DRP: grading in excess of 100 cubic yards; MHR residential structure in excess of 25 feet in height; development in the HOZ; construction in excess of 60% of the maximum allowable floor area; and construction of a second story that exceeds 35% of the first floor. SDP: a new structure that exceeds 16 feet in height from the existing grade.
Upper Level Living Area	1,929 sf	
Main Level Garage	623 sf	
Covered/Enclosed Exterior Area	24 sf	
Subtotal	4,243 sf	
Off-Street Parking Exemption	- 400 sf	
Total Proposed Floor Area:	3,843 sf	
Proposed Grading: 230 cy of cut and 3 cy of fill below the structure; 152 cy of cut and 12 cy of fill outside the structure footprint; 169 cy of excavation for footings, 260 cy of removal and recompaction; 536 cy to be exported off site, and an aggregate (total) grading quantity of 826 cy.		
Required Off-Street Parking: 2		Existing Development:
Proposed Parking: 2 Garage		Rough grading completed with PRD approved in 1988
Proposed Fences and Walls: Yes		
Proposed Accessory Structure: No		

Staff has prepared draft findings for approval of the DRP in the attached Resolution 2025-012 for the City Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and recommended conditions of approval from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-012.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development includes grading in excess of 100 cubic yards; development in the HOZ; construction of a residence in excess of 60 percent of the maximum allowable floor area for the property; and construction of a second story that exceeds 35 percent of the first floor. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-012 provides full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the applicable development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The General Plan designates the property as Estate Residential and is intended for estate types of residences developed at a maximum density of two dwelling units per acre. The 7.85-acre PRD property includes nine existing single-family homes developed on the approved building sites. The proposed development would bring the total number of units to 10 and result in a density of 1.27 units per acre, which is within the intended density range. Therefore, the project is consistent with the density and use intended in the General Plan.

The proposed single-family development could also be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods and preserves the existing community and neighborhood quality and character.

Specific Plans and Special Overlays

The property is located in the HOZ, Dark Sky Area, ESHA, and the Coastal Zone.

Hillside Overlay Zone (HOZ):

The subject property is located in the HOZ. The purpose of the HOZ is to restrict the grading and development of natural slopes with an inclination of 25 percent or greater in order to preserve natural topography and scenic qualities of the city, protect native habitat and watersheds, and reduce the potential for environmental hazards. Historically, the majority of the Solana Hills Estates property consisted of steep natural slopes, however, rough grading was legally completed in 1988 to create 10 building sites associated with City Council approved PRD. The subject building site (RU-10) is the remaining undeveloped site in the PRD.

In its current condition, and consistent with the 1988 grading, approximately 40 percent of the RU-10 building site consists of slopes that are greater than 25 percent in inclination. However, the current steep slopes are remnant manufactured slopes from the previous rough grading that created two building pads in the center of the building site, but did not include the construction of retaining or shoring walls to stabilize the soil. The proposed project would alter 20 percent of the current steep slopes in order to complete the lower building pad.

Pursuant to SBMC Section 17.48.020(F)(2), “minor grading for the construction of one single-family dwelling unit and driveway for up to 20 percent of a legal lot consisting entirely of slopes of 25 percent or greater may be permitted if other nongrading approaches to development are not feasible.” Grading of the existing steep slope is necessary in order to develop the single-family residence within the footprint of the existing disturbed area and to complete necessary public improvements along Solana Drive. Therefore, the City Council could find the project consistent with the provisions of the HOZ, allowing the minimum impact to steep slopes in order to develop a single-family residence and driveway on the property.

Dark Sky Area:

In an effort to further control excessive or unnecessary outdoor light emissions, SBMC Section 17.60.060(C)(3) prohibits the outside illumination for aesthetic or dramatic purposes for a building and/or surrounding landscape, including environmentally sensitive habitat areas in the “Dark Sky” designated areas. These provisions allow for exterior lighting at egress points and stairways for safety purposes.

A condition of approval has been included in the draft Resolution of Approval to require compliance with the Dark Sky lighting provisions.

Local Coastal Plan/Land Use Plan Consistency:

The City Council adopted an LCP/LUP on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LUP includes regulations that prevent degradation of ESHA from new development.

As previously mentioned, the adopted ESHA Map (Exhibit 3-9) depicts the subject building site located in DCSS and adjacent to SMC. The Applicant's biological resources consultant, Vincent N. Scheidt, provided an analysis of the ESHA and applicable policies of the LCP/LUP in the Biological Resources Report included in Attachment 3. The report states that the entirety of building site RU-10 consists of non-native and disturbed habitat (referred to as NNV/DH). The report also finds that SMC ESHA is adjacent to the building site, and the proposed project would maintain a minimum 20-foot buffer from the ESHA.

There are various policies contained in the LUP which specify ESHA protection and development policies that the proposed project would comply with. The key relevant LUP policies which apply to this project are listed below in italics for reference followed by an analysis of how the proposed project is designed in compliance with LUP:

Policy 3.22: *Development adjacent to ESHAs shall minimize impacts to habitat values or sensitive species to the maximum extent feasible. Native vegetation buffer areas shall be provided around ESHAs to serve as transitional habitat and provide distance and physical barriers to human intrusion. Buffers shall be of a sufficient size to ensure the biological integrity and preservation of the ESHA they are designed to protect.*

All buffers around (non-wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshal as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet.

Policy 3.65: *In some cases, smaller buffers may be appropriate, when conditions of the site as demonstrated in a site specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and the City, or Commission on appeal, must find that the development could not be feasibly constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.*

Policy 3.10: *If the application of the policies and standards contained in this LCP regarding use of property designated as ESHA or ESHA buffer, including the restriction of ESHA to only resource-dependent use, would likely constitute a taking of private property without just compensation, then a use that is not consistent with the ESHA provisions of the LCP shall be allowed on the property, provided such use is consistent with all other applicable policies of the LCP, the approved project is the alternative that would result in the fewest or least significant impacts, and it is the minimum amount of development necessary to avoid a taking of private property without just compensation. In such a case, the development shall*

demonstrate the extent of ESHA on the property and include mitigation, or, if on-site mitigation is not feasible, payment of an in-lieu fee, for unavoidable impacts to ESHA or ESHA buffers from the removal, conversion, or modification of natural habitat for new development, including required fuel modification and brush clearance per Policy 3.12. Mitigation shall not substitute for implementation of a feasible project alternative that would avoid adverse impacts to ESHA.

The report was peer-reviewed by the City's environmental consultant, Helix Environmental Planning (Helix). A summary of the peer review completed by Helix is included in Attachment 4. Helix concludes "the report is complete and the project, with project design features incorporated, is found to be consistent with the policies of the City's Land Use Plan (LUP). However, consultation with the California Department of Fish and Wildlife will be required for approval of the proposed Environmentally Sensitive Habitat Area (ESHA) buffer, which in some portions of the project site is less than 50 feet."

Helix also found "the following design elements are part of the project application intended to preclude impacts and provide compliance with the above LCP policies:

1. The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
2. Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
3. All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.
4. The Applicant has submitted to the city for review and approval a list of species to be planted within the ESHA buffer. The species list does not contain any invasive species. The restoration of indigenous native species in the buffer between the development and the ESHA along the northern, eastern, and western interfaces will provide an adequate buffer to preclude the potential indirect impacts to ESHA. The native species buffer would increase the functions and values of the existing vegetation within the buffer and would provide an adequate setback from the existing ESHA."

Strict compliance with the reduced 50-foot ESHA buffer would preclude development of the building site, therefore, Policy 3.10 could allow further reduction of the ESHA buffer. The proposed project would result in buffers between 20 and 25 feet in width from the ESHA. The proposed development would avoid direct impacts to ESHA, would remove

non-native species from the buffer area, would restore native species in the buffer area, and would be compatible with the continuance of the adjacent habitat area. Therefore, the proposed project could be found to be consistent with the LCP/LUP. Staff has included conditions of approval in the draft Resolution of Approval to ensure preservation of native vegetation and sensitive species as well as consultation with the California Department of Fish and Wildlife (CDFW) and approval from the California Coastal Commission.

Coastal Zone:

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the ER-2 Zone is intended for residential development in areas characterized by single-family homes on semirural estate lots of one-half acre or larger. The estate sized parcels help preserve the natural terrain and minimize grading requirements. The majority of the PRD property consists of steep slopes and preserved open space, while the proposed single-family residence and nine other existing residences, are located on a previously approved building sites intended for single-family developments. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the property are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “b”, which requires a 25-foot front yard setback, 40-foot rear yard setback, and 10-foot interior side yard setbacks. However, the only applicable required Zoning setback for the project is the front due to the property being a PRD. Additionally, pursuant to SBMC Section 17.20.030(D)(1)(b), “where any lot has a depth of less than 100 feet or fronts on a public right-of-way 55 feet or greater in width, the minimum required front yard shall be reduced to 20 feet”. The subject building site, RU-10 of the Solana Hills Estates PRD, has an average depth of less than 100 feet. Therefore, the front yard setback is reduced to 20 feet.

The project is located entirely within the buildable area set forth in the PRD, maintains the required 20-foot front yard setback, includes setbacks from the RU-10 building site boundary, and is surrounded by additional open space area in the PRD. Therefore, the proposed development is consistent with the applicable setbacks.

Maximum Floor Area Ratio:

When considering the 7.85-acre PRD lot, the maximum allowable floor area would be 57,667 square feet, which is calculated below:

.60 x 5,000 square feet	3,000 square feet
.30 x 15,000 square feet	4,500 square feet
.15 x 321,946 square feet	48,292 square feet
<u>Maximum Allowable Floor Area</u>	<u>55,792 square feet</u>

The 9 existing PRD residences have a total gross floor area of approximately 45,570 square feet. There is approximately 10,222 square feet of floor area remaining for the for the 7.85-acre PRD. Should the proposed 3,843 square-foot residence for RU-10 be approved, there would be an excess of 6,379 square feet remaining.

SBMC Section 17.20.030(D)(1) outlines a tiered calculation for the maximum allowable floor area for the ER-2 Zone. The maximum floor area for the individual 8,798 square-foot building site is calculated below:

.60 x 5,000 square feet	3,000 square feet
.30 x 3,798 square feet	1,139 square feet
.15 x 0 square feet	0 square feet
<u>Maximum Allowable Floor Area</u>	<u>4,139 square feet</u>

The Applicant is proposing to construct a new single-family residence consisting of a 1,667 square-foot first floor living area; 1,929 square-foot second floor living area; 24 square feet of covered and enclosed area; and a 623 square-foot two-car garage. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 623 square-foot garage would accommodate two unobstructed parking spaces; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable off-street parking exemption, the total proposed floor area of the project would be 3,843 square feet, which is 297 square feet below the maximum allowable for the RU-10 building site in the Solana Hills Estates PRD and 6,379 square feet below the maximum allowable for the comprehensive PRD property.

Maximum Building Height:

The maximum building height for all residential zones is 25 feet. The maximum height of the proposed residence would be 24.83 feet above the proposed grade with a maximum elevation of 264.00 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two

unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car garage in compliance with the parking requirements.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

The Applicant is proposing to construct two tiers of two to three-foot tall masonry retaining walls along the front property line. Beyond the front yard setback, a combination fence and retaining wall would surround the residence. As measured from the existing grade and visible from adjacent properties, the fence would have a maximum height of 6 feet.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan. In addition, the City's consultant will perform an inspection during the construction phase of the project.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 and SBMC Section 17.68.040(F) are listed below with further discussion as to how they relate to the proposed Project:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Table 2						
#	Property Address	Lot Size SF	Existing SF	Proposed SF	Max SF Allowable	Zone
1	500 San Julio Rd	10,844	5,021		4,753	ER-2
2	510 San Julio Rd	10,092	6,174		4,528	ER-2
3	522 San Julio Rd	11,875	3,585		5,063	ER-2
4	530 San Julio Rd	13,829	4,778		5,649	ER-2
5	550 San Julio Rd	13,360	4,654		5,508	ER-2
6	507 San Julio Rd	17,871	5,494		6,861	ER-2
7	525 San Julio Rd	13,853	5,141		5,656	ER-2
8	541 San Julio Rd	11,151	5,808		4,845	ER-2
9	1138 Solana Dr	9,484	4,468		4,345	ER-2
10	1128 Solana Dr	8,798	Vacant	3,596	4,139	ER-2
11	1058 Solana Dr	24,425	3,395		8,164	ER-2
12	1062 Solana Dr	24,592	3,526		8,189	ER-2
13	1112 Solana Dr	25,281	3,836		8,292	ER-2
14	1120 Solana Dr	22,929	3,954		7,939	ER-2
15	1101 Solana Dr	22,267	4,117		7,840	ER-2
16	1165 Solana Dr	20,547	4,065		7,582	ER-2
17	1115 Solana Dr	22,994	3,701		7,949	ER-2
18	1117 Solana Dr	32,009	1,228		9,301	ER-2
19	1141 Solana Dr	19,955	1,999		7,487	ER-2
20	1149 Solana Dr	22,241	2,928		7,836	ER-2
21	1155 Solana Dr	21,767	3,322		7,765	ER-2
22	1169 Solana Dr	25,517	1,620		8,328	ER-2
23	1175 Solana Dr	23,229	2,969		7,984	ER-2
24	1164 Solana Dr	22,922	1,592		7,938	ER-2
25	1148 Solana Dr	21,614	1,558		7,742	ER-2
26	1144 Solana Dr	20,606	4,436		7,591	ER-2

The project, as designed, is consistent with the permitted uses for the ER-2 Zone as described in SBMC Sections 17.20.010 and 17.12.020. The proposed floor area is consistent with nearby residential development and the proposed project could be found to be compatible with and complimentary to nearby existing development.

Building and Structure Placement:

The proposed residence would be located in the center of the RU-10 buildable area established by the PRD. The 1,667 square-foot main level would be built into the previously graded slope and would include 24 square feet of exterior floor area on the west side in a recessed portion of the massing. The main level would include the main entry to the residence, an open-concept great room, den, powder room, a bedroom with an ensuite bathroom and wet bar, stairs to the upper level, and access to the 623 square-foot two-car garage. The 1,929 square-foot upper level would include the primary bedroom suite, two bedrooms with ensuite bathrooms, a laundry room and a media room

that would open to an on-grade patio on the upper pad in the north (rear) side of the residence. The upper pad would include an exterior staircase accessing the 839 square-foot uncovered roof deck located above the west side of the residence and surrounded by a 42-inch-tall glass railing. The uncovered deck would be exempt from gross floor area calculations.

Due to the proximity to ESHA, the proposed project does not include yard areas typical to single-family residential development. Instead, there would be an on-grade patio on the west side of the residence off the great room on the lower level, an on-grade patio off a bedroom in the northeast corner of the lower level, an on-grade patio on the north (rear) side of the residence on the upper level, and the roof deck. Two air conditioning units would be located on the north side of the residence, and trash receptacles would be stored in a recessed portion of the perimeter retaining walls on the east side of the residence.

Following the rough grading completed with the PRD, the grade would step up approximately 5 feet from the elevation of Solana Drive to the main building pad and first floor and an additional 11 feet to the upper, rear building pad and the second floor. The residence would be setback 20 feet from the front property line along Solana Drive, which includes an additional 10 feet of public right-of-way between the existing curb and the property line. The residence would be setback over 100 feet from all adjacent residences on both Solana Drive and those above on San Julio, and it would be surrounded by the existing open space protected by ESHA policies and the PRD.

The proposed residence could be found to be sited and designed to minimize adverse impacts on the surrounding properties by proposing increased setbacks from the RU-10 buildable area established in the PRD, by following the rough grading completed during the PRD, and by matching the development pattern as RU-09 at 1138 Solana Drive.

Landscape:

The proposed landscape plan includes a variety of low shrubs on the front and rear side of the residence. Three 24-inch box Bubba Desert Willows with a mature height of 20 feet would be located in the Solana Drive public right-of-way fronting the property. A row of toyon with a mature height of 12 to 25 feet would be located along the rear building site boundary. The landscape plan includes the removal of non-native plantings and replacement with a list of native options in the areas of the building site and beyond the footprint of the proposed development. The existing vegetation beyond the building site boundary would not be modified with the project.

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub

mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the attached 623 square-foot main level two-car garage. The garage would be accessed by a driveway that would ascend from Solana Drive on the east end of the frontage. A pedestrian walkway would follow the west side of the drive from the street to the main entry and continue around the west side of the residence to a latching gate at the side main level patio. An additional walkway would wrap around the east side of the residence from the driveway to a side yard where trash receptacles are stored and further to a small patio off a bedroom in the northeast corner of the proposed development.

Grading:

Rough grading was completed under the Solana Hills Estates PRD to create two building pads on the RU-10 site. No retaining or shoring walls were constructed at that time. Therefore, there is remnant soil between the main and upper pads that would be excavated with the project. Additional excavation is proposed to lower the grade where the driveway is proposed to achieve a maximum 15 percent inclination. The proposed grading quantities include 230 cubic yards of cut and 3 cubic yards of fill located below the structure; 152 cubic yards of cut and 12 cubic yards of fill located outside of the structure footprint; 169 cubic yards of excavation for footings; 260 cubic yards of remedial grading; for an aggregate grading quantity of 826 cubic yards, with 536 cubic yards of export.

The majority of the grading is associated with excavation to complete the rough grading done following approval of the PRD to create a main level building pad for the residence and surrounding patios and walkways. Additional grading is associated with constructing the driveway. The existing natural steep slopes surrounding the building site would be preserved with the proposed project, and the proposed grading could be found to blend with the natural topography as the residence would be built into the existing stepped building pads on the building site.

Lighting:

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for

aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private).

Conditions of project approval include compliance with the Dark Sky provisions in SBMC Section 17.60.060(C) as well as the standard lighting condition that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

Usable Open Space:

The project consists of the construction of a single-family residence with a two-car garage on a vacant residential condominium site. Usable open space and recreational facilities are not required according to SBMC Section 17.20.040. However, the Solana Hills Estates PRD required the preservation of the vegetated slopes surrounding each building site. The project would not alter or impact the open space. Rather, the Applicant would rehabilitate the vegetated areas between the development footprint and the building site boundary as a condition of approval. Additionally, as a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Hillside Overlay Zone Development Review Criteria:

Additional development review criteria for slopes existing in a natural condition are required for development in the HOZ, pursuant to SBMC Section 17.48.020(F) and are listed below:

- 1) *Development or grading shall not be permitted on slopes greater than 25 percent except where necessary to prevent the denial of all reasonable economic use of the property. Where such development is necessary, as much of the natural terrain shall be retained as possible.*
- 2) *Minor grading for the construction of one single-family dwelling unit and driveway for up to 20 percent of a legal lot consisting entirely of slopes of 25 percent or greater may be permitted if other nongrading approaches to development are not feasible.*
- 3) *All slopes over 25 percent grade which remain undisturbed or which are restored or enhanced as a result of a development approval shall be conserved as a condition of that approval through a deed restriction, open space easement, or other suitable device that will preclude any future development or grading of such slopes.*

Historically, the Solana Hills Estates property consisted of steep slopes in excess of 25 percent. However, the site was legally graded to create a building area for each of the 10 approved condominium units as part of the approved PRD. Within the subject building

site, there are areas of slopes in excess of 25 percent inclination. However, it is believed that they are manufactured slopes remnant from the rough grading completed with the PRD. The proposed project is located entirely within the previously disturbed/graded area and within the RU-10 designated buildable area.

The City Council could find that the proposed grading of the isolated steep slopes is consistent with the development criteria of the HOZ for the following reasons: 1) the grading is necessary in order to allow the reasonable economic use of the property while also preserving the majority of the natural terrain; 2) the proposed development on existing slopes in excess of 25 percent is limited to approximately 20 percent of the total RU-10 building area; and 3) the remaining steep slopes located outside of the previously disturbed area and proposed development footprint would be conserved with the project.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with the View Assessment requirements of SBMC Chapter 17.63, and the Applicant was required to complete the SDP process. Story poles reflecting the three-dimensional envelope of the proposed structure were installed and certified by a licensed land surveyor. The story pole certification was submitted on November 19, 2024, showing a maximum building height of 24.83 feet above the proposed grade and 264.00 feet above MSL. SDP notices were mailed to property owners and occupants within 300 feet of the project site establishing 30-day a deadline to file for View Assessment by January 10, 2025. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.83 feet above the proposed grade (264.00 feet above MSL), should the City Council make the necessary finding to approve the project.

The Draft Resolution of Approval (Attachment 1) includes findings in support of the DRP. The Draft Resolution includes the applicable SBMC sections in italicized text and the recommended conditions of approval from the Community Development, Engineering, and Fire Departments. An additional condition of approval requires that the Applicant obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

Property Frontage and Public Right-of-Way Improvements:

The existing property frontage is unimproved with a sloped dirt area and a 6-inch concrete curb and gutter. If approved, the Applicant will construct a 4.5-foot, 5:1 landscape section, a 5.5-foot landscaped section, and a SDRSD G-14D modified driveway approach with 2:1 transition to the proposed pervious pavers pathway.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on January 30, 2025.

As of the publication of this Staff Report, no formal correspondence regarding the proposed project have been received from neighbors. The property owner to the west at 1120 Solana Drive communicated concerns to Staff regarding the proposed roof deck. The Applicant received architectural approval of the proposed project from the Solana Hills Homeowners Association, which is included in Attachment 5. The HOA approval includes a requirement that the Applicant obtain secondary approval from the HOA for any changes made to the proposed project during the permitting and construction process. A condition of approval has been included requiring updated authorization from the HOA prior to the issuance of building permits if there are changes from the HOA approved plans. The Applicant provided a letter to the City Council, which is included in Attachment 6.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolutions 2025-012;
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP;
or

- Deny the project if all required findings for the DRP cannot be made.

CITY STAFF RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan, and may be found, as conditioned, to meet the discretionary findings required to approve a DRP. The project also meets the requirements of the SDP. Therefore, should the City Council be able to make the findings to approve the DRP, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-012 conditionally approving a DRP and SDP to construct a new 3,843 square-foot, two-story single-family residence with an attached two-car garage and perform associated site improvements on a vacant property at 1128 Solana Drive, Solana Beach.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-012 – DRP/SDP
2. Project Plans Dated January 27, 2025
3. Biological Resources Report
4. ESHA Analysis Peer Review
5. HOA Approval
6. Applicant Letter to Council

RESOLUTION 2025-012

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO CONSTRUCT A NEW TWO-STORY SINGLE-FAMILY RESIDENCE WITH A TWO-CAR GARAGE AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 1128 SOLANA DRIVE, SOLANA BEACH, APN: 298-371-27-10

**APPLICANT: HALL FAMILY TRUST
APPLICATION: DRP24-001/SDP24-003**

WHEREAS, the Hall Family Trust (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on February 12, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to construct a new 3,843 square-foot, two-story single-family residence with an attached two-car garage and perform associated site improvements on a vacant property at 1128 Solana Drive is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The General Plan designates the property as Estate Residential and is intended for estate types of residences developed at a maximum density of two dwelling units per acre. The 7.85-acre PRD property includes nine existing single-family homes developed on the approved building sites. The proposed development would bring the total number of units to 10 and result in a density of 1.27 units per acre, which is within the intended density range. Therefore, the project is consistent with the density and use intended in the General Plan.

The proposed development could also be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays: The property is located in the Hillside Overlay Zone (HOZ), Dark Sky Area, Environmentally Sensitive Habitat Area (ESHA), and the Coastal Zone.

Hillside Overlay Zone (HOZ): The subject property is located in the HOZ. The purpose of the HOZ is to restrict the grading and development of natural slopes with an inclination of 25 percent or greater in order to preserve natural topography and scenic qualities of the city, protect native habitat and watersheds, and reduce the potential for environmental hazards. Historically, the majority of the Solana Hills Estates property consisted of steep natural slopes, however, rough grading was legally completed in 1988 to create 10 building sites associated with City Council approved PRD. The subject building site (RU-10) is the last remaining undeveloped site in the PRD.

In its current condition, and consistent with the 1988 grading, approximately 40 percent of the RU-10 building site consists of slopes that are greater than 25 percent in inclination. However, the current steep slopes are remnant manufactured slopes from the previous rough grading that created two building pads in the center of the building site, but did not include the construction of retaining or shoring walls to stabilize the soil. The proposed project would alter 20 percent of the current steep slopes in order to complete the lower building pad.

Pursuant to SBMC Section 17.48.020(F)(2), "minor grading for the construction of one single-family dwelling unit and driveway for up to 20 percent of a legal lot consisting entirely of slopes of 25 percent or greater may be permitted if other nongrading approaches to development are

not feasible”. Grading of the existing steep slope is necessary in order to develop the single-family residence within the footprint of the existing disturbed area and to complete necessary public improvements along Solana Drive. Therefore, the City Council could find the project consistent with the provisions of the HOZ, allowing the minimum impact to steep slopes in order to develop a single-family residence and driveway on the property.

Dark Sky Area: In an effort to further control excessive or unnecessary outdoor light emissions, SBMC Section 17.60.060(C)(3) prohibits the outside illumination for aesthetic or dramatic purposes for a building and/or surrounding landscape, including environmentally sensitive habitat areas in the “Dark Sky” designated areas. These provisions allow for exterior lighting at egress points and stairways for safety purposes.

A condition of approval has been included in this Resolution of Approval to require compliance with the Dark Sky lighting provisions.

Local Coastal Plan/Land Use Plan Consistency: The City Council adopted an LCP/LUP on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State’s goals for the coastal zone. The City’s LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LUP includes regulations that prevent degradation of ESHA from new development.

As previously mentioned, the adopted ESHA Map (Exhibit 3-9) depicts the subject building site located in “Diegan Coastal Sage Scrub” (DCSS) and adjacent to “Southern Maritime Chaparral” (SMC). The Applicant’s biological resources consultant, Vincent N. Scheidt, provided an analysis of the ESHA and applicable policies of the LCP/LUP in the Biological Resources Report included in Attachment 3 of the Staff Report. The report states that the entirety of building site RU-10 consists of non-native and disturbed habitat (referred to as NNV/DH). The report also finds that SMC ESHA is adjacent to the building site, and the proposed project would maintain a minimum 20-foot buffer from the ESHA.

There are various policies contained in the LUP which specify ESHA protection and development policies that the proposed project would comply with. The key relevant LUP policies which apply to this project are listed below in italics for reference followed by an analysis of how the proposed project is designed in compliance with LUP:

Policy 3.22: *Development adjacent to ESHAs shall minimize impacts to habitat values or sensitive species to the maximum extent feasible. Native vegetation buffer areas shall be provided around ESHAs to serve as transitional habitat and provide distance and physical barriers to human intrusion. Buffers shall be of a sufficient size to ensure the biological integrity and preservation of the ESHA they are designed to protect.*

All buffers around (non-wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshal as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet.

Policy 3.65: *In some cases, smaller buffers may be appropriate, when conditions of the site as demonstrated in a site specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and the City, or Commission on appeal, must find that the development could not be feasibly constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.*

Policy 3.10: *If the application of the policies and standards contained in this LCP regarding use of property designated as ESHA or ESHA buffer, including the restriction of ESHA to only resource-dependent use, would likely constitute a taking of private property without just compensation, then a use that is not consistent with the ESHA provisions of the LCP shall be allowed on the property, provided such use is consistent with all other applicable policies of the LCP, the approved project is the alternative that would result in the fewest or least significant impacts, and it is the minimum amount of development necessary to avoid a taking of private property without just compensation. In such a case, the development shall demonstrate the extent of ESHA on the property and include mitigation, or, if on-site mitigation is not feasible, payment of an in-lieu fee, for unavoidable impacts to ESHA or ESHA buffers from the removal, conversion, or modification of natural habitat for new development, including required fuel modification and brush clearance per Policy 3.12. Mitigation shall not substitute for implementation of a feasible project alternative that would avoid adverse impacts to ESHA.*

The report was peer-reviewed by the City's environmental consultant, Helix Environmental Planning (Helix). A summary of the peer review completed by Helix is included in Attachment 4 of the Staff Report. Helix concludes "the report is complete and the project, with project design features incorporated, is found to be consistent with the policies of the City's Land Use Plan (LUP). However, consultation with the California Department of Fish and Wildlife will be required for approval of the

proposed Environmentally Sensitive Habitat Area (ESHA) buffer, which in some portions of the project site is less than 50 feet.”

Helix also found “the following design elements are part of the project application intended to preclude impacts and provide compliance with the above LCP policies:

1. The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
2. Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
3. All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.
4. The Applicant has submitted to the city for review and approval a list of species to be planted within the ESHA buffer. The species list does not contain any invasive species. The restoration of indigenous native species in the buffer between the development and the ESHA along the northern, eastern, and western interfaces will provide an adequate buffer to preclude the potential indirect impacts to ESHA. The native species buffer would increase the functions and values of the existing vegetation within the buffer and would provide an adequate setback from the existing ESHA.”

Strict compliance with the reduced 50-foot ESHA buffer would preclude development of the building site, therefore, Policy 3.10 could allow further reduction of the ESHA buffer. The proposed development would avoid direct impacts to ESHA, would remove non-native species from the buffer area, would restore native species in the buffer area, and would be compatible with the continuance of the adjacent habitat area. Therefore, the proposed project could be found to be consistent with the LCP/LUP. Staff has included conditions of approval in this Resolution of Approval to ensure preservation of native vegetation and sensitive species as well as consultation with the California Department of Fish and Wildlife (CDFW) and approval from the California Coastal Commission.

Coastal Zone: The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the ER-2 Zone is intended for residential development in areas characterized by single-family homes on semirural estate lots of one-half acre or larger. The estate sized parcels help preserve the natural terrain and minimize grading requirements. The majority of the PRD property consists of steep slopes and preserved open space, while the proposed single-family residence and nine other existing residences, are located on a previously approved building sites intended for single-family developments. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks: Minimum yard dimensions (setbacks) for the property are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “b”, which requires a 25-foot front yard setback, 40-foot rear yard setback, and 10-foot interior side yard setbacks. However, the only applicable required Zoning setback for the project is the front due to the property being a PRD. Additionally, pursuant to SBMC Section 17.20.030(D)(1)(b), “where any lot has a depth of less than 100 feet or fronts on a public right-of-way 55 feet or greater in width, the minimum required front yard shall be reduced to 20 feet”. The subject building site, RU-10 of the Solana Hills Estates PRD, has an average depth of less than 100 feet. Therefore, the front yard setback is reduced to 20 feet.

The project is located entirely within the buildable area set forth in the PRD, maintains the required 20-foot front yard setback, includes setbacks from the RU-10 building site boundary, and is surrounded by additional open space area in the PRD. Therefore, the proposed development is consistent with the applicable setbacks.

Maximum Floor Area Ratio: SBMC Section 17.20.030(D)(1) outlines a tiered calculation for the maximum allowable floor area for the ER-2 Zone. The maximum floor area for the 8,798 square-foot building site is calculated below:

.60 x 5,000 square feet	3,000 square feet
.30 x 3,798 square feet	1,139 square feet
.15 x 0 square feet	0 square feet
<hr/> Maximum Allowable Floor Area	<hr/> 4,139 square feet

When considering the 7.85-acre PRD lot, the maximum allowable floor area would be 57,667 square feet, which is calculated below:

.60 x 5,000 square feet	3,000 square feet
.30 x 15,000 square feet	4,500 square feet
.15 x 321,946 square feet	48,292 square feet
<u>Maximum Allowable Floor Area</u>	<u>55,792 square feet</u>

The 9 existing PRD residences have a total gross floor area of approximately 45,570 square feet. There is approximately 10,222 square feet of floor area remaining for the for the 7.85-acre PRD. Following completion of the proposed 3,843 square-foot residence for RU-10, there will be an excess of 6,379 square feet remaining.

The Applicant is proposing to construct a new single-family residence consisting of a 1,667 square-foot first floor living area; 1,929 square-foot second floor living area; 24 square feet of covered and enclosed area; and a 623 square-foot two-car garage. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 623 square-foot garage would accommodate two unobstructed parking spaces; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable off-street parking exemption, the total proposed floor area of the project would be 3,843 square feet, which is 297 square feet below the maximum allowable for the RU-10 building site in the Solana Hills Estates PRD and 6,379 square feet below the maximum allowable for the comprehensive PRD property.

Maximum Building Height: The maximum building height for all residential zones is 25 feet. The maximum height of the proposed residence would be 24.83 feet above the proposed grade with a maximum elevation of 264.00 feet above MSL.

The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this Resolution.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car garage in compliance with the parking requirements.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

The Applicant is proposing to construct two tiers of two to three-foot tall masonry retaining walls along the front property line. Beyond the front yard setback, a combination fence and retaining wall would surround the residence. As measured from the existing grade and visible from adjacent properties, the fence would have a maximum height of 6 feet.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040(F):*
 - a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the ER-2 Zone. Surrounding properties are also located within the ER-2 Zone and are developed with one- and two-story single-family residences that include a similar development pattern.

The project, as designed, is consistent with the permitted uses for the ER-2 Zone as described in SBMC Sections 17.20.010 and 17.12.020. The proposed floor area is consistent with nearby residential development and the proposed project could be found to be compatible with and complimentary to nearby existing development.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed residence would be located in the center of the RU-10 buildable area established by the PRD. The 1,667 square-foot main level would be built into the previously graded slope and would include 24 square feet of exterior floor area on the west side in a recessed portion of the massing. The main level would include the main entry to the residence, an open-concept great room, den, powder room, a bedroom with an ensuite bathroom and wet bar, stairs to the upper level, and access to the 623 square-foot two-car garage. The 1,929 square-foot upper level would include the primary bedroom suite, two bedrooms with ensuite bathrooms, a laundry room and a media room that would open to an on-grade patio on the upper pad in the north (rear) side of the residence. The upper pad would include an exterior staircase accessing the 839 square-foot uncovered roof deck located above the west side of the residence and surrounded by a 42-inch-tall glass railing.

Due to the proximity to ESHA, the proposed project does not include yard areas typical to single-family residential development. Instead, there would be an on-grade patio on the west side of the residence off the great room on the lower level, an on-grade patio off a bedroom in the northeast corner of the lower level, an on-grade patio on the north (rear) side of the residence on the upper level, and the roof deck. Two air conditioning units would be located on the north side of the residence, and trash receptacles would be stored in a recessed portion of the perimeter retaining walls on the east side of the residence.

Following the rough grading completed with the PRD, the grade would step up approximately 5 feet from the elevation of Solana

Drive to the main building pad and first floor and an additional 11 feet to the upper, rear building pad and the second floor. The residence would be setback 20 feet from the front property line along Solana Drive, which includes an additional 10 feet of public right-of-way between the existing curb and the property line. The residence would be setback over 100 feet from all adjacent residences on both Solana Drive and those above on San Julio, and it would be surrounded by the existing open space protected by ESHA policies and the PRD.

The proposed residence could be found to be sited and designed to minimize adverse impacts on the surrounding properties by proposing increased setbacks from the RU-10 buildable area established in the PRD, by following the rough grading completed during the PRD, and by matching the development pattern as RU-09 at 1138 Solana Drive.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The proposed landscape plan includes a variety of low shrubs on the front and rear side of the residence. Three 24-inch box Bubba Desert Willows with a mature height of 20 feet would be located in the Solana Drive public right-of-way fronting the property. A row of toyon with a mature height of 12 to 25 feet would be located along the rear building site boundary. The landscape plan includes the removal of non-native plantings and replacement with a list of native options in the areas of the building site and beyond the footprint of the proposed development. The existing vegetation beyond the building site boundary would not be modified with the project.

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants

replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces would be located within the attached 623 square-foot main level two-car garage. The garage would be accessed by a driveway that would ascend from Solana Drive on the east end of the frontage. A pedestrian walkway would follow the west side of the drive from the street to the main entry and continue around the west side of the residence to a latching gate at the side main level patio. An additional walkway would wrap around the east side of the residence from the driveway to a side yard where trash receptacles are stored and further to a small patio off a bedroom in the northeast corner of the proposed development.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

Rough grading was completed under the Solana Hills Estates PRD to create two building pads on the RU-10 site. No retaining or shoring walls were constructed at that time. Therefore, there is remnant soil between the main and upper pads that would be excavated with the project. Additional excavation is proposed to lower the grade where the driveway is proposed to achieve a maximum 15 percent inclination. The proposed grading quantities include 230 cubic yards of cut and 3 cubic yards of fill located below the structure; 152 cubic yards of cut and 12 cubic yards of fill located outside of the structure footprint; 169 cubic

yards of excavation for footings; 260 cubic yards of remedial grading; for aggregate grading quantity of 826 cubic yards, with 536 cubic yards of export.

The majority of the grading is associated with excavation to complete the rough grading done following approval of the PRD to create a main level building pad for the residence and surrounding patios and walkways. Additional grading is associated with constructing the driveway. The existing natural steep slopes surrounding the building site would be preserved with the proposed project, and the proposed grading could be found to blend with the natural topography as the residence would be built into the existing stepped building pads on the building site.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private).

Conditions of project approval include compliance with the Dark Sky provisions in SBMC Section 17.60.060(C) as well as the standard lighting condition that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a single-family residence with a two-car garage on a vacant residential condominium site. Usable open space and recreational facilities

are not required according to SBMC Section 17.20.040. However, the Solana Hills Estates PRD required the preservation of the vegetated slopes surrounding each building sites. The project would not alter or impact the open space. Rather, the Applicant would rehabilitate the vegetated areas between the development footprint and the building site boundary as a condition of approval. Additionally, as a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Additional development review criteria for slopes that existing in a natural condition are required for development in the HOZ, pursuant to SBMC Section 17.48.020(F) and are listed below:

- 1) *Development or grading shall not be permitted on slopes greater than 25 percent except where necessary to prevent the denial of all reasonable economic use of the property. Where such development is necessary, as much of the natural terrain shall be retained as possible.*
- 2) *Minor grading for the construction of one single-family dwelling unit and driveway for up to 20 percent of a legal lot consisting entirely of slopes of 25 percent or greater may be permitted if other nongrading approaches to development are not feasible.*
- 3) *All slopes over 25 percent grade which remain undisturbed or which are restored or enhanced as a result of a development approval shall be conserved as a condition of that approval through a deed restriction, open space easement, or other suitable device that will preclude any future development or grading of such slopes.*

Historically, the Solana Hills Estates property consisted of steep slopes in excess of 25 percent. However, the site was legally graded to create a building area for each of the 10 approved condominium units. Within the subject building site, there are areas of slopes in excess of 25 percent inclination. However, it is believed that they are manufactured slopes remnant from the rough grading completed with the PRD. The proposed project is located entirely within the previously disturbed/graded area and within the RU-10 designated buildable area.

The City Council could find that the proposed grading of the isolated steep slopes is consistent with the development criteria of the HOZ for the following reasons: 1) the grading is necessary in order to allow the reasonable economic use of the property while also preserving the majority of the natural terrain; 2) the proposed development on existing slopes in excess of 25

percent is limited to approximately 20 percent of the total RU-10 building area; and 3) the remaining steep slopes located outside of the previously disturbed area and proposed development footprint would be conserved with the project.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to the issuance of Building and Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The Story Pole Height Certification was certified by a licensed land surveyor and submitted on November 19, 2024, showing a maximum building height of 24.83 feet above the proposed grade and 264.00 feet above MSL. SDP notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by January 10, 2025. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

A height certification prepared by a licensed land surveyor is required prior to the framing inspection certifying that the maximum height of the proposed residence will not exceed 24.83 feet above the proposed grade and 264.00 feet above MSL.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.

- II. Building, grading, and landscape construction plans shall be in substantial conformance with the project plans presented to the City Council on February 12, 2025 and located in the project file with a submittal date of January 27, 2025.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum height of the proposed residence will not exceed 24.83 feet above the proposed grade (264.00 feet above MSL) in conformance with the plans as approved by the City Council on February 12, 2025.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on February 12, 2025, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied, and the installation has passed inspection by the City's third-party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. Exterior lighting shall be in conformance with the Dark Sky provisions of the Municipal Code (17.60.060(C)). Outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private) is prohibited.

- IX. All exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- X. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- XI. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- XII. The Applicant shall restore the ESHA buffer by implementing the following design elements:
 - a. The occasional native shrubs that are present within the buffer shall be flagged for avoidance during all phases of work, including restoration planting of this area.
 - b. Disturbance to root zones of native shrub species within the buffer shall be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
 - c. All non-native species within the buffer and within the undeveloped portion of the project site shall be removed and replaced with native species. Prior to final landscape inspection, the Applicant shall provide evidence that the planting and seeding of native species (shrubs and annuals) has enhanced the buffer area between the ESHA and development.
- XIII. The Applicant shall obtain authorization from the California Department of Fish and Wildlife (CDFW) for the reduced ESHA buffer.
- XIV. The Applicant shall provide an updated written authorization from the Homeowners Association (HOA) should the project be changed.
- XV. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject

property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.1 and 503.2.3.
- II. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 503.6. All Knox Box products shall be purchased through the Solana Beach Fire Knox website.
- III. CONSTRUCTION MATERIALS: Prior to the delivery of combustible building construction materials to the project site all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Fire Code Chapter 33:
 - a. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency.
 - b. As a minimum, the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
 - c. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service, and accepted by the Fire Department and applicable water district.
- IV. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in

accordance with the California Fire Code and the Solana Beach Fire Department.

- V. FIRE HYDRANTS AND FIRE FLOWS: A letter from the water agency serving the area shall be provided that states the required fire flow is available. The required fire flow shall be 875 gpm per 1 hour.
- VI. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- VII. AUTOMATIC FIRE SPRINKLER SYSTEM – ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be submitted as a Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code, Title 15 Building and Construction, Chapter 15.32 Fire Code Section 15.32.230, Section 903.2.
- VIII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department per the 2022 California Building Code, Chapter 15, Section 1505.
- IX. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar photovoltaic systems shall be installed per the Solana Beach Fire Department requirements and per the 2022 California Fire Code, Chapter 12, Section 1204.

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the frontage improvements in the public right-of-way listed below. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
 - a. Construction of the six-inch curb and gutter per SDRSD G-02 along the property frontage with transitions to the existing improvements on both ends to the satisfaction of the City Engineer.

- b. Construction of the modified 18-foot SDRSD G-14D driveway approach with 2:1 transitions to the proposed Decomposed Granite (DG) pathway.
- c. Construction of the 4.5-foot-wide section of 5:1 slope and 5.5-foot section of landscaped area graded at 2 percent towards Solana Drive.
- d. Construction and connection of the sewer cleanout per SDRSD SC-01 and new private 4-inch sewer lateral to the City's sewer main. Construction and connection of the new 1-inch water service lateral and water meter.
- e. Construction of the 6-inch PVC solid storm drain pipe connecting between proposed storm drain cleanout per SDRSD D-09 type A5 and existing drainage ditch northwest of the property.

All proposed improvements within the public right-of-way shall comply with City standards including, but not limited to, the Off-Street Parking Design Manual.

- II. The Applicant shall record an Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit/Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all private improvements in the public right-of-way including, but not limited to, the following:
 - a. Concrete walkway.
 - b. Concrete curb along the property frontage.
 - c. 5.5-foot section of landscaped area graded at 2 percent towards Solana Drive.
 - d. 4.5-foot section of landscaped area at 5:1 slope.
- III. The Applicant shall complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements.
- IV. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless for the storm drain and sewer systems on the Applicant's property. The Applicant shall record the Hold Harmless Agreement document prior to Final Inspection of the Building Permit.
- V. The Applicant shall pay a TIF (Traffic Impact Fee) associated with the construction of the new single-family residence prior to Building Permit

Issuance that is required. The current fee rate for a Residential-Single-Family is \$18,924 per dwelling unit.

- VI. The Applicant shall pay a Regional Transportation Congestion Program RTCIP Fee prior to Building Permit Issuance. The current rate for a single-family dwelling unit is \$3,623.
- VII. Per current rates, the Applicant shall pay in full the one-time sewer capacity fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit Issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed new single-family residence unit would increase the property's EDU assignment by 1.0 EDU. The cost the Applicant is responsible for is \$4,500.00 concurrently with Building Permit Issuance (1.0 EDU multiplied by \$4,500.00).
- VIII. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- IX. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

Grading Conditions:

- X. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a Grading Permit shall include, but not be limited to, the following:
 - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for the detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. The report shall provide a drainage discharge design which would represent the pre-existing condition to the maximum extent feasible. All recommendations of this

report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.

- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. Cut and fill slopes shall be set back from site boundaries and buildings in accordance with SBMC 15.40.140 and to the satisfaction of the City Engineer.
- g. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- h. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- i. The Applicant shall obtain a haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- j. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be

developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.

- I. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identifying any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- n. No increased cross lot drainage shall be allowed.
- o. The Grading Permit shall be issued concurrently with the Building Permit.
- p. Prior to obtaining a foundation inspection on the Building Permit, the Applicant shall submit a building pad certification statement from a Soils Engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.

D. City Council Conditions:

- I. N/A

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may

be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED this 12th day of February 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

1128 SOLANA DRIVE DEL MAR, CA 92014

DRP/SDP SUBMITTAL PACKAGE

VICINITY MAP	PROJECT TEAM	PROJECT INFORMATION	FAR ALLOWED/PROPOSED	GRADING INFORMATION	TABLE OF CONTENTS																																											
	<p>OWNER/APPLICANT: HALL FAMILY TRUST CONTACT: SEAN SANTA CRUZ 740 LOMAS SANTA FE DR., SUITE 204 SOLANA BEACH, CA 92075 (858) 481-3310 X108</p> <p>ARCHITECT: FLAIR ARCHITECTS, INC. 6 JENNER, SUITE 290 IRVINE, CA 92618 (949) 789-7535</p> <p>CIVIL ENGINEER: SAN DIEGITO ENGINEERING 1911 PALOMAR OAKS WAY, SUITE 200 CARLSBAD, CA 92008 (858) 845-1149</p> <p>PLANNING CONSULTANT/LANDSCAPE ARCHITECT: THE LIGHTFOOT PLANNING GROUP 5900 PASTEUR COURT, SUITE 110 CARLSBAD, CA 92008 (760) 692-1924</p>	<p>SCOPE OF WORK: CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH A 623 SF TWO-CAR GARAGE AND A 851 SF ROOFTOP DECK AND ASSOCIATED IMPROVEMENTS AND LANDSCAPING.</p> <p>APN: 298-371-27-10</p> <p>ZONING: SOLANA HILLS ESTATES PRD/ER-2 OVERLAY ZONE: DARK SKY AREAS HILLSIDE OVERLAY ZONE ESHA: YES</p> <p>OCCUPANCY: R3/U</p> <p>CONSTRUCTION TYPE: VB</p> <p>FIRE SPRINKLERS: NFFA 13D</p> <p>GROSS/NET LOT SIZE: 8,798 SF</p> <p>PARKING REQUIRED: SINGLE FAMILY DWELLINGS - 2 PARKING SPACES</p> <p>PARKING PROVIDED: 2 PARKING SPACES INSIDE THE GARAGE AND 3 PARKING SPACES IN THE DRIVEWAY. TOTAL OF 5 PARKING SPACES.</p>	<p>For Residential properties not subject to SBMC section 17.48.040 (Not SR02)</p> <table border="1"> <tr> <td>Lot Area X 0.600 (for the first 5,000 sq. ft.)</td> <td>+</td> <td>3 000</td> </tr> <tr> <td>Lot Area X 0.300 (for portions of lot 5,001 up to 20,000)</td> <td>+</td> <td>1 139 70</td> </tr> <tr> <td>Lot Area X 0.150 (for portions of lot greater than 20,000 sq. ft.)</td> <td>+</td> <td></td> </tr> <tr> <td>Add up the sum of each tier to determine the Max FAR</td> <td>TOTAL</td> <td>4,140 SF</td> </tr> </table>	Lot Area X 0.600 (for the first 5,000 sq. ft.)	+	3 000	Lot Area X 0.300 (for portions of lot 5,001 up to 20,000)	+	1 139 70	Lot Area X 0.150 (for portions of lot greater than 20,000 sq. ft.)	+		Add up the sum of each tier to determine the Max FAR	TOTAL	4,140 SF	<table border="1"> <tr> <td>Cut Below/Outside Structure</td> <td>230 CY/152 CY</td> </tr> <tr> <td>Fill Below/Outside Structure</td> <td>3 CY/12 CY</td> </tr> <tr> <td>Excavation for Footings</td> <td>169 CY</td> </tr> <tr> <td>Removal/Recompaction</td> <td>260 CY</td> </tr> <tr> <td>Aggregate</td> <td>826 CY</td> </tr> <tr> <td>Import/Export</td> <td>536 CY</td> </tr> </table>	Cut Below/Outside Structure	230 CY/152 CY	Fill Below/Outside Structure	3 CY/12 CY	Excavation for Footings	169 CY	Removal/Recompaction	260 CY	Aggregate	826 CY	Import/Export	536 CY	<p>C COVER SHEET</p> <p>C-0 SURVEY, EXISTING TOPO, SLOPE ANALYSIS</p> <p>C-1 PRELIMINARY GRADING/SITE PLAN</p> <p>C-2 SITE SECTIONS</p> <p>10 ARCHITECTURAL SITE PLAN</p> <p>11 FLOOR PLAN - LOWER FLOOR</p> <p>12 FLOOR PLAN - UPPER FLOOR</p> <p>13 ROOF PLAN</p> <p>14 FLOOR AREA DIAGRAM</p> <p>15 BUILDING ELEVATIONS</p> <p>16 BUILDING ELEVATIONS</p> <p>17 BUILDING SECTIONS</p> <p>18 STORY POLE PLOT PLAN</p> <p>19 STORY POLE ELEVATIONS</p> <p>L-1 LANDSCAPE CONCEPT PLAN</p> <p>L-2 WATER CONSERVATION PLAN</p>																			
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1128 SOLANA DRIVE
DEL MAR, CA 92014

HALL FAMILY TRUST
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075



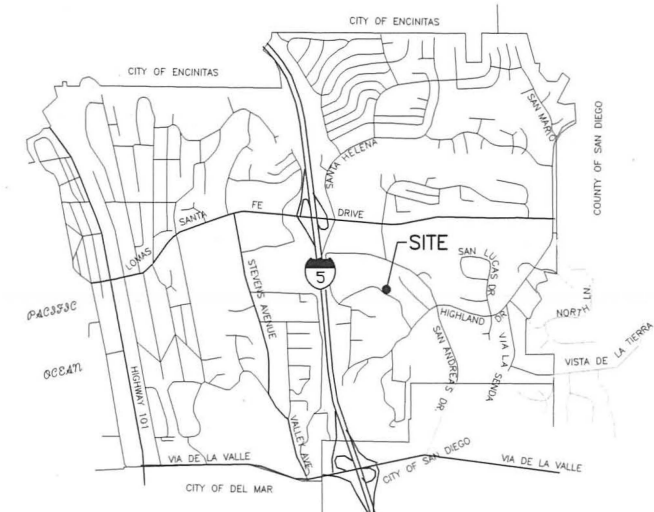
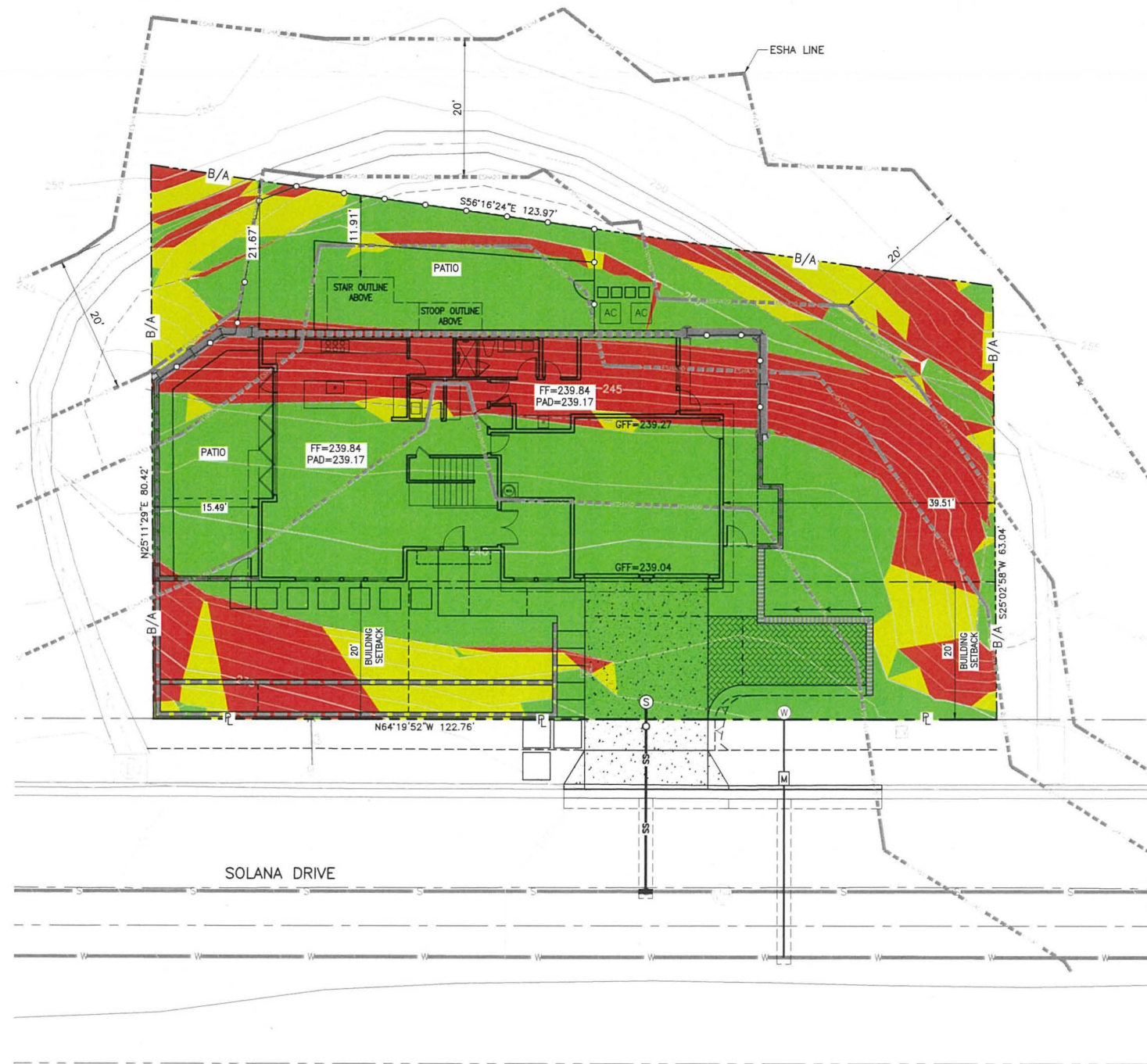
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FLAIR
ARCHITECTS

FLAIR ARCHITECTS, INC.
ARCHITECTURE • PLANNING • INTERIOR DESIGN
6 JENNER, STE 290, IRVINE, CALIFORNIA 92618
(949) 789-7535

C

SLOPE ANALYSIS 1128 SOLANA DRIVE, DEL MAR, CA



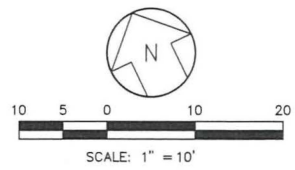
VICINITY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- BUILDABLE AREA
- BUILDING SETBACK LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
-
- CONCRETE DRIVEWAY
- MASONRY RETAINING WALL
- GRAVITY RETAINING WALL
- STRUCTURE WALL PER ARCHITECTURAL PLANS
- VINYL FENCE
- ORNAMENTAL IRON FENCE
- SHORING WALL WITH SHOTCRETE
- WATER LATERAL
- SEWER LATERAL
- CONCRETE PAVEMENT
- CONCRETE PAVERS
- AIR CONDITIONING UNIT
- ESHA LINE
- ESHA LINE 20 FOOT BUFFER
- ESHA LINE 30 FOOT BUFFER
- ESHA LINE 50 FOOT BUFFER

SLOPES TABLE					
Number	Minimum Slope	Maximum Slope	Property Area (Ac)	Impacted Area (Ac)	Color
1	0%	25%	0.12	0.10	
2	25%	40%	0.02	0.01	
3	40%	100%	0.06	0.03	

SLOPE ANALYSIS
SCALE 1"=10'



SITE ADDRESS
1128 SOLANA DRIVE
DEL MAR, CA 92014

OWNER
HALL FAMILY TRUST
CONTACT: SEAN SANTA CRUZ
VP PLANNING & DEVELOPMENT
ADDRESS: 740 LOMAS SANTA FE DRIVE
SUITE 204, SOLANA BEACH
CA 92075
PHONE: (858) 481-3310 X108

APN
298-371-27-10

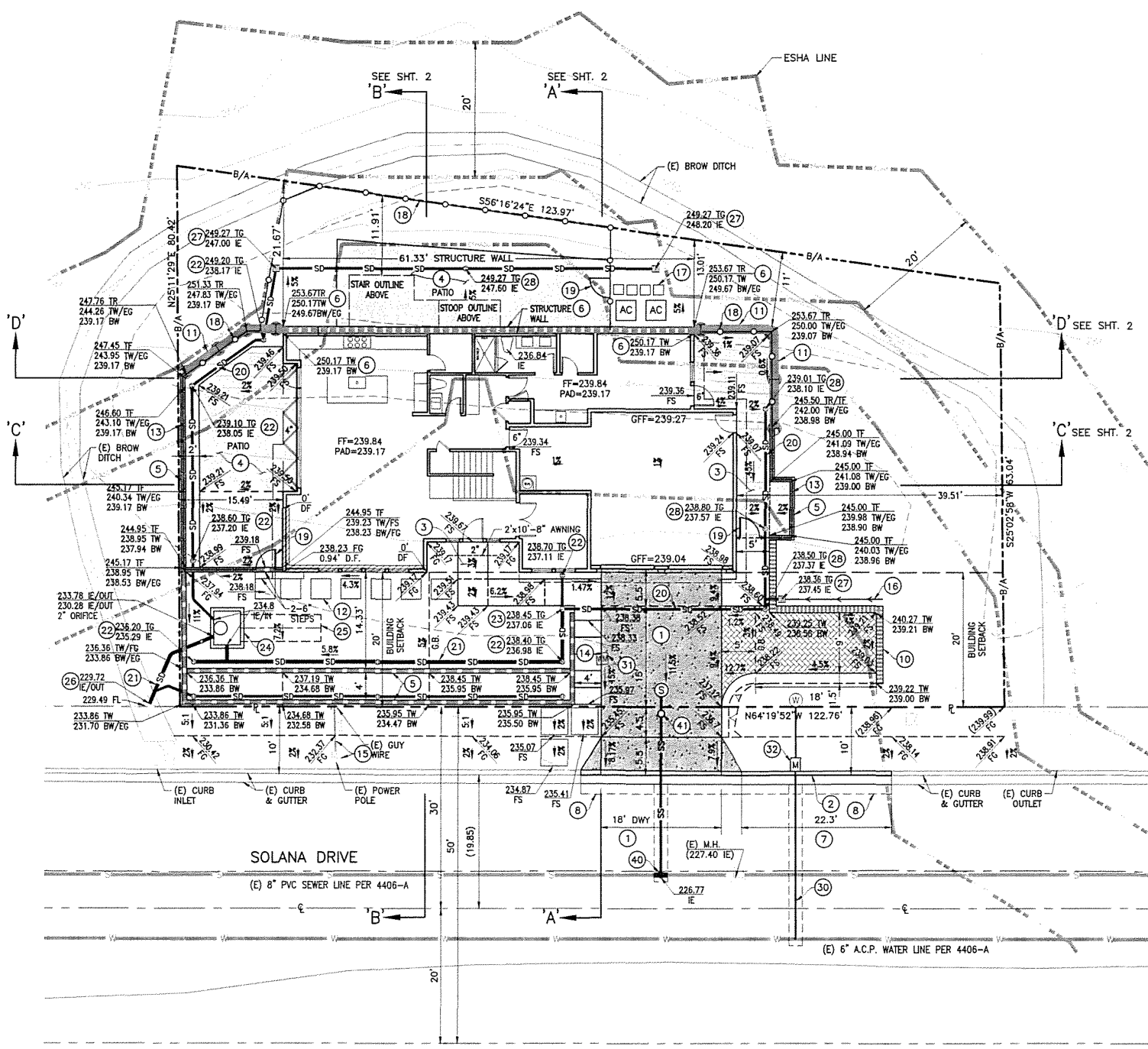
ENGINEER
SAN DIEGUITO ENGINEERING
1911 PALOMAR OAKS WAY, #200
CARLSBAD, CA 92008
PHONE: (858)345-1149
FAX: (858)345-1151



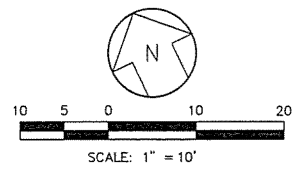
	ENGINEER OF WORK A BILTZ Drawn By: JOSHUA D. REEVES R.C.E. 73368 By: _____ Date: _____	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL By: _____ Date: _____	APPROVED FOR CONSTRUCTION By: Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/24	BENCH MARK DESCRIPTION: CITY OF DEL MAR BRASS DISK LOCATION: N'LY COR. OF CONC. VAULT AT SE COR. OF THE INTERSECTION OF VIA DE LA VALLE & JIMMY DURANTE BLVD. ELEV.: 15.50 DATUM: NGVD 29	CITY OF SOLANA BEACH ENGINEERING DEPARTMENT SLOPE ANALYSIS FOR: 1128 SOLANA DRIVE, DEL MAR, CA	DRAWING NO. C-0 Sheet 1 of 1
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PRELIMINARY GRADING PLAN 1128 SOLANA DRIVE, DEL MAR, CA



PRELIMINARY GRADING PLAN
SCALE: 1"=10'



SURFACE IMPROVEMENTS

- ① 18' WIDE PCC DRIVEWAY PER GEOTECHNICAL RECOMMENDATION
- ② 6" CURB & GUTTER PER SDRSD G-02
- ③ 4" PCC WALKWAY
- ④ CONCRETE PATIO
- ⑤ MASONRY RETAINING WALL (WITH 6' FENCE WHERE SHOWN)
- ⑥ STRUCTURE WALL PER ARCHITECTURAL PLANS
- ⑦ PORTION OF EXISTING DRIVEWAY OPENING TO BE REMOVED AND REPLACED WITH 6" CURB & GUTTER
- ⑧ GRIND & A.C. OVERLAY
- ⑨ TRENCH COMPACTION & BACKFILL
- ⑩ GRAVITY RETAINING WALL (WITH FENCE WHERE SHOWN)
- ⑪ SHORING WALL WITH SHOTCRETE WITH CABLE RAILING
- ⑫ CONCRETE PAVER WALKWAY
- ⑬ VINYL FENCE
- ⑭ CONCRETE STAIRS
- ⑮ EXISTING POWER POLE AND GUY WIRE, PROTECT IN PLACE
- ⑯ 1' DEEP EARTHEN SWALE
- ⑰ 18" x 18" CONCRETE STEPPERS
- ⑱ ORNAMENTAL IRON FENCE
- ⑲ GATE

STORM DRAIN IMPROVEMENTS

- ⑳ 4" PVC SOLID PIPE
- ㉑ 6" PVC SOLID PIPE
- ㉒ 4" YARD DRAIN WITH ATRIUM GRATE
- ㉓ 4" DRAIN CLEANOUT
- ㉔ STORM DRAIN CLEANOUT - TYPE AS PER SDRSD D-09
- ㉕ 48" DIA. X 12' LENGTH HDPE DETENTION STORAGE
- ㉖ CONNECT PVC OUTLET TO EXISTING CONCRETE DITCH
- ㉗ 12" x 12" CATCH BASIN WITH GRATE
- ㉘ 4" WALK DRAIN WITH ROUND GRATE

WATER IMPROVEMENTS

- ⑳ 1" WATER SERVICE LATERAL
- ㉑ REMOVE EXISTING WATER METER
- ㉒ WATER METER

SEWER IMPROVEMENTS

- ④① 4" SEWER LATERAL INSTALLATION PER SDRSD SS-01
- ④② SEWER CLEANOUT PER SC-01

NOTE

TW AND BW GRADES REPRESENT THE GROUND ELEVATION AT THE BACK AND FRONT OF THE WALL. THE ACTUAL TOP-OF-WALL AND TOP-OF-FOOTING AND WALL DIMENSIONS TO BE DETERMINED BY THE WALL DESIGNER.

SITE ADDRESS
1128 SOLANA DRIVE
DEL MAR, CA 92014

APN
298-371-27-10

OWNER
HALL FAMILY TRUST

CONTACT: SEAN SANTA CRUZ
VP PLANNING & DEVELOPMENT
ADDRESS: 740 LOMAS SANTA FE DRIVE
SUITE 204, SOLANA BEACH
CA 92075
PHONE: (858) 481-3310 X108

ENGINEER
SAN DIEGUITO ENGINEERING
1911 PALOMAR OAKS WAY, #200
CARLSBAD, CA 92008
PHONE: (858)345-1149
FAX: (858)345-1151

ABBREVIATIONS

- B/A BUILDABLE AREA
- BW BOTTOM OF WALL
- D.F. DEEPENED FOOTING
- DS DOWNSPOUT
- (E) EXISTING
- EG EXISTING GRADE
- ESHA ENVIRONMENTAL SENSITIVE HABITAT AREA
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SURFACE
- GFF GARRAGE FINISH FLOOR
- HDPE HIGH DENSITY POLYETHYLENE
- IE INVERT ELEVATION
- R PROPERTY LINE
- PVC POLYVINYL CHLORIDE PIPE
- SF SQUARE FEET
- TF TOP OF FENCE
- TG TOP OF GRATE
- TR TOP OF RAILING
- TW TOP OF WALL

EARTHWORK QUANTITIES

CUT: 382 C.Y.
FILL: 15 C.Y.
EXPORT: 367 C.Y.

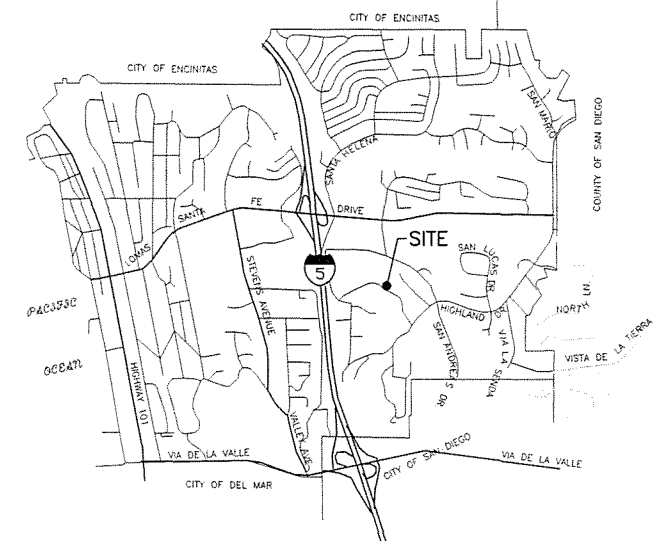
LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
AN UNDIVIDED ONE-TENTH (1/10TH) APPURTENANT FRACTIONAL INTEREST IN AND TO LOT 1 OF THE CITY OF SOLANA BEACH TRACT NO. 4406, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 12000, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JANUARY 27, 1988.

EXCEPTING THEREFROM THE FOLLOWING:
ALL RESIDENTIAL UNITS SHOWN UPON THE AMENDED CONDOMINIUM PLAN OF SOLANA HILLS ESTATES RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA ON APRIL 11, 1990 AS RECORDER'S FILE NO. 90-195663.

PARCEL 2:
RESIDENTIAL UNIT R.U.-10, AS SHOWN UPON THE CONDOMINIUM PLAN REFERRED TO ABOVE.



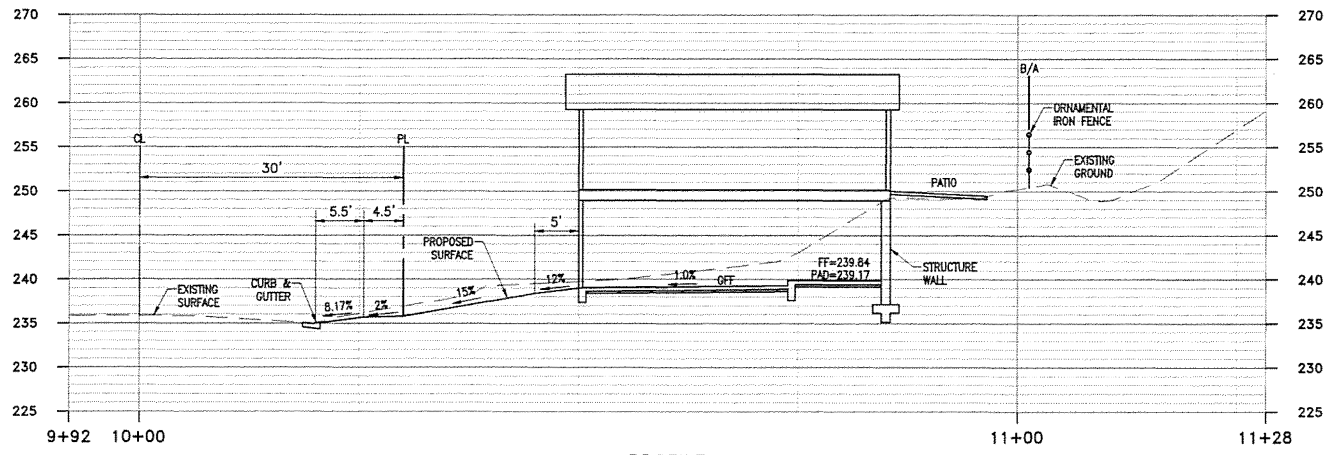
VICINITY MAP
NOT TO SCALE

LEGEND

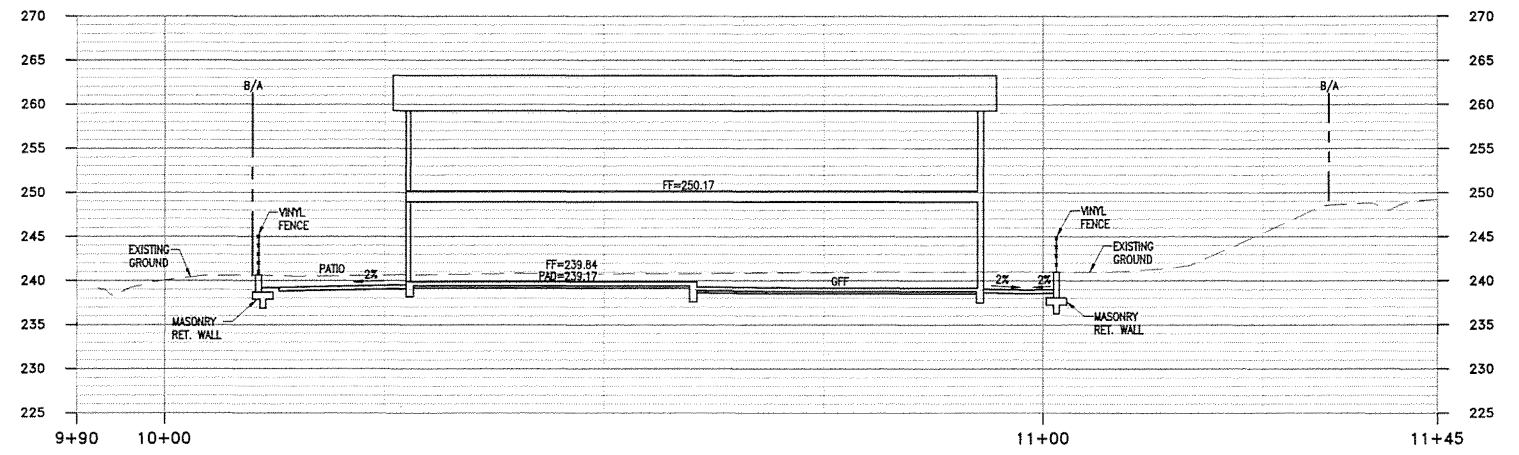
- PROPERTY LINE
- BUILDABLE AREA
- BUILDING SETBACK LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- 6" CURB & GUTTER
- CONCRETE DRIVEWAY
- MASONRY RETAINING WALL PER SDRSD C-06
- GRAVITY RETAINING WALL PER SDRSD C-09
- STRUCTURE WALL PER ARCHITECTURAL PLANS
- VINYL FENCE
- ORNAMENTAL IRON FENCE
- SHORING WALL WITH SHOTCRETE
- WATER LATERAL
- SEWER LATERAL
- STORM DRAIN PIPE
- STORM CATCH BASIN
- STORM AREA DRAIN
- STORM DRAIN PIPE CLEANOUT
- TYPE A-5 STORM DRAIN CLEANOUT
- HDPE DETENTION STORAGE
- CONCRETE DRIVEWAY
- CONCRETE PAVEMENT
- CONCRETE PAVERS
- DEEPEND FOOTING
- AIR CONDITIONING UNIT
- ESHA LINE
- ESHA LINE 20 FOOT BUFFER
- ESHA LINE 30 FOOT BUFFER
- ESHA LINE 50 FOOT BUFFER



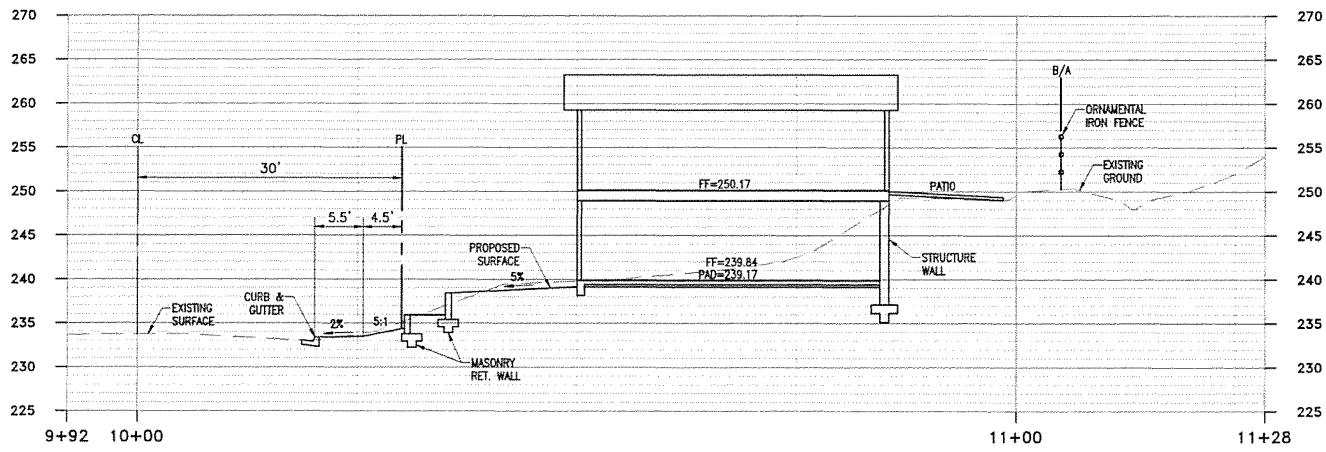
ENGINEER OF WORK A BILTZ Drawn By: JOSHUA D. REEVES R.C.E. 73368	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH PRELIMINARY GRADING PLAN FOR: 1128 SOLANA DRIVE, DEL MAR, CA	ENGINEERING DEPARTMENT	DRAWING NO. C-1 Sheet 1 of 2
By: _____ Date: _____			By: _____ Date: _____	By: _____ Date: _____	DESCRIPTION: CITY OF DEL MAR BRASS DISK LOCATION: NLY COR. OF CONC. VAULT AT SE COR. OF THE INTERSECTION OF VIA DE LA VALLE & JIMMY DURANTE BLVD. ELEV.: 15.50 DATUM: NGVD 29			



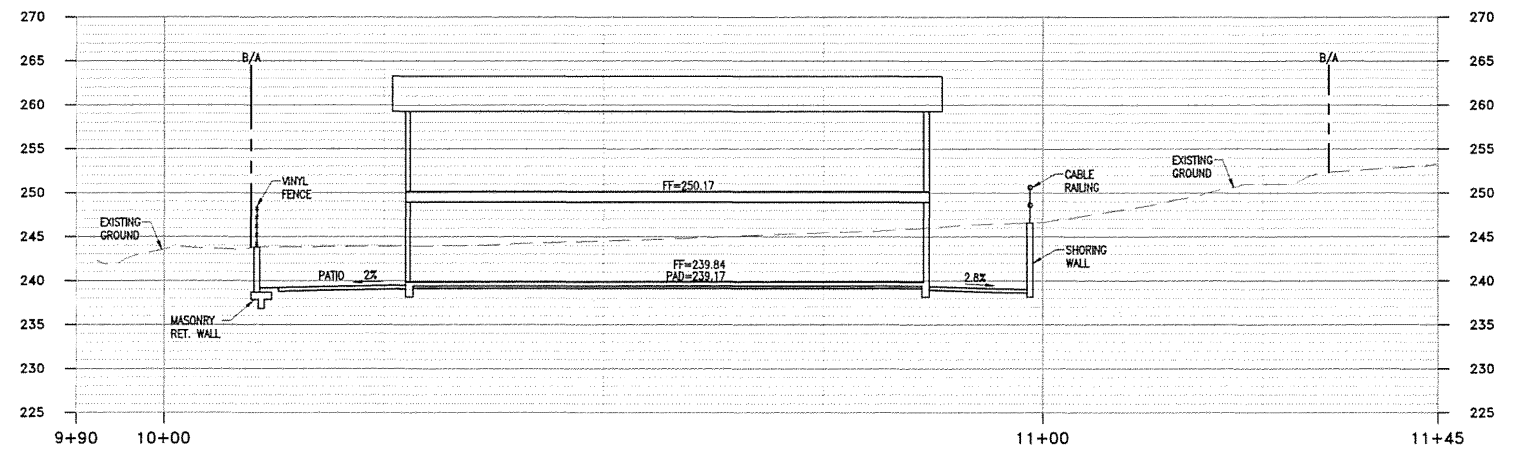
PROFILE SECTION A-A



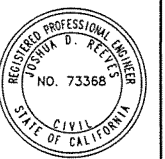
PROFILE SECTION C-C



PROFILE SECTION B-B

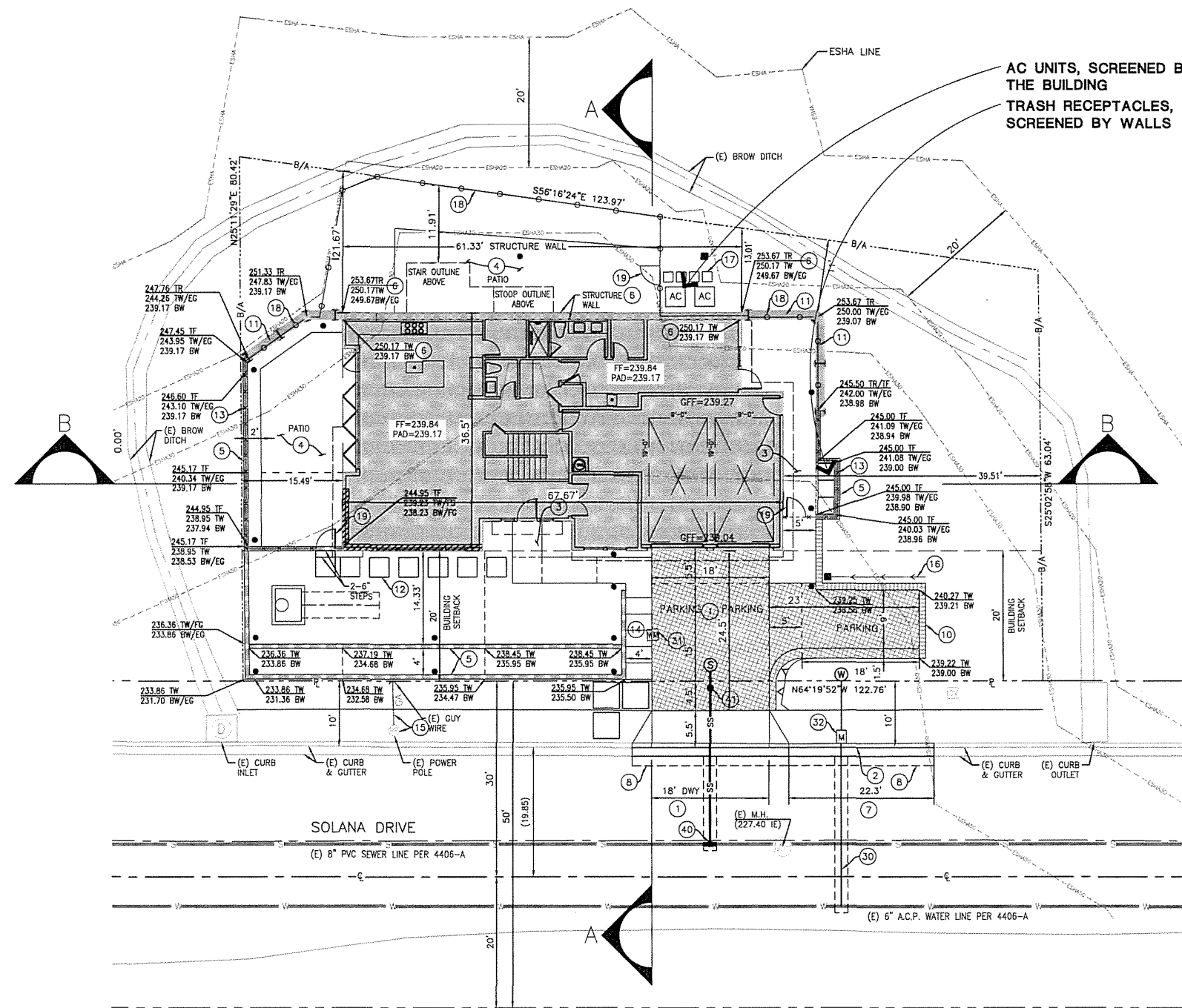


PROFILE SECTION D-D



ENGINEER OF WORK		CITY APPROVED CHANGES		APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
A BILTZ	By: JOSHUA D. REEVES	Date:			By: _____	By: _____	DESCRIPTION: CITY OF DEL MAR BRASS DISK LOCATION: N'LY COR. OF CONC. VAULT AT SE COR. OF THE INTERSECTION OF VA DE LA VALLE & JIMMY DURANTE BLVD. ELEV.: 15.50	PRELIMINARY GRADING PLAN FOR: 1128 SOLANA DRIVE, DEL MAR, CA		C-2
Drawn By	R.C.E. 73368				Date: _____	Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/24	DATUM: NGVD 29			Sheet 2 of 2

U:\DATA\PROJECTS\5170 HALLMARK\CAD FILES\5170-PGP-01.DWG (09-24-24 11:17:24AM) Plotted by: glopez



AC UNITS, SCREENED BY THE BUILDING
TRASH RECEPTACLES, SCREENED BY WALLS

SURFACE IMPROVEMENTS

- 1 18" WIDE PCC DRIVEWAY PER GEOTECHNICAL RECOMMENDATION
- 2 6" CURB & GUTTER PER SDRSD G-02
- 3 4" PCC WALKWAY
- 4 CONCRETE PATIO
- 5 MASONRY RETAINING WALL (WITH 6" FENCE WHERE SHOWN)
- 6 STRUCTURE WALL PER ARCHITECTURAL PLANS
- 7 PORTION OF EXISTING DRIVEWAY OPENING TO BE REMOVED AND REPLACED WITH 6" CURB & GUTTER
- 8 GRIND & A.C. OVERLAY
- 9 TRENCH COMPACTION & BACKFILL
- 10 GRAVITY RETAINING WALL (WITH FENCE WHERE SHOWN)
- 11 SHORING WALL WITH SHOTCRETE WITH CABLE RAILING
- 12 CONCRETE PAVER WALKWAY
- 13 VINYL FENCE
- 14 CONCRETE STAIRS
- 15 EXISTING POWER POLE AND GUY WIRE, PROTECT IN PLACE
- 16 1' DEEP EARTHEN SWALE
- 17 18" X 18" CONCRETE STEPPERS
- 18 ORNAMENTAL IRON FENCE
- 19 GATE

WATER IMPROVEMENTS

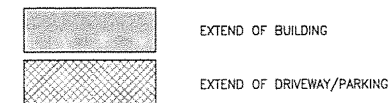
- 30 1" WATER SERVICE LATERAL
- 31 REMOVE EXISTING WATER METER
- 32 WATER METER

SEWER IMPROVEMENTS

- 40 4" SEWER LATERAL INSTALLATION PER SDRSD SS-01
- 41 SEWER CLEANOUT PER SC-01

NOTE

TW AND BW GRADES REPRESENT THE GROUND ELEVATION AT THE BACK AND FRONT OF THE WALL. THE ACTUAL TOP-OF-WALL AND TOP-OF-FOOTING AND WALL DIMENSIONS TO BE DETERMINED BY THE WALL DESIGNER.

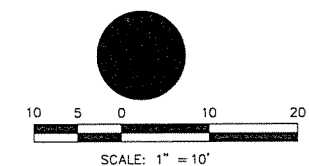


ABBREVIATIONS

B/A	BUILDABLE AREA
BW	BOTTOM OF WALL
D.F.	DEEPEEN FOOTING
DS	DOWNSPOUT
(E)	EXISTING
EG	EXISTING GRADE
ESHA	ENVIRONMENTAL SENSITIVE HABITAT AREA
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SURFACE
GFF	GARRAGE FINISH FLOOR
HDPE	HIGH DENSITY POLYETHYLENE
IE	INVERT ELEVATION
P	PROPERTY LINE
PVC	POLYVINYL CHLORIDE PIPE
SF	SQUARE FEET
TF	TOP OF FENCE
TG	TOP OF GRATE
TR	TOP OF RAILING
TW	TOP OF WALL

LEGEND

	PROPERTY LINE
	BUILDABLE AREA
	BUILDING SETBACK LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	6" CURB & GUTTER
	CONCRETE DRIVEWAY
	MASONRY RETAINING WALL PER SDRSD C-06
	GRAVITY RETAINING WALL PER SDRSD C-09
	STRUCTURE WALL PER ARCHITECTURAL PLANS
	VINYL FENCE
	ORNAMENTAL IRON FENCE
	SHORING WALL WITH SHOTCRETE
	WATER LATERAL
	SEWER LATERAL
	STORM DRAIN PIPE
	STORM CATCH BASIN
	STORM AREA DRAIN
	STORM DRAIN PIPE CLEANOUT
	TYPE A-5 STORM DRAIN CLEANOUT
	HDPE DETENTION STORAGE
	AIR CONDITIONING UNIT
	ESHA LINE
	ESHA LINE 20 FOOT BUFFER
	ESHA LINE 30 FOOT BUFFER
	ESHA LINE 50 FOOT BUFFER



1128 SOLANA DRIVE
DEL MAR, CA 92014
HALL FAMILY TRUST
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

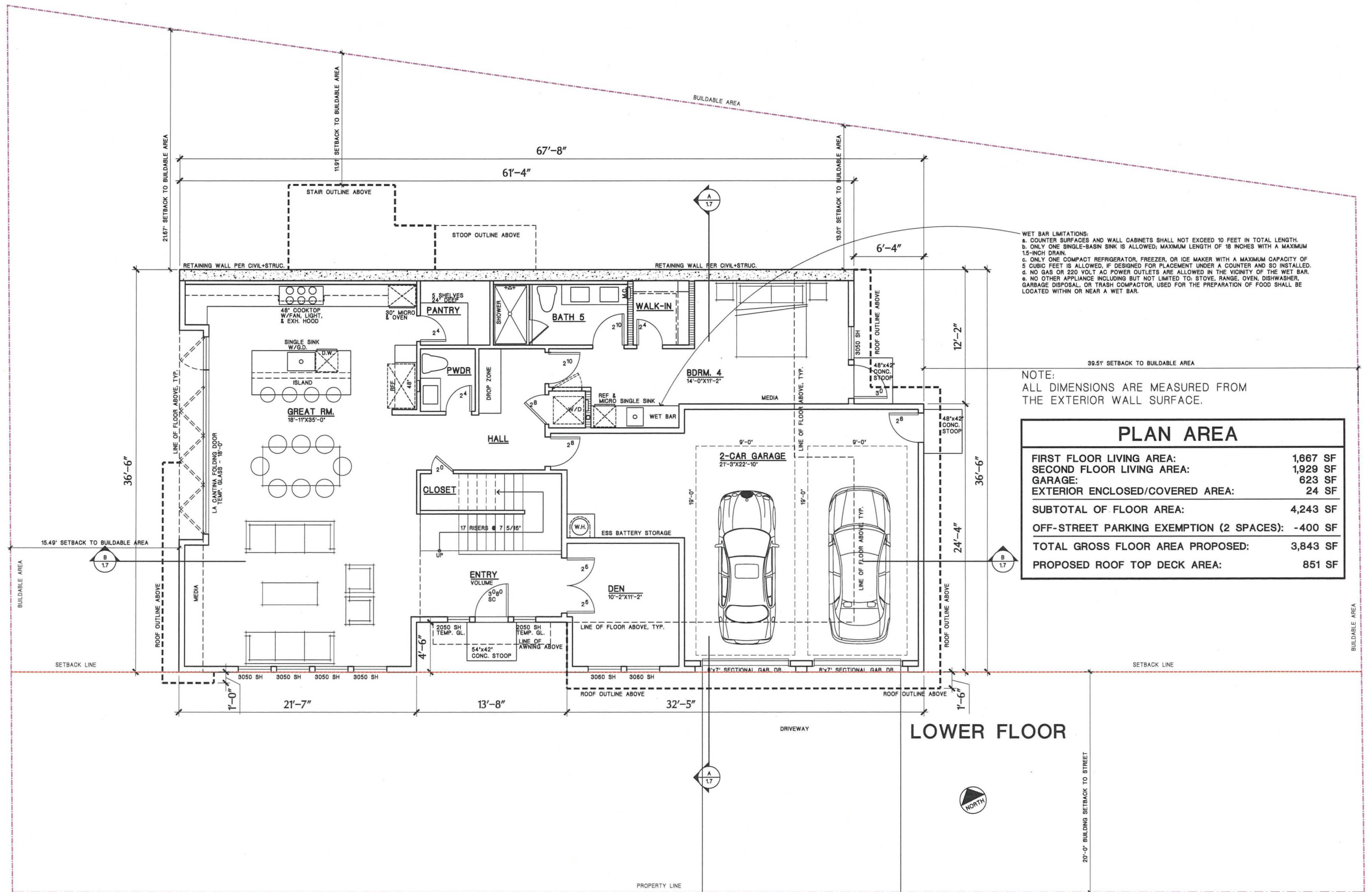
ARCHITECTURAL SITE PLAN

SCALE: 1"=10'-0"

09/26/24
23006

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1.0



1128 SOLANA DRIVE
 DEL MAR, CA 92014
HALL FAMILY TRUST
 740 LOMAS SANTA FE DRIVE, SUITE 204
 SOLANA BEACH, CALIFORNIA 92075

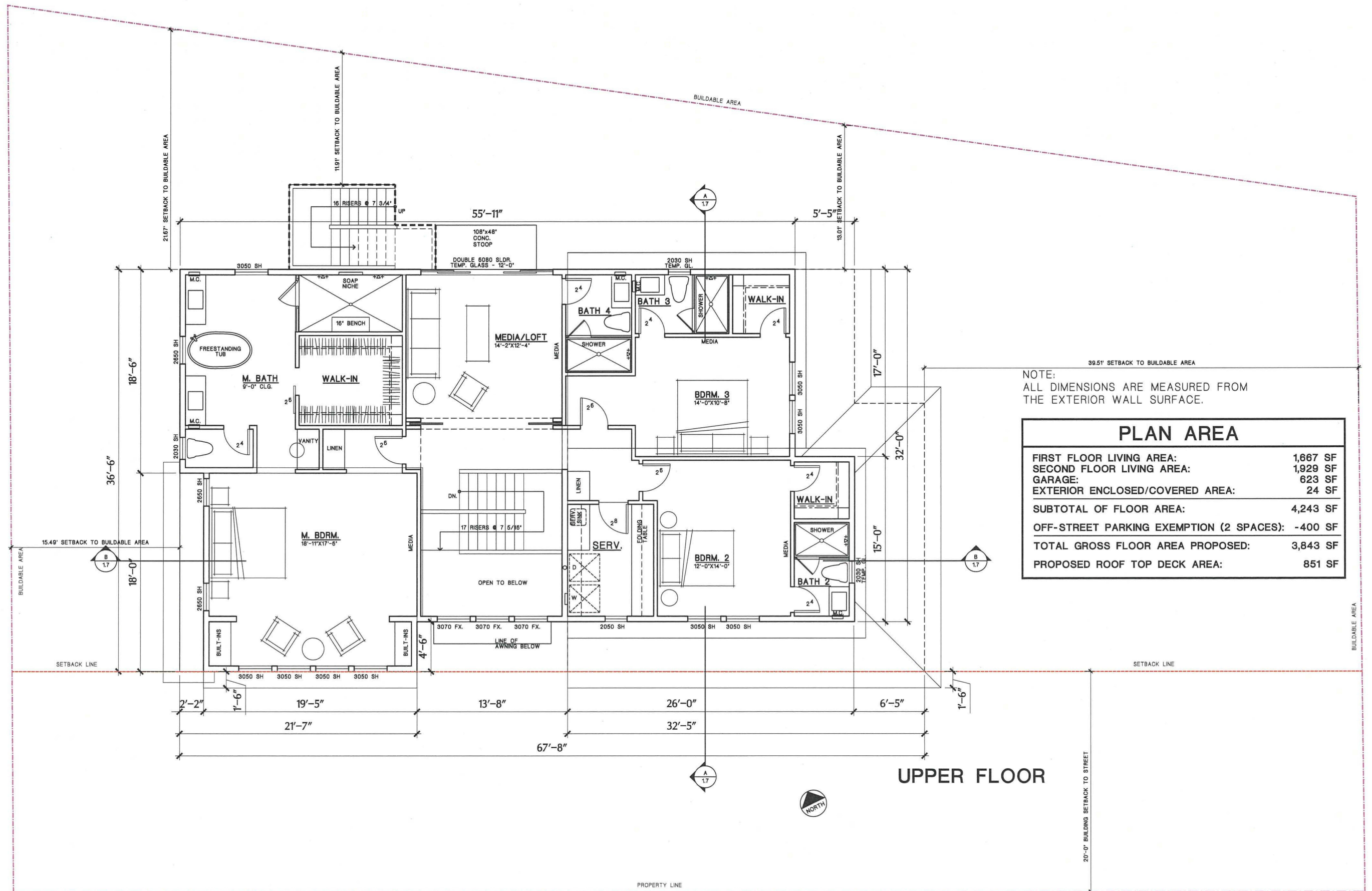
**FLOOR PLAN
 LOWER FLOOR**

SCALE : 1/4"=1'-0"

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1.1



NOTE:
ALL DIMENSIONS ARE MEASURED FROM
THE EXTERIOR WALL SURFACE.

PLAN AREA	
FIRST FLOOR LIVING AREA:	1,667 SF
SECOND FLOOR LIVING AREA:	1,929 SF
GARAGE:	623 SF
EXTERIOR ENCLOSED/COVERED AREA:	24 SF
SUBTOTAL OF FLOOR AREA:	4,243 SF
OFF-STREET PARKING EXEMPTION (2 SPACES):	-400 SF
TOTAL GROSS FLOOR AREA PROPOSED:	3,843 SF
PROPOSED ROOF TOP DECK AREA:	851 SF

UPPER FLOOR

1128 SOLANA DRIVE
DEL MAR, CA 92014
HALL FAMILY TRUST
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

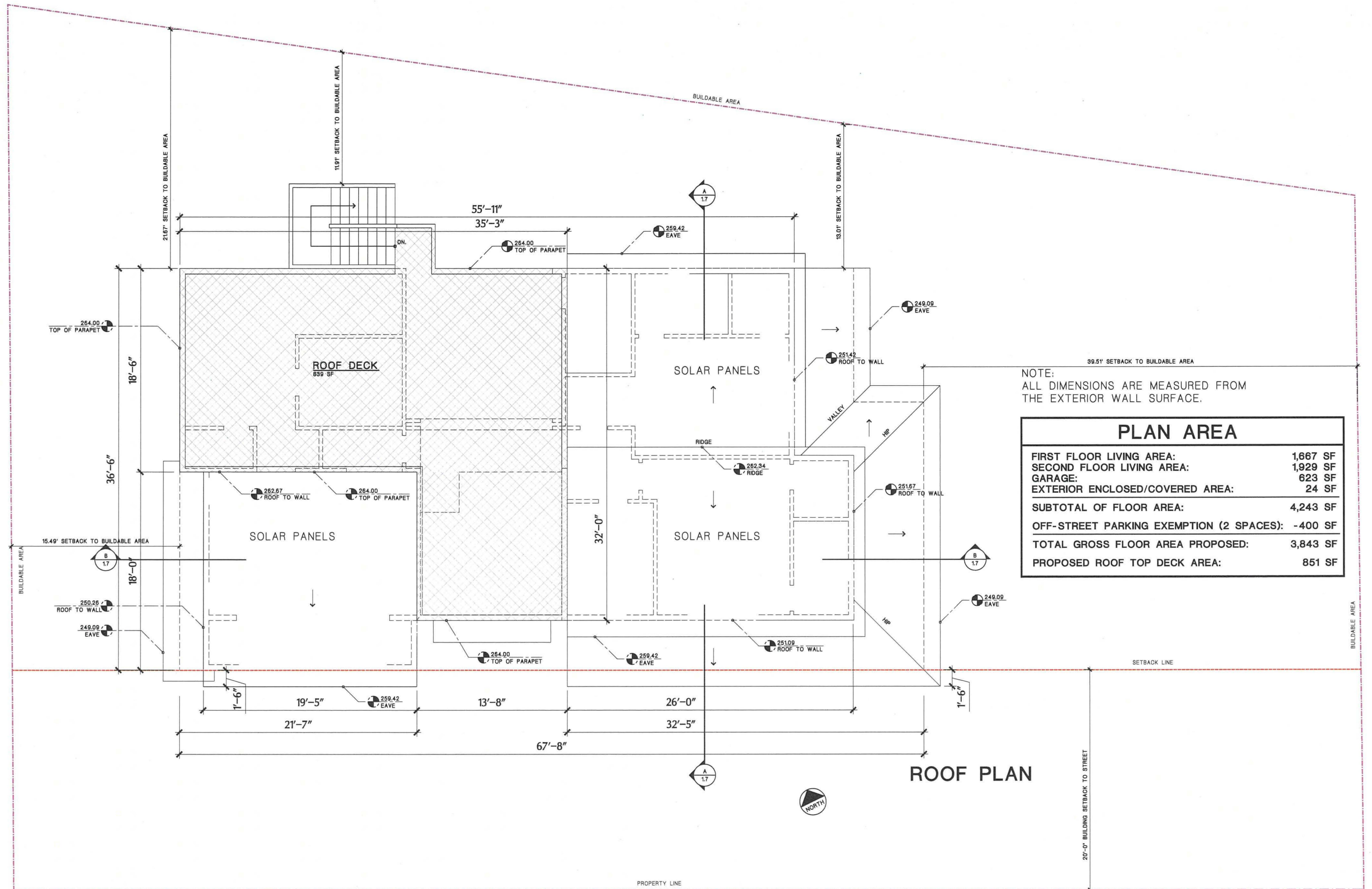
FLOOR PLAN
UPPER FLOOR

SCALE : 1/4"=1'-0"

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1.2



NOTE:
ALL DIMENSIONS ARE MEASURED FROM
THE EXTERIOR WALL SURFACE.

PLAN AREA	
FIRST FLOOR LIVING AREA:	1,667 SF
SECOND FLOOR LIVING AREA:	1,929 SF
GARAGE:	623 SF
EXTERIOR ENCLOSED/COVERED AREA:	24 SF
SUBTOTAL OF FLOOR AREA:	4,243 SF
OFF-STREET PARKING EXEMPTION (2 SPACES):	-400 SF
TOTAL GROSS FLOOR AREA PROPOSED:	3,843 SF
PROPOSED ROOF TOP DECK AREA:	851 SF

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DEL MAR, CA 92014
HALL FAMILY TRUST
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

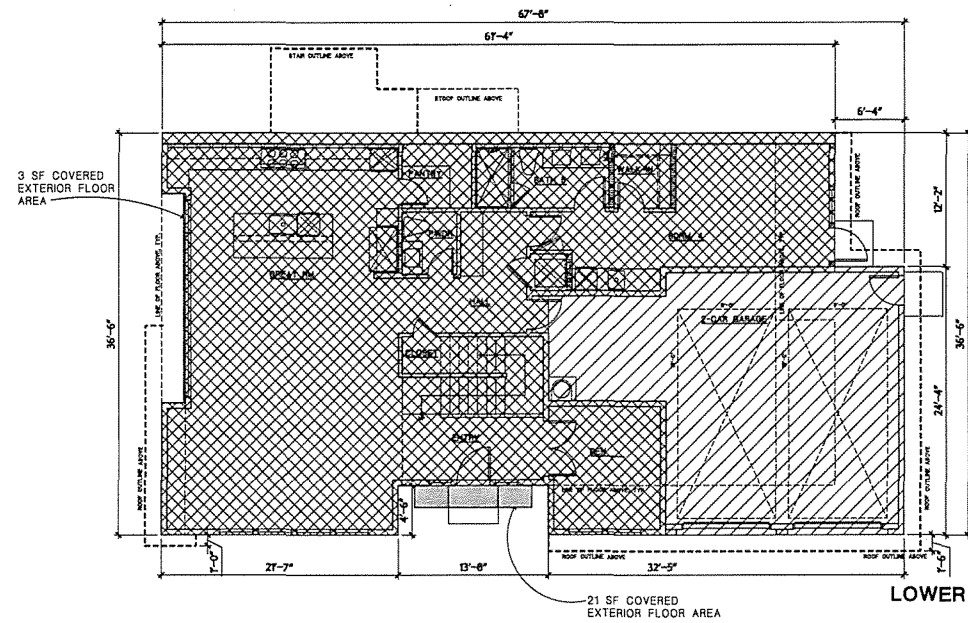
ROOF PLAN

SCALE : 1/4"=1'-0"

11/14/24
23006

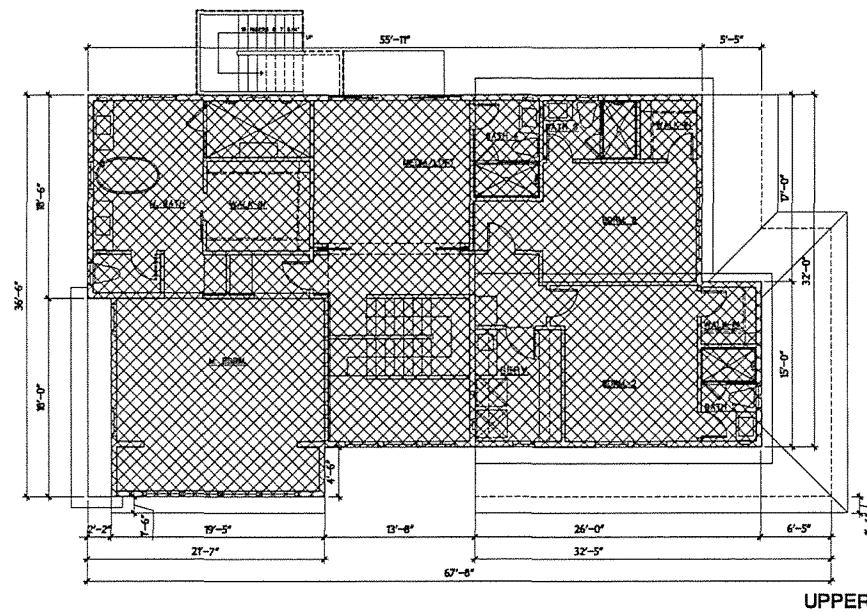
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1.3



NOTE:
ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACE.

LOWER FLOOR



NOTE:
ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACE.

PLAN AREA	
FIRST FLOOR LIVING AREA:	1,887 SF
SECOND FLOOR LIVING AREA:	1,829 SF
GARAGE:	823 SF
EXTERIOR ENCLOSED/COVERED AREA:	24 SF
SUBTOTAL OF FLOOR AREA:	4,243 SF
OFF-STREET PARKING EXEMPTION (2 SPACES):	-400 SF
TOTAL GROSS FLOOR AREA PROPOSED:	3,843 SF
PROPOSED ROOF TOP DECK AREA:	851 SF

ALLOWABLE FLOOR AREA CALC.

For Residential projects subject to SDRS, Section 17.46.04.060 (S.D.C.):

Use A or B (40% Max) for the first 3,000 sq. ft.	Use C (20% Max) for the portion of the first 3,000 sq. ft.	Use D (10% Max) for the portion of the first 3,000 sq. ft. that is greater than 3,000 sq. ft.
1.00	0.50	0.25
1.00	0.50	0.25
1.00	0.50	0.25

LEGEND	
	LIVING AREA
	GARAGE
	EXTERIOR COVERED/ENCLOSED AREA

UPPER FLOOR

1128 SOLANA DRIVE
DEL MAR, CA 92014
HALL FAMILY TRUST
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

FLOOR AREA DIAGRAM

SCALE : 1/8"=1'-0"

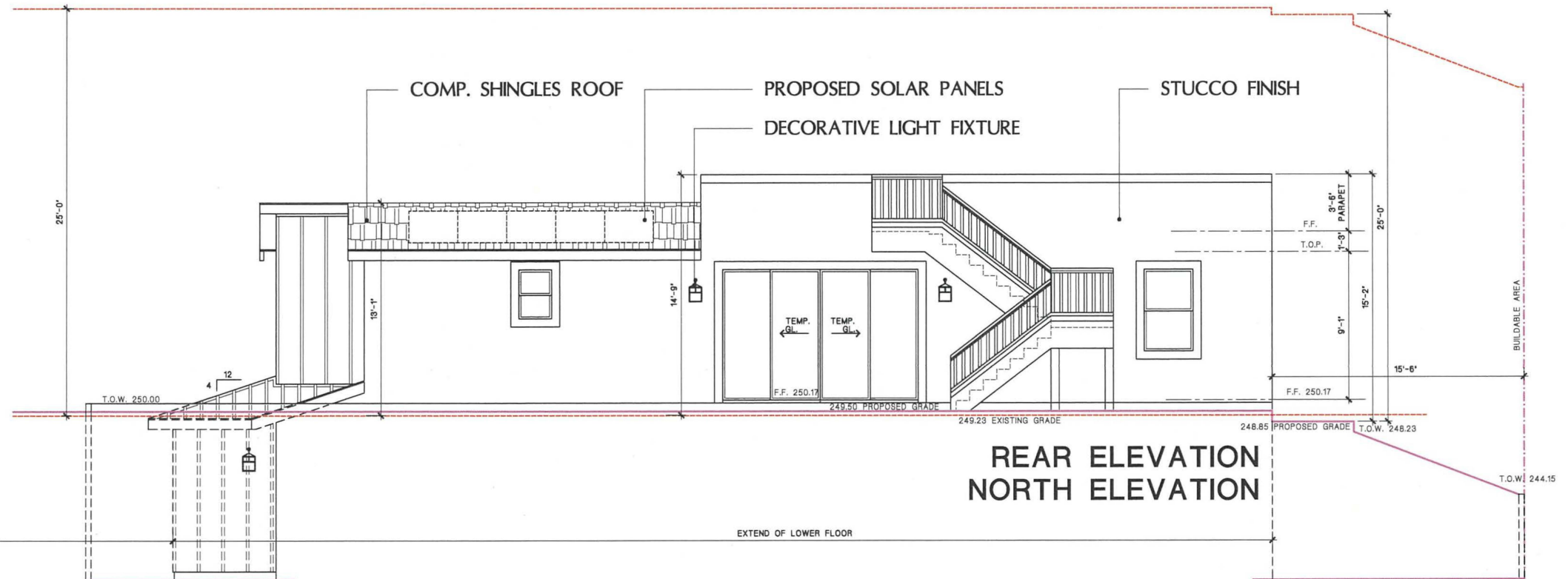
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1.4



**FRONT ELEVATION
SOUTH ELEVATION**



**REAR ELEVATION
NORTH ELEVATION**

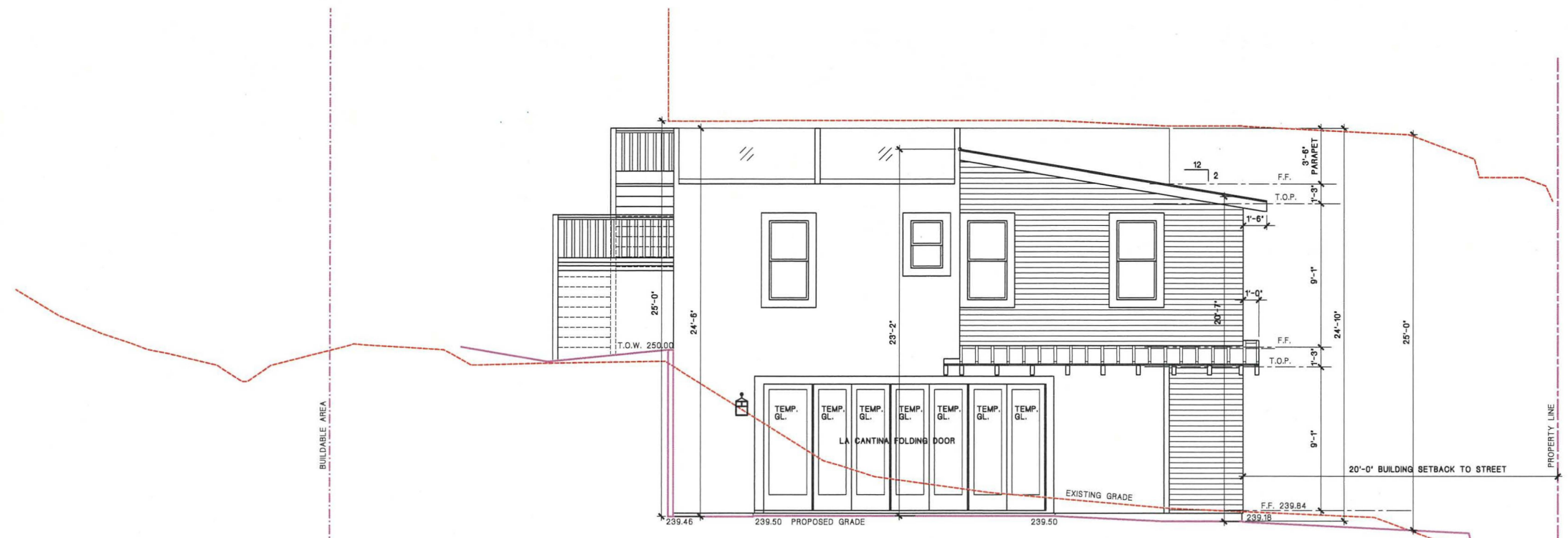
1128 SOLANA DRIVE
 DEL MAR, CA 92014
HALL FAMILY TRUST
 740 LOMAS SANTA FE DRIVE, SUITE 204
 SOLANA BEACH, CALIFORNIA 92075

ELEVATIONS

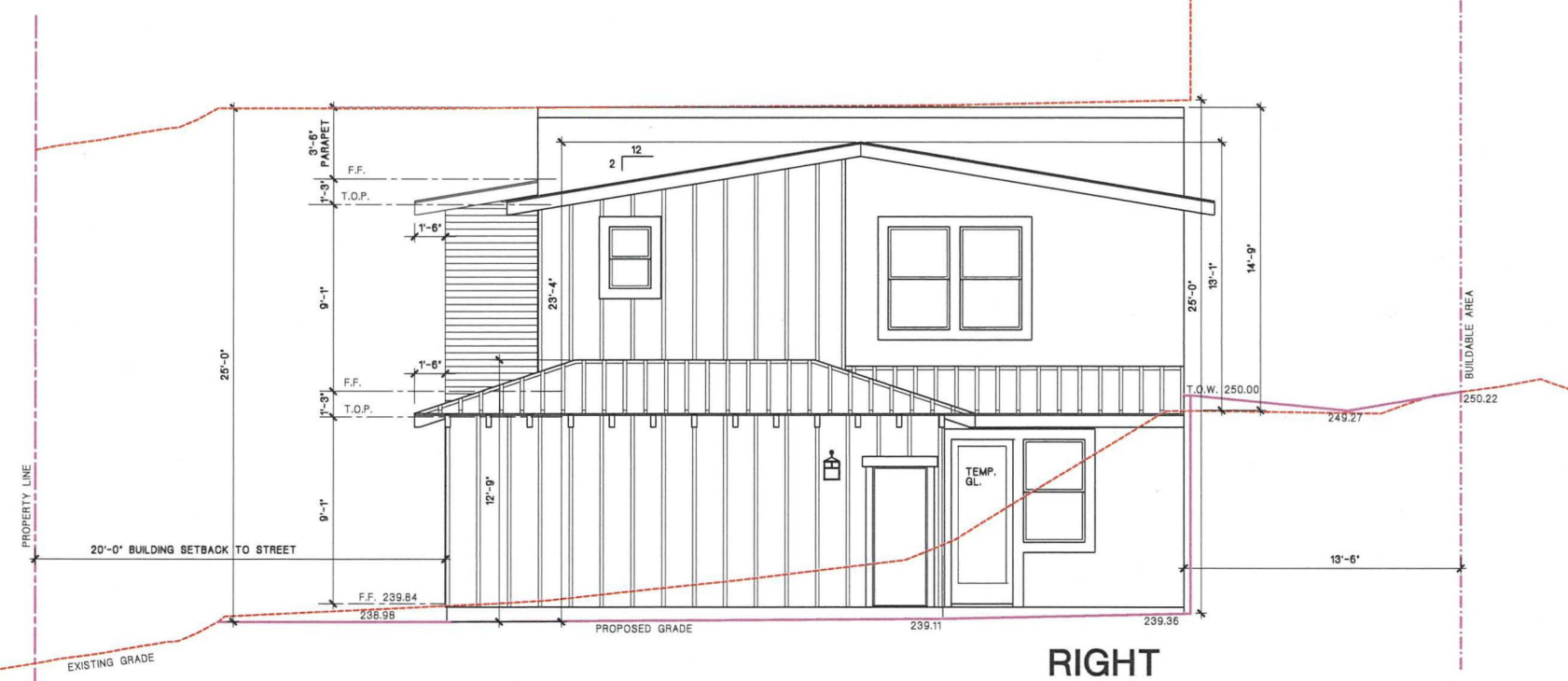
SCALE : 1/4"=1'-0"
 09/26/24
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1.5



LEFT
WEST ELEVATION



RIGHT
EAST ELEVATION

ELEVATIONS

1128 SOLANA DRIVE

DEL MAR, CA 92014

HALL FAMILY TRUST

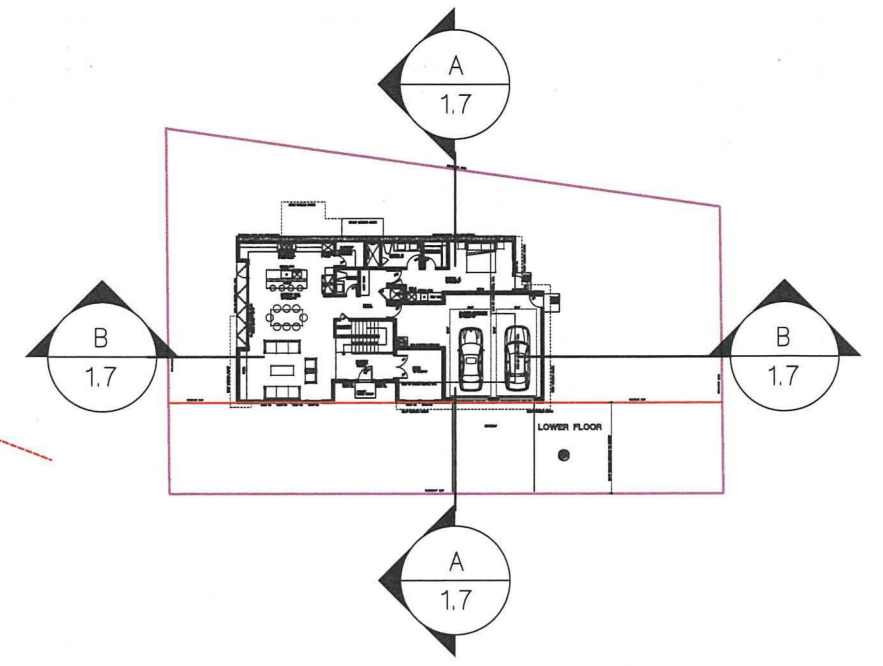
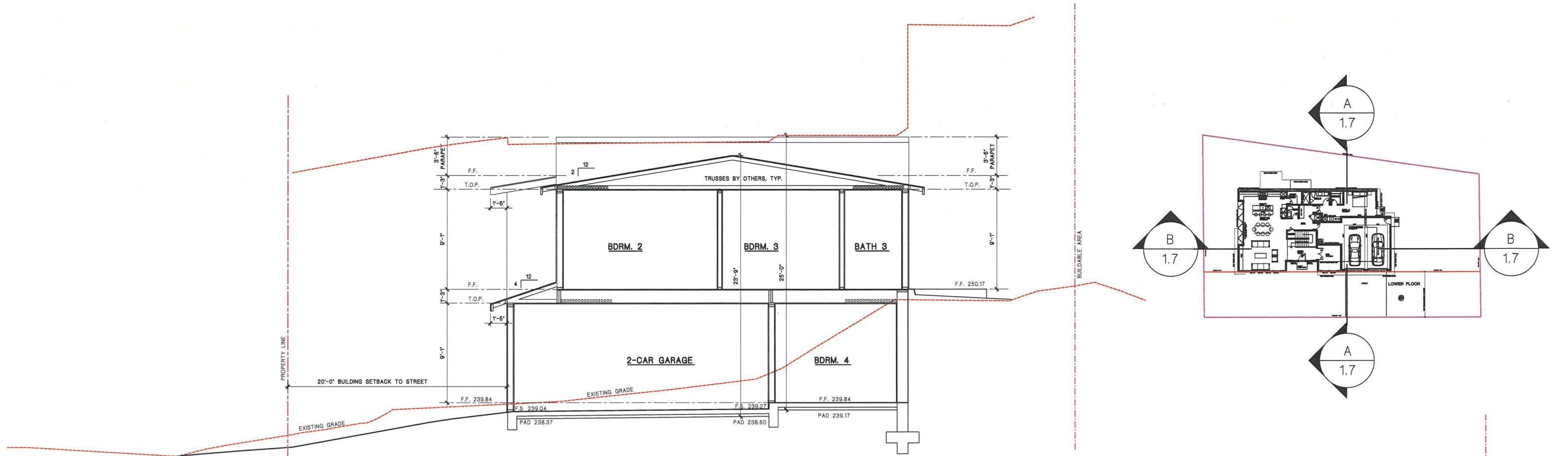
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

SCALE : 1/4"=1'-0"

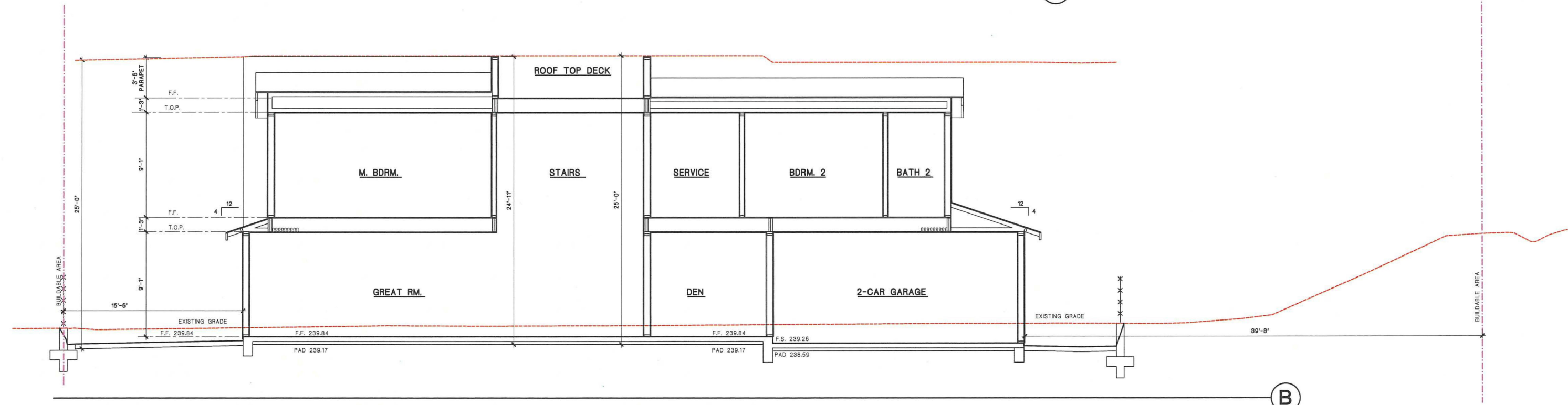
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A



B

1128 SOLANA DRIVE

DEL MAR, CA 92014

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740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

SECTIONS

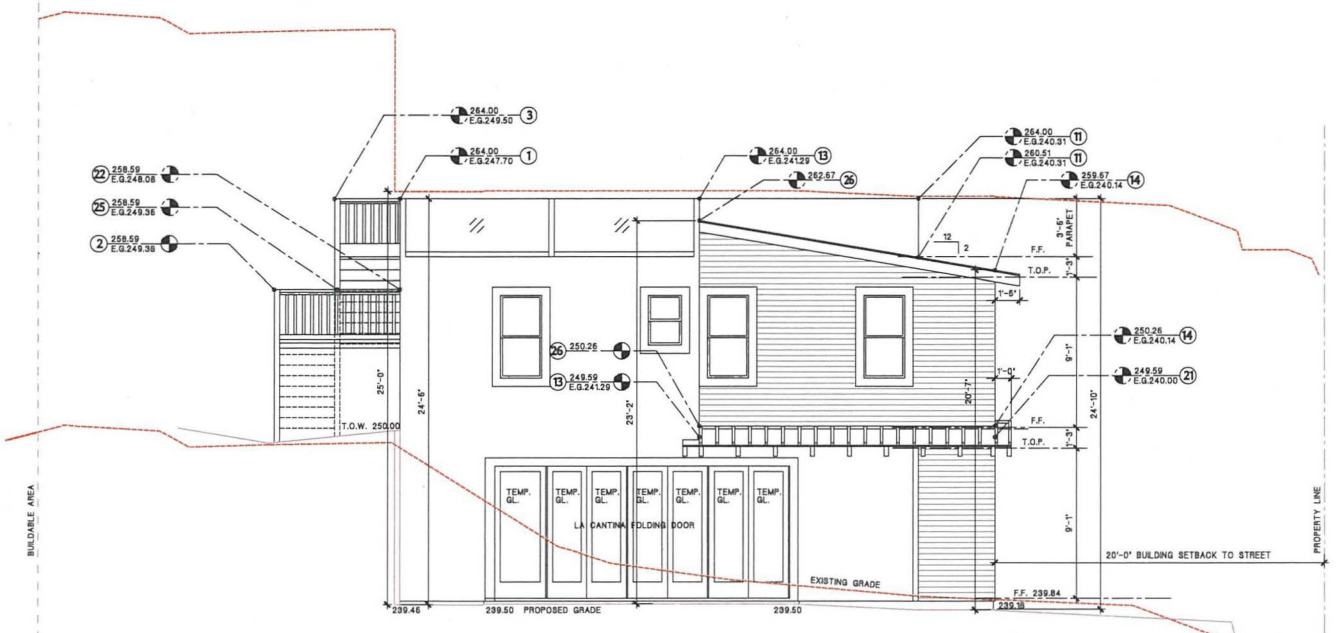
SCALE : 1/4"=1'-0"

09/26/24
23006



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1.7

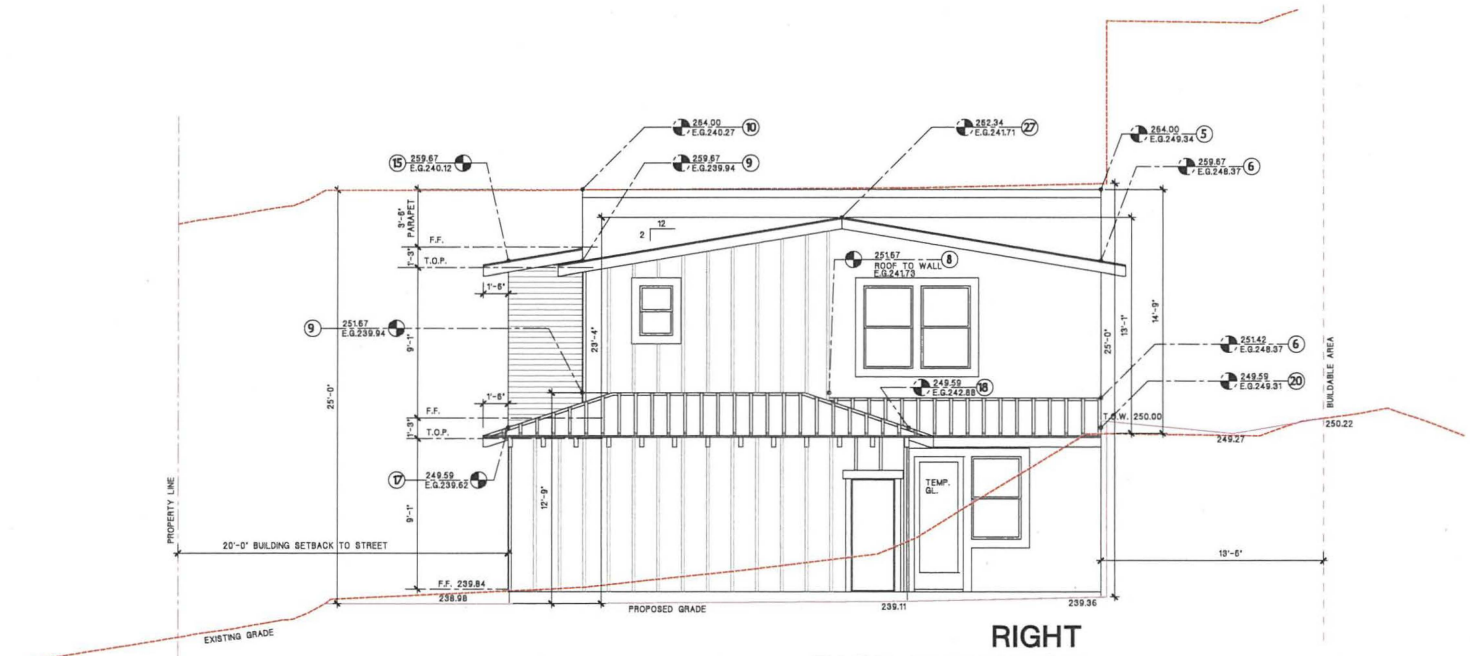


LEFT
WEST ELEVATION

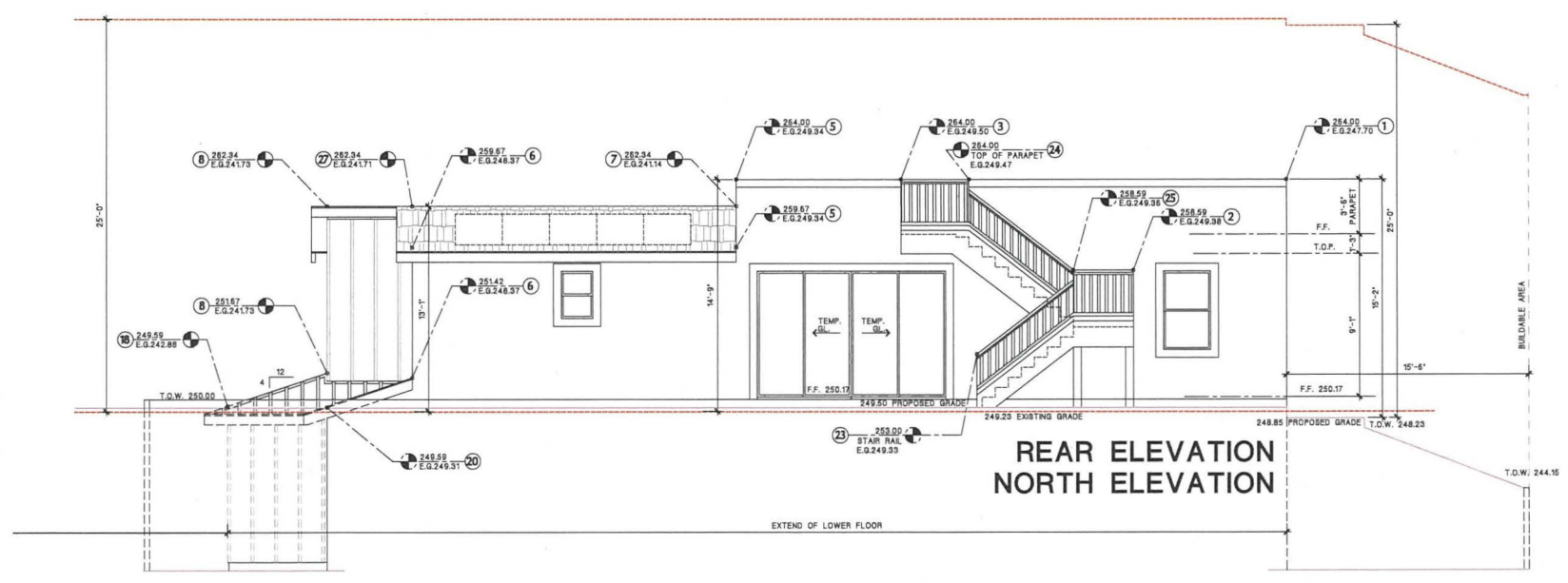


FRONT ELEVATION
SOUTH ELEVATION

LEGEND	
E.G.	EXISTING GRADE



RIGHT
EAST ELEVATION



REAR ELEVATION
NORTH ELEVATION

1128 SOLANA DRIVE
DEL MAR, CA 92014
HALL FAMILY TRUST
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CALIFORNIA 92075

STORY POLE ELEVATIONS

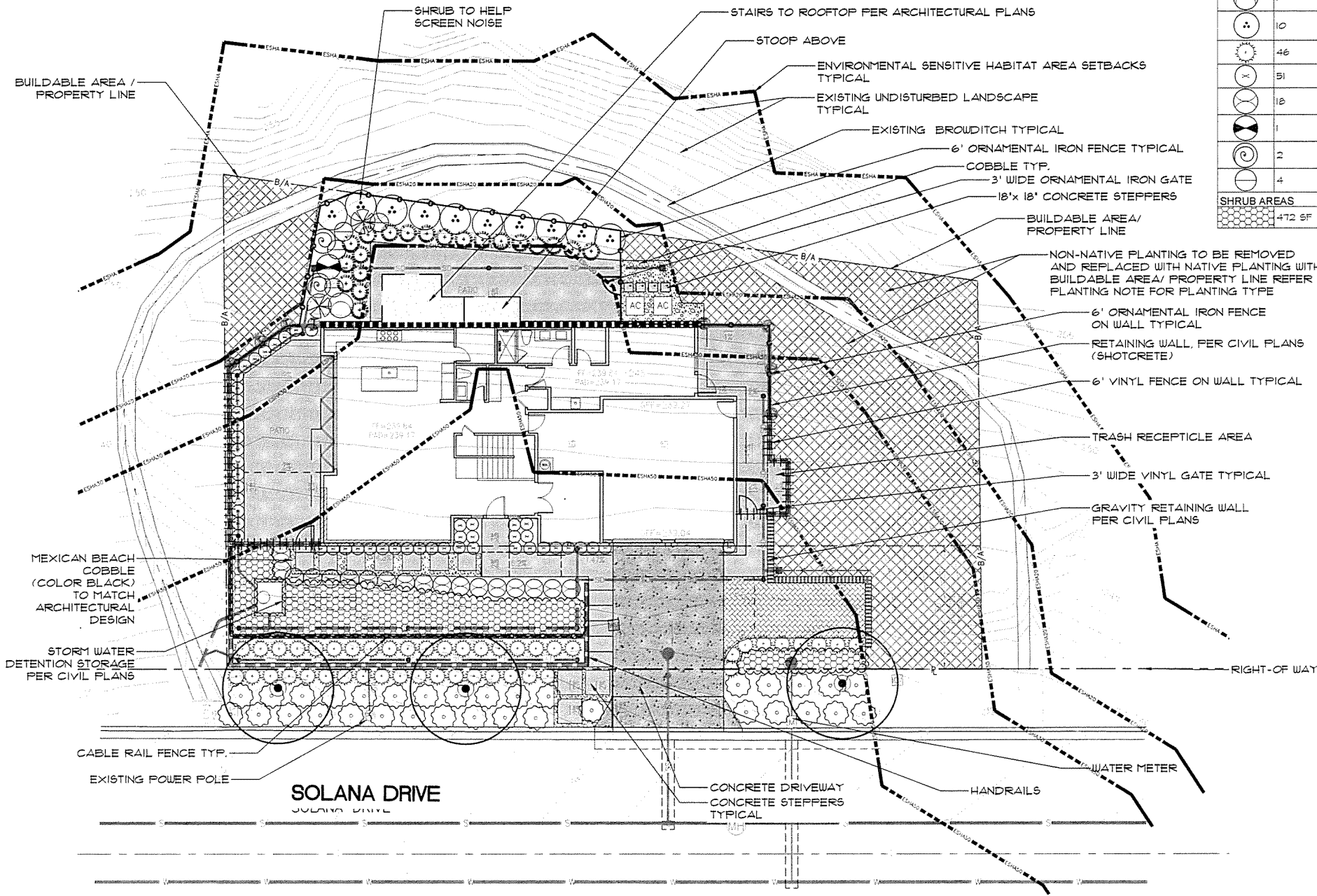
SCALE : 3/16"=1'-0"

11/14/24
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1.9

LANDSCAPE CONCEPT PLAN FOR: 1128 SOLANA DRIVE DEL MAR, CALIFORNIA 92014



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	HEIGHT	WUCOLS
TREES							
(Symbol)	3	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW	24" BOX	AS SHOWN 10' WIDE	20' H	VERY LOW
SHRUBS							
(Symbol)	20	CAREN TUMULICOLA	FOOTHILL SEDGE	1 GAL.	36" o.c. W	1'-2' H	LOW
(Symbol)	23	CEANOTHUS G. HOR. 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	1 GAL.	48" o.c. W	2'-3' H	LOW
(Symbol)	2	ENCELIA CALIFORNICA	CALIFORNIA ENCELIA	1 GAL.	48" o.c. W	2'-3' H	VERY LOW
(Symbol)	1	EPILOBIUM CALIFORNICUM	CALIFORNIA FUCHSIA	1 GAL.	48" o.c. W	1'-2' H	VERY LOW
(Symbol)	10	HETEROMELES ARBUTIFOLIA	TOYON	15 GAL.	60" o.c. W	12'-25' H	LOW
(Symbol)	46	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL.	36" o.c. W	1'-2' H	LOW
(Symbol)	51	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL.	24" o.c. W	1'-2' H	LOW
(Symbol)	18	LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE+ MAT RUSH	1 GAL.	48" o.c. W	2'-3' H	LOW
(Symbol)	1	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL.	48" o.c. W	3'-4' H	VERY LOW
(Symbol)	2	SALVIA CLEVELANDII 'WINNIFRED GILMAN'	WINNIFRED GILMAN CLEVELAND SAGE	1 GAL.	48" o.c. W	4'-5' H	VERY LOW
(Symbol)	4	VERBENA LILACINA 'DE LA MINA'	DE LA MINA LILAC VERBENA	1 GAL.	36" o.c. W	1'-2' H	LOW
SHRUB AREAS							
(Symbol)	472 SF	ARCTOSTAPHYLOS EDMUNDSONI 'CARMEL SUR'	CARMEL SUR MANZANITA	1 GAL.	48" o.c. W	1' H	LOW

PLANTING NOTES:

NON-NATIVE PLANTING WITHIN BUILDABLE AREA/PROPERTY LINE SHALL BE REPLACED WITH NATIVE SPECIES BELOW TO HELP ENHANCE THE BUFFER SPACE. PLANTING SHALL CONSIST OF 1 GALLON CONTAINER STOCK AND PLACED TO AVOID DISTURBANCE TO EXISTING NATIVE SPECIES. TEMPORARY IRRIGATION TO BE PROVIDED AND REMOVED ONCE PLANTS HAVE BEEN ESTABLISHED.

- CHAMISE (ADENOSTOMA FASCICULATUM)
- WART-STEMMED CEANOTHUS (CEANOTHUS VERRUCOSUS)
- MISSION MANZANITA (XYLOCOCUS BICOLOR)
- SPICE BUSH (CNEORIDIUM DUMOSUM)
- MOJAVE YUCCA (YUCCA SCHIDIGERA)
- BLACK SAGE (SALVIA MELLIFERA)
- REDBERRY (RHAMNUS CROCEA)
- LEMONADEBERRY (RHUS INTEGRIFOLIA)
- TOYON (HETEROMELES ARBUTIFOLIA)
- CALIFORNIA BUCKWHEAT (ERIOGONUM FASCICULATUM)
- GOLDEN YARROW (ERIOPHYLLUM CONFERTIFLORUM)



GENERAL NOTES:

THIS CONCEPTUAL LANDSCAPE PLAN DIAGRAMMATICALLY SHOWS PLACEMENT OF PROPOSED PROJECT LANDSCAPING. FINAL LANDSCAPE PLANS SHALL ACCURATELY IDENTIFY AND SHOW PLACEMENT OF TREES, SHRUBS AND GROUND COVERS. THE LANDSCAPE ARCHITECT IS AWARE OF THE CITY OF SOLANA BEACH POLICY WHICH PROHIBITS TREES AND STRUCTURES IN UTILITY EASEMENTS AND HAS CONCEPTUALLY DESIGNED THE PROJECT LANDSCAPE AND RESPECTIVE HARDSCAPE IN ACCORDANCE WITH THIS REQUIREMENT. ALL PERTINENT UTILITY EASEMENTS ARE DELINEATED ON THE PRELIMINARY CIVIL ENGINEERING SITE PLAN INFORMATION. THE FINAL LANDSCAPE PLAN SHALL SHOW ALL EASEMENTS THAT MAY AFFECT FINAL PLACEMENT OF PROJECT TREES AND SHRUBS BASED ON THE EASEMENT AND UTILITY INFORMATION RECEIVED FROM THE PROJECT ENGINEER. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER UNLESS NOTED OTHERWISE. LANDSCAPE AREAS SHALL BE MAINTAINED PER THE CITY OF SOLANA BEACH REQUIREMENTS AND SBMC 1756 WATER EFFICIENT LANDSCAPE REGULATIONS.

IRRIGATION NOTES:

AN AUTOMATIC IRRIGATION SHALL BE INSTALLED AS REQUIRED TO PROVIDE COVERAGE FOR PLANTING AREAS SHOWN ON THE PLAN. LOW PRECIPITATION EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY, AUTOMATIC CONTROL VALVES, TIMERS AND OTHER NECESSARY EQUIPMENT FOR PROPER COVERAGE. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL AND ANY DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER GUIDELINES. CLASS 315 PRESSURE OR SCHEDULE 40 MAINLINE SHALL BE BURIED TO A MINIMUM DEPTH OF 18". PVC LATERAL LINES SHALL BE BURIED 12" MINIMUM BELOW FINISH GRADE. ALL MAINLINE SHALL BE INSTALLED PER MANUFACTURER GUIDELINES, SPECIFICATIONS, AND ADHERE TO CODES AND GUIDELINES. ALL LANDSCAPE AND IRRIGATION IMPROVEMENTS SHALL BE INSTALLED PER THE PROVISIONS OF CITY OF SOLANA BEACH LANDSCAPE DESIGN GUIDELINES AND SHALL BE CONSISTENT WITH CURRENT STORMWATER BMP'S. FOR WATER CONSERVATION PLAN AND NOTES, SHEET L-2.

PLANTING NOTES:

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, ENVIRONMENTAL SENSITIVITY AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND SUPPLEMENTS BASED UPON THE AGRICULTURAL SOILS ANALYSIS REPORT FROM SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO PROTECT THE SOIL FROM EXCESSIVE SOLAR EXPOSURE, EVAPOTRANSPIRATION AND SURFACE WATER RUNOFF. ALL PLANTING AREAS SHALL BE MULCHED TO A DEPTH OF 3" TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. SHRUBS SHALL BE ALLOWED TO GROW INTO THEIR NATURAL FORMS WITHOUT SHEARING UNLESS TOPIARY FORMS ARE A DESIGN ELEMENT OR REQUESTED BY OWNER. ALL LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE CURRENT CITY OF SOLANA BEACH GUIDELINES.

INSTALL REINFORCED STRAW MATTING ON ALL SLOPE AREAS (GRADES OF 2:1 OR GREATER) THAT ARE GRADED OR DISTURBED AS PART OF THIS PROJECT TO PROVIDE EFFECTIVE EROSION CONTROL.

THE PROJECT LANDSCAPE SHALL CONFORM TO THE APPROVED STORMWATER PLAN AND REPORT. PLEASE REFER TO CIVIL ENGINEER'S PLANS FOR ALL STORMWATER MANAGEMENT DRAWINGS, LOW IMPACT DEVELOPMENT FEATURES, NOTES AND DETAILS.

EXISTING CONDITIONS:

PLEASE REFER TO BIOLOGICAL SURVEY FOR IDENTIFICATION OF ALL EXISTING VEGETATION. ALL VEGETATION IS TO BE REMOVED PRIOR TO FINISH GRADING.



THE LIGHTFOOT PLANNING GROUP

PLANNING SITE DESIGN LANDSCAPE ARCHITECTURE

5800 PASTEUR COURT SUITE 110 CARLSBAD, CA 92008 (761) 632-1524

LIGHTFOOT@LIGHTFOOTPE.COM



HALL RESIDENCE
1128 SOLANA DRIVE
DEL MAR, CALIFORNIA 92014

Scale: 1"=10'
Date: 10/6/16
Drawn By: EE
Revisions:

3/21/24
6/25/24
7/30/24
9/25/24

Landscape Concept Plan

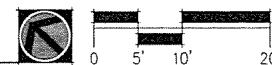
Job # 64128.01



64128.01 HALLMARK/SOLANA BEACH LOP

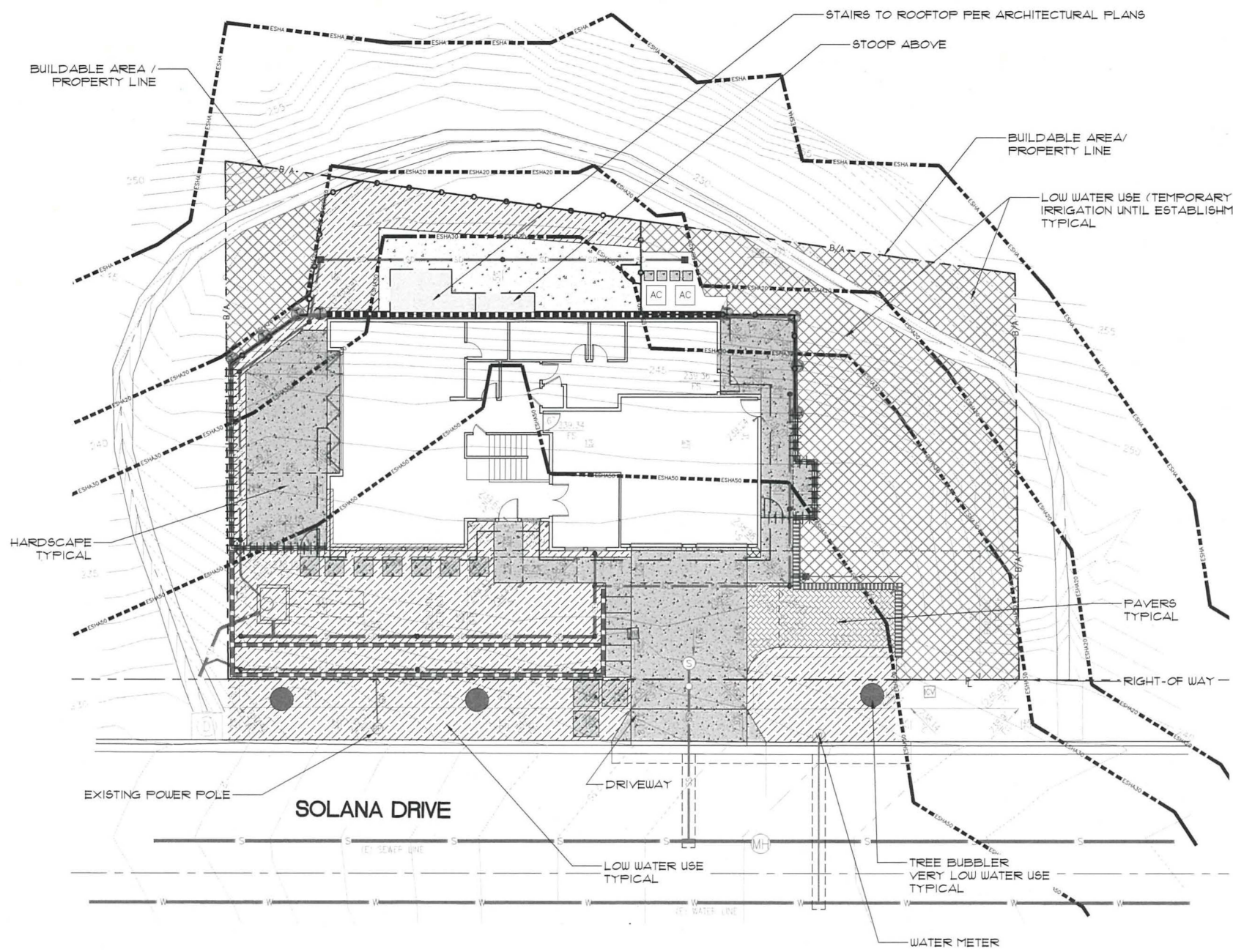
LANDSCAPE CONCEPT PLAN

All landscape to be privately maintained.



CONCEPTUAL WATER CONSERVATION PLAN FOR:

1128 SOLANA DRIVE DEL MAR, CALIFORNIA 92014



HYDROZONE LEGEND

SYMBOL	HYDROZONE INFO	HYDROZONE AREA (HA)	HYD NUM.	COMMENTS
	PLANT FACTOR: LOW 3 IRRIGATION TYPE: DRIP IRRIGATION EFFICIENCY: 81%	HYDROZONE AREA 2,436 SF	HYD. 1	SUBSURFACE DRIP
	PLANT FACTOR: VERY LOW 1 IRRIGATION TYPE: BUBBLER EFFICIENCY: 75%	HYDROZONE AREA 60 SF	HYD. 2	TREE BUBBLER
	PLANT FACTOR: LOW 3 IRRIGATION TYPE: MICRO SPRAY EFFICIENCY: 81%	HYDROZONE AREA 2,300 SF	HYD. 3	TEMPORARY IRRIGATION UNTIL ESTABLISHMENT
		TOTAL LANDSCAPE AREA 4,840 SF		

The project's Estimated total Water Use is calculated using the following formula:

- ETWU = (Eto) (0.62) (PF x HA / IE) + SLA
- ETWU = Estimated total water use per year (gallons per year)
- Eto = Evapotranspiration rate (inches per year)
- PF = Plant Factor (see requirements in chart)
- HA = Hydrozone Area (square feet). Define hydrozones by water use - very low, low, moderate and high
- SLA = Special Landscape Area (square feet). Edible plants, irrigated with recycled water, & turf used for active play
- 0.62 = Conversion Factor (to gallons per square foot)
- IE = Irrigation Efficiency (see requirements in chart)



CONCEPTUAL MAWA AND ETWU FOR CONCEPTUAL LANDSCAPE & WATER CONSERVATION PLANS FOR RESIDENCE AT 1128 SOLANA DRIVE

LINE	Hydrozone Number										10-SLA
	1	2	3	4	5	6	7	8	9		
Evapotranspiration Rate (Eto) - Solana	47.0										
Conversion factor - 62	0.62										
(Line 1 x Line 2)	29.14										
Plant Factor (PF)** (0.1-1.0)	0.3	0.1	0.3								
Hydrozone Area (HA) - Square Feet	2,436	60	2,344								
(Line 4 x Line 5) (PF x HA)	730.8	6	703.2								
Irrigation Efficiency (IE)***	0.81	0.75	0.81								
(Line 6 / Line 7) (PF x HA) / IE	902.22	8.00	866.15								
Total Line 8 + (SLA) LINE 5	1,778.37	+	0.00	=	1,778.37						
(Line 3 x Line 9)	51,821.71										
Estimated Total Water Use- ETWU (gallons per year)	51,821.71										
Total shall not exceed MAWA below											
*Eto = Evapotranspiration rate = 41(West of I-5) / 47 (East of I-5)											
** PF - Plant Factor (Water Use) - from WUCOLS											
***IE - Irrigation Efficiency											
Average calculated from values in State Model Water Efficiency											
Landscape Ordinance											
Appendix A											
MAXIMUM APPLIED WATER USE (MAWA) calculation											MAWA
Total Landscape Area											
29.14 [(ETAF x L.A.) + (1 - ETAF x Total SLA)]											
29.14 [0.55 (4,840.00) + (1 - 0.55) x 0.00]											77,570.68
ETWU = LANDSCAPE AREA (L.A) EST. WATER USE = (Eto)(.62) (PFxHA / IE) + SLA = LINE 3 X LINE 9											ETWU GAL/YR
[47.0 x 0.62] = 29.14 x (1,778.37)											51,821.71

WATER CONSERVATION NOTES:

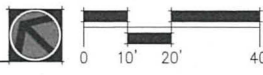
THE LANDSCAPE DESIGN AND IRRIGATION PLANS SHALL CONFORM TO THE SOLANA BEACH MUNICIPAL CODE 17.56 WATER EFFICIENT LANDSCAPE REGULATIONS AND CITY OF SOLANA BEACH LANDSCAPE MANUAL, DEVELOPMENT STANDARDS AND DESIGN GUIDELINES (ORD. 467, 2015, ORD. 430, 2011)

THE LANDSCAPE DOCUMENTATION PACKAGE, IRRIGATION AND PLANTING PLANS SHALL BE IN CONFORMANCE TO THE CODE STANDARDS. A MAWA AND THE ETWU FOR THE PLANS SHALL INCLUDE CALCULATIONS ON THE CITY FORM AND THE ETWU SHALL NOT EXCEED THE MAWA.

WATER EFFICIENT LANDSCAPE DECLARATION:

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

BY:
JAMES L. TAYLOR, LANDSCAPE ARCHITECT - LIC. NO. 2961
PHONE NO: (760) 692-1924
REGISTRATION NO: 2916 EXPIRATION DATE: 10/31/2024



LANDSCAPE CONCEPT PLAN

All landscape to be privately maintained.



THE LIGHTFOOT PLANNING GROUP

PLANNING SITE DESIGN LANDSCAPE ARCHITECTURE

5900 PASTEUR COURT SUITE 110 CARLSBAD, CA 92008 (760) 692-1924

LIGHTFOOT@LIGHTFOOTPG.COM



HALL RESIDENCE
1128 SOLANA DRIVE
DEL MAR, CALIFORNIA 92014

Scale: 1"=10'
Date: 10/6/16
Drawn By: EE
Revisions:

3/21/24
6/25/24
7/30/24
9/25/24

Water Conservation Plan

Job # 64128.01

L-2
2

64128.01 HALLMARK/SOLANA BEACH LCP

VINCENT N. SCHEIDT

Biological Consultant



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Sean Santa Cruz
VP Planning and Development
740 Lomas Santa Fe Drive, Suite 204
Solana Beach, CA 92075

Revised November 4, 2024
August 21, 2017

Subject: Updated Biological Resources Report for the 1128 Solana Drive Residential Project, Solana Beach

Dear Sean:

This report addresses biological resources, project-related impacts, and associated project requirements in connection with development of a Single Family Residence (SFR) at 1128 Solana Drive (Solana Beach Project No. DRP24-011/SDP24-003). The proposed SFR project site, which is Lot 10 of the Solana Hills Estates Planned Residential Development) consists of approximately 8,796 square feet (0.20 acre) of vacant land located north of Solana Drive in the City of Solana Beach, California (Figure 1).

PROJECT DESCRIPTION AND REGULATORY SETTING

Development of a SFR at the 1128 Solana Drive requires a Development Review Permit and a Structure Development Permit from the City of Solana Beach. The issuance of these permits will allow the construction of a SFR and associated improvements on the subject property. Access to the new home will be from the southeast off Solana Drive.

Lot 10 is a remnant of a larger development project (Solana Hills Estates PRD; APN 298-371-27-10) with existing development and undisturbed areas (Figure 2). Solana Hills Estates was approved in 1988. At that time, the developer rough graded ten home pads (including Lot 10) with the intent to build and sell ten new homes. Only one of the lots was built - the remaining lots were sold to private parties, including Lot 10 which was sold to the applicant. The analysis in this report is focused on the footprint of the proposed Lot 10 development, including brush management on the adjoining slopes just beyond the boundaries of the project site.

The 1128 Solana Drive is located in a Planned Residential Development (PRD) that was analyzed in compliance with the California Environmental Act (CEQA) and fully entitled in 1988. The City's request for subsequent environmental review is to ensure consistency with not only the conditions of the PRD and CEQA, but also with City's Development Review Permit and a Structure Development Permit process, local Coastal/Land Use Plan, and related ordinances and policies. The City must certify that the project as proposed fully conforms to these and all other applicable local, state, and federal regulations.

PURPOSE OF STUDY

The purpose of this study was to inventory the project site for biological resources, identify and map project site plant communities, and search for signs of rare, endangered, threatened, or otherwise sensitive plants or animals which have a potential to occur here. These data were used in an assessment of biological resource values. The analysis allows a determination of project-related direct and indirect impacts, as required by the California Environmental Quality Act (CEQA), and mitigation, if appropriate and necessary. It further allows a determination of the project's conformance with the City of Solana Beach's Land Use Plan (LUP) / Local Coastal Plan (LCP).

METHODS

Field surveys of the 1128 Solana Drive Project site were completed in December of 2007, March and July of 2016, April of 2017, May 13, 2021, and most recently on February 28, 2024. Surveys were completed by the author, Vincent N. Scheidt, and Brandon Myers, Associate Biologist in 2016 and 2017. The entire 1128 Solana Drive SRF project site was slowly walked and examined, and all plants, animals, and habitats encountered were inventoried. The vegetation communities identified during the surveys were mapped utilizing a recent (2016) aerial site photo (Figures 3 & 4), and a registered land surveyor staked the limits of the sensitive vegetation during the February visit (Figure 5). All plants identified in association with the property are listed in Appendix 1, attached. Floral nomenclature used in this letter follows Hickman (1993) and others. Plant communities follow Holland (1996, as amended).

Wildlife observations were made opportunistically. Binoculars were used to assist with identifications and all wildlife species observed were noted (Appendix 1). Animal nomenclature used in this report is taken from Stebbins (2003) for reptiles and amphibians, American Ornithologist's Union (1998, as updated) for birds, and Jones, et. al (1992) for mammals.

RESULTS

Habitats

The 1128 Solana Drive Project site supports two plant associations or habitats based on the most recent 2024 survey. These are Non-native Vegetation/Disturbed Habitat (NNV/DH), which are combined for analysis purposes in this report, and Southern Maritime Chaparral (SMC) habitat, which is considered Environmentally Sensitive Habitat Area (ESHA). Exhibit 3-9 (Environmentally Sensitive Habitat Areas) of the City's LCP-LUP shows 100 percent of the subject site as ESHA, with the area identified as Diegan Coastal Sage Scrub-Disturbed in 2009. This appears to be erroneous because the site has supported NNV/DH since at least 2007, with no changes to the vegetation since that time. There is no evidence that it ever supported Diegan Coastal Sage Scrub (disturbed or undisturbed), and likely would have been SMC prior to the creation of the existing pad, brow ditch, and related graded features in 1988.

Non-native Vegetation/Disturbed Habitat (Holland Code 11000/11300) – 0.2 acre

A previously graded pad adjoined by a strip of Non-native Vegetation (NNV) is found on the lower portions of the project site. The pad itself qualifies as supporting Disturbed Habitat (DH), with only weedy or disturbance responsive species, such as occasional recruiting native species. Nearly the entire northwestern edge of the site is covered by a large strip of Western Coastal Wattle (*Acacia cyclops*). Recruitment by non-native species around the disturbed pad consists of Castor Bean (*Ricinus communis*), Pampas Grass (*Cortaderia selloana*), and others. NNV/DH is of low biological value.

Southern Maritime Chaparral – Holland Code 37C30 – adjoining areas

The northern end of the project site, beyond the graded pad, consists of a natural slope that supports high-value Southern Maritime Chaparral (SMC) vegetation. This habitat is indicated by various woody species, including Chamise (*Adenostoma fasciculatum*), Wart-stemmed Ceanothus (*Ceanothus verrucosus*), Mission Manzanita (*Xylococcus bicolor*), and other dense shrubs. Some areas of SMC that are adjacent to the DH/NNV on the project site are being encroached upon by non-native species that have spread into this area. The biological value of this ESHA habitat is high.

Environmentally Sensitive Habitat Area

Portions of the Solana Hills Estates PRD project site are currently mapped as ESHA. While this mapping is accurate for the upper slopes beyond the proposed development footprint, the lower padded area of the project site has been degraded since 1988 and it continues to contain a previously padded area, a concrete brow ditch, and related improvements in preparation for site development at that time. Helix Environmental Planning mapped the project site, without ground-truthing the mapping, as supporting SMC and Diegan Coastal Sage Scrub-Disturbed in 2009. This appears to have been in error, as the project site has supported NNV/DH and SMC since at least 2007 when the author's first surveys for this report were conducted. Areas adjoining the old graded area continue to support SMC, which qualifies as ESHA. The habitat in these areas is unchanged, and the natural slopes support several sensitive species. The site is located in the Hillside Overlay Zone, which requires protection of natural topography and habitats. A detailed LCP/LUP/ESHA analysis is provided in Attachment B.

Plants and Animals

Seventy-eight plant species and thirteen animal species were detected on the 1128 Solana Drive project site during the various site surveys. The plant species observed typify the diversity normally found in DH, NNV, and SMC on small properties in this part of the City. A complete list of the plants observed is presented in Appendix 1. About half of the plants (48%) are non-natives, including some noxious invasives, although a diversity of natives is present and these dominate the SMC. The relatively small number of animals detected is a mostly reflection of the site's small size and proximity to existing development. Animals observed are listed in Appendix 1.

Sensitive Vegetation Communities

Sensitive vegetation communities are those recognized by the City of Solana Beach's Local Coastal Program (LCP) and Land Use Plan (LUP) as being rare within the region, those communities that support sensitive plant or animal species, and/or those communities serving as important wildlife corridors. These communities are typically rare throughout their ranges, or are highly localized and/or fragmented.

The NNV/DH habitat present on the 1128 Solana Drive project site is not considered a sensitive vegetation community and it is not ESHA. However, ESHA adjoins the development area on the slopes above and adjacent to the development area; this SMC which is considered a sensitive vegetation community in the City of Solana Beach.

Sensitive Plants

Two sensitive plant species were observed on the 1128 Solana Drive project site during the various surveys. These are Wart-stemmed Ceanothus and Torrey Pine (*Pinus torreyana*). Torrey Pine was represented by a sapling tree that appeared to have been planted at the edge of the brow ditch. The pine was not present during the 2021 field survey, suggesting that it had died and had been removed. The specimen was outside of the natural range of *P. torreyana*, and it was almost certainly of horticultural origin. For this reason, it is not considered a significant site resource. Several mature Wart-stemmed Ceanothus shrubs are found on the property (Figure 4). All are located within the ESHA. Other sensitive plants known from the vicinity are presented in Attachment A.

Sensitive Animals

One sensitive animal was detected on the 1128 Solana Drive Project site. This was the Orange-throated Whiptail (*Cnemidophorus hyperythrus beldingi*). A single specimen was observed in the vicinity of the brow ditch foraging at

the base of a large Pampas Grass in 2017. A number of other sensitive animals, including wide-ranging species, have a moderate probability to utilize this property on at least an occasional basis. These might include various sensitive bats (eg: *Nyctinomops macrotus*, *N. femorosaccus*, *Myotis ciliolabrum.*, *M. yumanensis*, *Corynorhinus townsendii*) or raptors (eg: Red-shouldered Hawk (*Buteo lineatus*), Cooper's Hawk (*Accipiter cooperii*)) that could fly over or roost on the project site on occasion. No "occupied" habitat or raptor nests were detected, however. One or two other species of sensitive but locally-abundant reptiles, such as Coronado Skink (*Eumeces skiltonianus interparietalis*) and Coast Patch-nosed Snake (*Salvadora hexalepis virgulata*) could also occur on the project site in low numbers. In any case, no sensitive animal populations would depend on the resources provided by this small property. Sensitive animals known from the vicinity are presented in Attachment A.

Wildlife Corridors

Wildlife corridors are not present on the project site. All natural lands in the immediate vicinity are entirely surrounded by development, although a small amount of ESHA was observed adjoining the development area and further to the north along San Andreas Drive.

IMPACTS

Anticipated impacts (Table 1) were calculated by determining the acreage of each habitat-type affected by the site development as proposed, including grading, landscaping, and related improvements.

Direct impacts (anticipated) entail the actual removal of biological features from the site due to clearing and grading. These direct impacts are considered permanent, because they result in a conversion of habitats to landscaped areas, structures, etc. Indirect impacts (not anticipated) are those effects on native habitats, plants, or animals resulting from project implementation that are not the direct result of grading or development. Examples of indirect impacts include introduction of exotic species, human intrusion, lighting, noise, and related "edge effects".

Direct Impacts

Development of the 1128 Solana Drive Project site as proposed will directly impact approximately 0.2 acre of the NNV/DH. Brush management is not required beyond the property line and into the ESHA - no brush thinning or removal is required, and it precludes landscaping in this area. Related to this, 100-foot ESHA buffers are not feasible given the constraints of the proposed development area. This buffering would render the property undevelopable, and buffers of 20-50 feet are part of the project design. However, impacts to the ESHA are not anticipated. Impacts to the NNV/DH are considered "less than significant" as defined by CEQA. Impacts to ESHA could be considered "significant" as defined by CEQA.

Indirect Impacts

Indirect impacts associated with site construction are also considered "less than significant". This is because all adjoining areas are developed, other than a strip of natural SMC habitat adjoining the development area to the north and east. For this reason, the surrounding lands are already impacted by the edge effects of existing development.

Brush Management

A fuel modification assessment for the 1128 Solana Drive property was completed in April of 2024 by Dudek and approved by the City on April 17, 2024. This report indicated that brush thinning, clearing, or any landscaping of the natural slopes beyond the development area of the project site is not required. This is consistent with Policy 3.22 of the City of Solana Beach Local Coastal Program Land Use Plan , which states: “*Development adjacent to ESHAs shall minimize impacts to habitat values or sensitive species to the maximum extent feasible.*” Because the 1128 Solana Drive development site adjoins ESHA, implementation of the approved fuel modification assessment ensures that impacts to ESHA will not be required by the project, and that all native vegetation beyond the home site will be kept in a natural condition and left un-impacted.

CONCLUSIONS AND RECOMMENDATIONS

No specific habitat-based or species-based mitigation is required in order to reduce projects impacts to biological resources to “less than significant” for the NNV/DH habitat on the project site.

Table 1 below summarizes project-related impacts to project site habitats and mitigation requirements.

Table 1. Impact/Mitigation Analysis - the 1128 Solana Drive Project

<u>Habitat</u>	<u>Project Site Acreage</u>	<u>Impacted Acreage</u>	<u>Mitigation Ratio</u>	<u>Mitigation Required</u>
Disturbed Habitat / Non-native Vegetation	0.2	0.2	0:1	none
Southern Maritime Chaparral	--	none	3:1	none
Total	0.2	0.2	—	none

Construction noise and grading could affect migratory songbirds, raptors, and other avifauna. In order to avoid conflicts with the federal Migratory Bird Treaty Act (MBTA) and Sections 3503, 3503.5 and 3513 of the California Fish and Game Code, the project must not remove or disturb any potential nesting habitat, including ground-nesting habitat, during the bird breeding season, defined as between 1 January and 31 August of each year. To avoid impacts to raptors and/or any native/migratory birds, removal of potential nesting habitat that supports active nests on or within 500 feet of the project site should occur outside of the avian breeding season. If work must take place on the project site during the breeding season, a qualified biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on or within 500 feet of the project site. The pre-construction survey shall be conducted within two weeks prior to the start of any construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to the City for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City’s compliance with LCP/LUP Policy 3.32 and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City and qualified biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.

Please contact me if you have any questions or concerns.

Very truly yours,



Vince Scheidt
Certified Biological Consultant

Attachments: Bibliography
 Table 1. Impact/Mitigation Analysis
 Figure 1. Project Location - U.S.G.S.
 Figure 2. Location of Project Site within Solana Hills Estates PRD
 Figure 3. Recent Aerial Photograph
 Figure 4. Biological Resources on Aerial Photograph
 Figure 5. Biological Resources on Site Plan

 Appendix 1. Plants and Animals Observed

 Attachment A. Sensitive Species Known from Vicinity
 Attachment B. LCP/LUP/ESHA Analysis

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Appendix 1. Plants and Animals Observed - 1128 Solana Drive Project

<u>Scientific Name</u>	<u>Common Name</u>
<u>Plants</u>	
<i>Acacia cyclops</i> * ■	Western Coastal Wattle
<i>Acmispon glaber</i> ■	Deerweed
<i>Adenostoma fasciculatum</i>	Chamise
<i>Asclepias curassavica</i> . * ■	Tropical Milkweed
<i>Atriplex semibaccata</i> * ■	Australian Saltbush
<i>Avena barbata</i> * ■	Slender Wild Oat
<i>Avena fatua</i> * ■	Wild Oat
<i>Baccharis pilularis</i>	Coyote Brush
<i>Baccharis sarothroides x pilularis</i> ■	Baccharis 'Centennial'
<i>Bidens pilosa</i> var. <i>pilosa</i> ■	Beggar Ticks
<i>Bromus diandrus</i> * ■	Ripgut Brome
<i>Bromus madritensis</i> * ■	Red Brome
<i>Camissoniopsis bistorta</i>	California Sun Cup
<i>Carpobrotus chilensis</i> * ■	Chilean Sea Fig
<i>Carpobrotus edule</i> * ■	Sea Fig
<i>Ceanothus verrucosus</i>	Wart-stemmed Ceanothus
<i>Centaurea melitensis</i> * ■	Tocalote
<i>Chenopodium murale</i> * ■	Goosefoot
<i>Cneoridium dumosum</i>	Spice Bush
<i>Cortaderia selloana</i> * ■	Pampas Grass
<i>Cynodon dactylon</i> * ■	Bermuda Grass
<i>Cyperus involucratus</i> * ■	Umbrella Papyrus
<i>Deinandra fasciculata</i> ■	Clustered Tarweed
<i>Dudleya pulverulenta</i>	Chalk, Live-forever
<i>Erigeron bonariensis</i> * ■	Flax-leaved Horseweed
<i>Erigeron canadensis</i> ■	Common Horseweed
<i>Eriogonum fasciculatum</i>	Flat-top Buckwheat
<i>Eriophyllum confertiflorum</i> var. <i>confertiflorum</i>	Golden Yarrow
<i>Erodium moschatum</i> * ■	Musk Stork's-bill
<i>Festuca megalura</i> * ■	Foxtail Fescue
<i>Hedypnois rhagadioloides</i> * ■	Crete Hedypnois
<i>Helianthemum scoparium</i>	Rock Rose
<i>Heteromeles arbutifolia</i>	Toyon
<i>Heterotheca grandiflora</i> ■	Telegraph Weed
<i>Hooveria parviflora</i>	Small-flowered Soaproot
<i>Hypochaeris glabra</i> * ■	Smooth Cat's Ear
<i>Isocoma menziesii</i>	Coastal Goldenbush
<i>Lamarckia aurea</i> * ■	Goldentop
<i>Logfia gallica</i> * ■	Narrow-leaf Filago
<i>Lysimachia arvensis</i> * ■	Scarlet Pimpernel
<i>Malacothamnus fasciculatus</i>	Bushmallow
<i>Malosma laurina</i>	Laurel Sumac

Appendix 1. Plants and Animals Observed - 1128 Solana Drive Project

<u>Scientific Name</u>	<u>Common Name</u>
<u>Plants (cont)</u>	
<i>Marah macrocarpa</i>	Man Root
<i>Medicago polymorpha</i> * ▣	Bur Clover
<i>Melilotus albus</i> * ▣	White Sweetclover
<i>Melilotus indicus</i> * ▣	Small Melilot
<i>Melinis repens</i> * ▣	Rose Natal Grass
<i>Muhlenbergia microsperma</i>	Littleseed Muhly
<i>Nassella lepida</i>	Foothill Stipa
<i>Nassella tenuissima</i> * ▣	Mexican Feathergrass
<i>Opuntia ficus-indica</i> * ▣	Indian Fig
<i>Opuntia</i> x sp. *	Hybrid Prickly Pear
<i>Oxalis pes-caprae</i> * ▣	Bermuda Buttercup
<i>Pinus torreyana</i> ▣	Torrey Pine
<i>Polygonum aviculare</i> ssp. <i>aviculare</i> ▣	Prostrate Knotweed
<i>Polypogon monspeliensis</i> * ▣	Rabbitfoot Grass
<i>Porophyllum gracile</i>	Odora
<i>Pseudognaphalium beneolens</i> ▣	Fragrant Cudweed
<i>Pseudognaphalium microcephalum</i> ▣	Feltleaf Everlasting
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Raphanus sativus</i> * ▣	Wild Radish
<i>Rhamnus crocea</i>	Redberry
<i>Rhus integrifolia</i>	Lemonadeberry
<i>Ricinus communis</i> * ▣	Castor Bean
<i>Salix lasiolepis</i> ▣	Arroyo Willow
<i>Salsola pestifer</i> * ▣	Russian Thistle
<i>Salvia mellifera</i>	Black Sage
<i>Sairocarpus</i> sp.	Snapdragon
<i>Senecio vulgaris</i> * ▣	Common Groundsel
<i>Schismus barbatus</i> * ▣	Schismus
<i>Sisymbrium altissimum</i> * ▣	Tumble Mustard
<i>Solanum parishii</i>	Parish's Nightshade
<i>Sonchus asper</i> * ▣	Sow Thistle
<i>Sonchus oleraceus</i> * ▣	Sow Thistle
<i>Stephanomeria virgata</i>	Stephanomeria
<i>Xylococcus bicolor</i>	Mission Manzanita
<i>Yucca schidigera</i>	Mojave Yucca
<i>Yucca</i> sp. * ▣	Horticultural Yucca
<u>Birds</u>	
<i>Aphelocoma californica</i>	California Scrub Jay
<i>Archilochus anna</i>	Anna's Hummingbird
<i>Carpodacus mexicanus</i>	Housefinch
<i>Dendroica coronata</i>	Audubon's Warbler
<i>Falco sparverius</i>	American Kestrel
<i>Mimus polyglottos</i>	Mockingbird

Birds (cont)

Pipilo crissalis

Thryomanes bewickii

Zenaida macroura

California Towhee

Bewick's Wren

Mourning Dove

Reptiles

Cnemidophorus hyperythrus beldingi

Sceloporus occidentalis

Uta stansburiana

Orange-throated Whiptail

Western Fence Lizard

Side-blotched Lizard

Mammals

Sylvilagus sp.

Rabbit

78 plants; 13 animals

* = non-native taxon

bold = sensitive species

■ = within development footprint

Figure 1. Project Location – The 1128 Solana Drive Project
Portion of U.S.G.S. “Del Mar” 7.5’ quadrangle

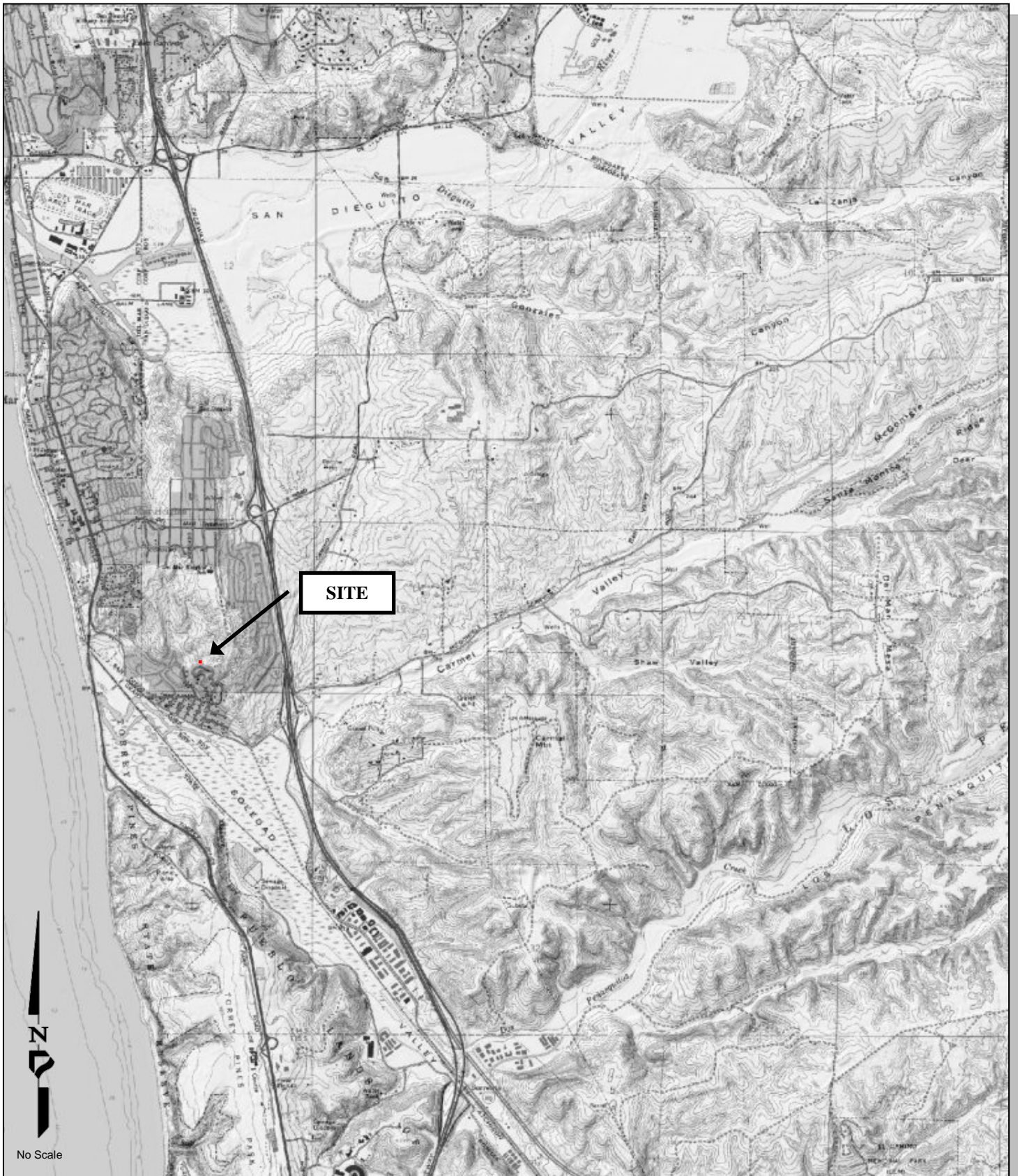


Figure 2. The 1128 Solana Drive Project Site (Lot 10) within Solana Hills Estates PRD

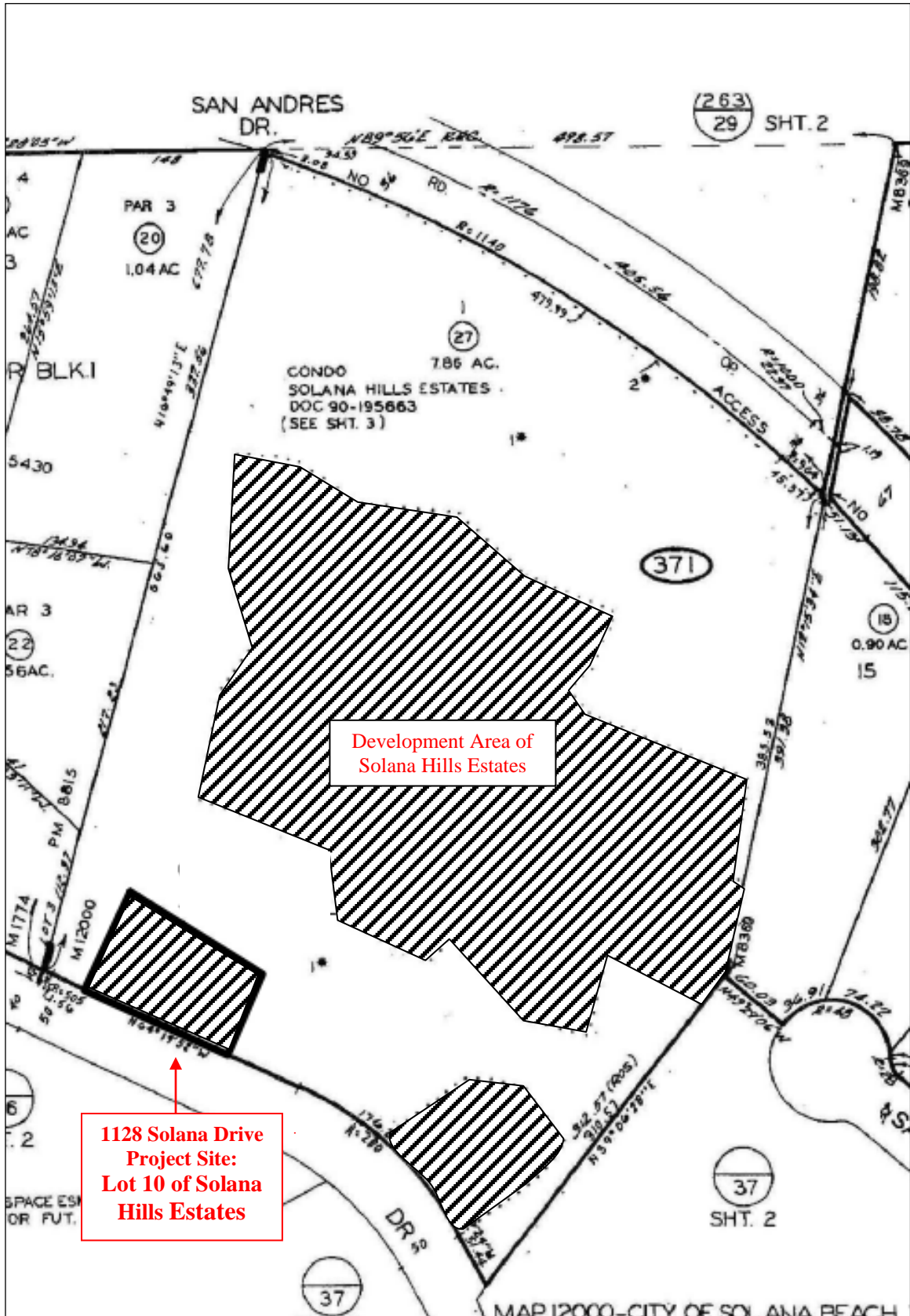


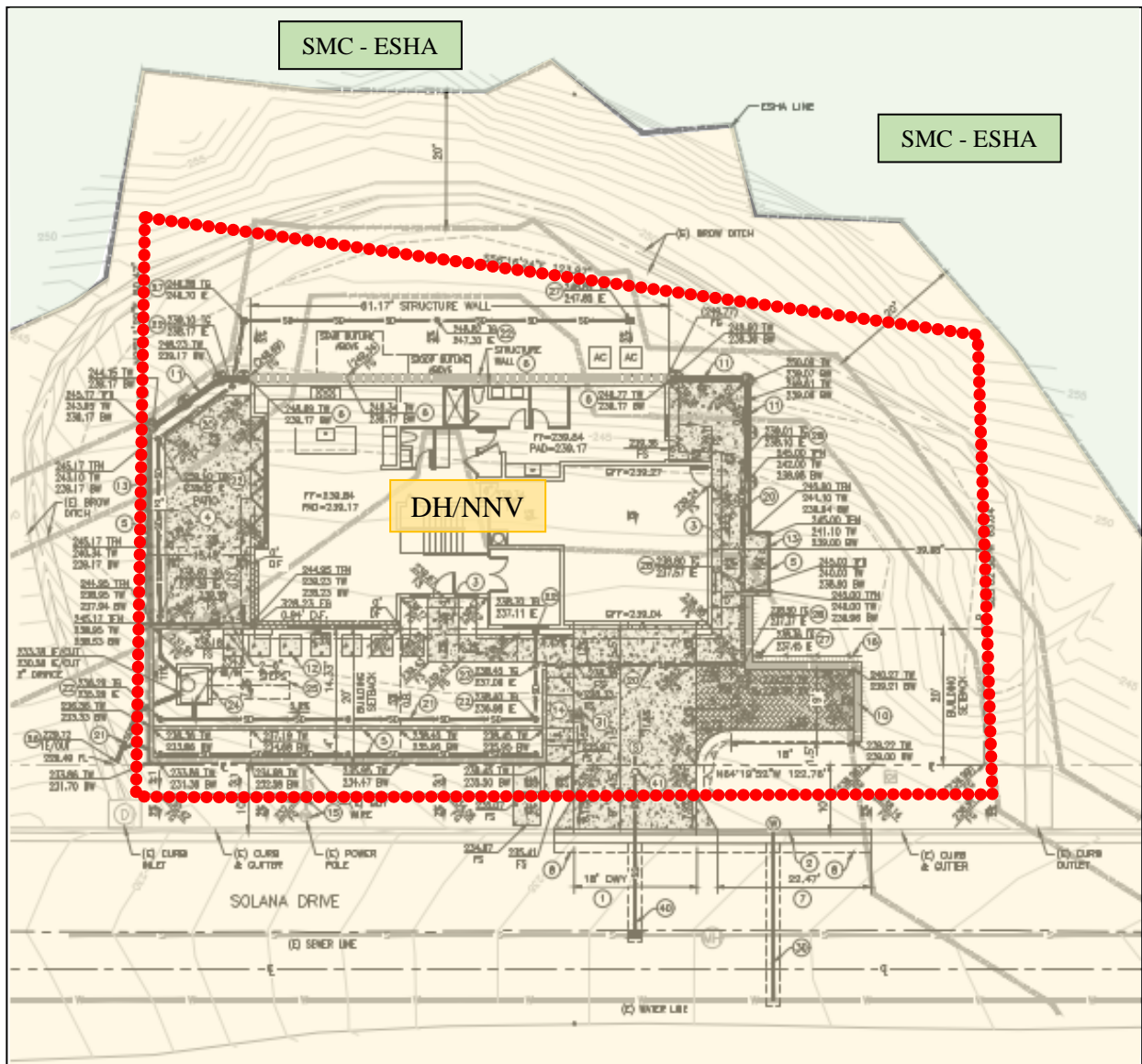
Figure 3. Recent Aerial Photo – The 1128 Solana Drive Project



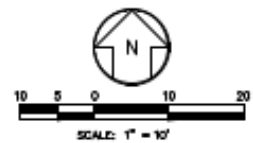
Figure 4. Biological Resources on Aerial Photo – The 1128 Solana Drive Project





Figure 5. Biological Resources on Site Plan – The 1128 Solana Drive Project



PRELIMINARY GRADING PLAN
SCALE 1"=10'



	= Southern Maritime Chaparral (Environmentally Sensitive Habitat Area)
	= Disturbed Habitat/Non-native Vegetation

Attachment A. Sensitive Species Known from the Vicinity – The 1128 Solana Drive SFR Project

Scientific Name	Common Name	Federally Endangered	Federally Threatened	City "Narrow Endemic"	Coastal Sage Scrub	Mixed Chaparral	Grassland	Riparian	Oak Woodland	Chamise Chaparral	Mixed Conifer	Closed Cone Forest	Pinon-Juniper	Freshwater Marsh	Desert Scrub	Desert Wash	Salt or Alkali Marsh	Vernal Pools	Montane Meadow	Coastal or Desert Dune Lakes and Bays	Probability of Occurrence	
<i>Accipiter cooperii</i>	Cooper's Hawk						✓	✓	✓													M
<i>Accipiter striatus</i>	Sharp-shinned Hawk								✓		✓											L
<i>Agave shawii</i>	Shaw's Agave			✓		✓																L
<i>Aimophila ruficeps canescens</i>	Rufous-crowned Sparrow				✓					✓												L
<i>Anniella pulchra pulchra</i>	Silvery Legless Lizard				✓		✓	✓													✓	L
<i>Antrozous pallidus</i>	Pallid Bat				✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓				✓		M
<i>Aphanisma blitoides</i>	Aphanisma			✓																	✓	L
<i>Arctostaphylos glandulosa crassifolia</i>	Del Mar Manzanita	✓				✓						✓										L
<i>Astragalus tener</i> var. <i>titi</i>	Coastal Dunes Milk-vetch			✓																	✓	L
<i>Atriplex pacifica</i>	South Coast Saltbush				✓					✓		✓										L
<i>Buteo lineatus</i>	Red-shouldered Hawk							✓	✓													M
<i>Calandrinia maritima</i>	Seaside Calandrinia				✓							✓										L
<i>Ceanothus verrucosus</i>	Wart-stemmed Ceanothus					✓				✓												O
<i>Charadrius alexandrinus nivosus</i>	Western Snowy Plover		✓														✓			✓		L
<i>Chorizanthe orcuttiana</i>	Orcutt's Chorizanthe	✓				✓																L
<i>Chorizanthe polygonoides longispina</i>	Long-spined Spineflower					✓				✓												L
<i>Cnemidophorus hyperythrus</i>	Orange-throated Whiptail				✓	✓	✓	✓		✓												O
<i>Cnemidophorus tigris multiscutatus</i>	Coastal Western Whiptail				✓	✓		✓	✓	✓												L
<i>Coreopsis maritima</i>	Sea Dahlia				✓							✓										L
<i>Corethrogyne filaginifolia linifolia</i>	San Dieguito Sand Aster				✓	✓				✓		✓										M
<i>Corynorhinus townsendii</i>	Townsend's Big-eared Bat					✓	✓	✓	✓	✓	✓	✓	✓		✓	✓				✓		M
<i>Crotalus ruber ruber</i>	Red Diamond Rattlesnake				✓	✓				✓			✓		✓							L
<i>Danaus plexippus</i>	Monarch Butterfly						✓		✓												✓	M
<i>Diadophis punctatus similis</i>	San Diego Ringneck Snake				✓	✓		✓	✓	✓	✓	✓										M
<i>Dudleya brevifolia</i>	Short-leaved Dudleya			✓		✓																L
<i>Elanus caeruleus</i>	Black-shouldered Kite						✓	✓														M
<i>Eumeces skiltonianus interparietalis</i>	Coronado Skink				✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓				✓	✓	M
<i>Eumops perotis californicus</i>	Greater Western Mastiff Bat				✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	M
<i>Falco peregrinus anatum</i>	American Peregrine Falcon	✓					✓							✓			✓				✓	L
<i>Ferocactus viridescens</i>	Coast Barrel Cactus				✓																	L
<i>Harpagonella palmeri</i>	Palmer's Grappling Hook				✓		✓			✓												L
<i>Isocoma menziesii decumbens</i>	Decumbent Goldenbush				✓					✓										✓		M
<i>Lanius ludovicianus</i>	Loggerhead Shrike				✓		✓	✓	✓						✓	✓						M
<i>Lasiurus blossevillii</i>	Western Red Bat							✓	✓		✓	✓								✓		M
<i>Lepus californicus bennettii</i>	SD Black-Tailed Jackrabbit				✓	✓	✓		✓	✓	✓	✓										L
<i>Mucrona californica</i>	California Spine Flower				✓																✓	L
<i>Myotis ciliolabrum</i>	Small-Footed Myotis				✓		✓	✓	✓	✓	✓	✓	✓			✓				✓		M
<i>Myotis yumanensis</i>	Yuma Myotis				✓	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	M
<i>Navarretia fossalis</i>	Prostrate Navarretia			✓															✓			L
<i>Nemacaulis denudata denudata</i>	Coast Woolly Heads																				✓	L
<i>Neotoma lepida intermedia</i>	San Diego Desert Woodrat				✓			✓	✓	✓												L
<i>Nyctinomops femorosaccus</i>	Pocketed Free-Tailed Bat				✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	M
<i>Nyctinomops macrotis</i>	Big Free-Tailed Bat				✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	M
<i>Odocoileus hemionus</i>	Southern Mule Deer				✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓				✓		L
<i>Onychomys torridus ramona</i>	Southern Grasshopper Mouse				✓	✓	✓			✓												L
<i>Opuntia parryi</i> var. <i>serpentina</i>	Snake Cholla			✓	✓	✓																L
<i>Orcuttia californica</i>	California Orcutt Grass																					L
<i>Pandion haliaetus</i>	Osprey																				✓	L
<i>Passerculus sandwichensis beldingii</i>	Belding's Savannah Sparrow	✓															✓					L

Attachment A. Sensitive Species Known from the Vicinity – The 1128 Solana Drive SFR Project

Scientific Name	Common Name	Federally Endangered	Federally Threatened	City "Narrow Endemic"	Coastal Sage Scrub	Mixed Chaparral	Grassland	Riparian	Oak Woodland	Chamise Chaparral	Mixed Conifer	Closed Cone Forest	Piñon-Juniper	Freshwater Marsh	Desert Scrub	Desert Wash	Salt or Alkali Marsh	Vernal Pools	Montane Meadow	Coastal or Desert Dune Lakes and Bays	Probability of Occurrence
<i>Perognathus longimembris pacificus</i>	Pacific Pocket Mouse	✓			✓		✓													✓	L
<i>Phacelia stellaris</i>	Brand's Phacelia				✓															✓	L
<i>Phrynosoma coronatum blainvillei</i>	San Diego Coast Horned Lizard				✓	✓	✓	✓		✓	✓										L
<i>Pinus torreyana torreyana</i>	Torrey Pine											✓									O
<i>Pogogyne abramsii</i>	San Diego Mesa Mint			✓														✓			L
<i>Poliopitila californica californica</i>	California Gnatcatcher		✓		✓																L
<i>Quercus dumosa</i>	Nuttall's Scrub Oak					✓															L
<i>Selaginella cinerascens</i>	Mesa Club Moss				✓	✓				✓											L
<i>Sterna antillarum browni</i>	California Least Tern	✓															✓			✓	L
<i>Thamnophis hammondi</i>	Two-striped Garter Snake							✓						✓							L
<i>Tyto alba</i>	Common Barn-Owl						✓	✓													M

Probability of Occurrence Codes:

L – Low Probability; rare species in area, and no significant habitat (animals); *or* distinctive perennial that would not have been missed if present on the project site (plants). **M** – Moderate Probability; could be expected to occur on the project site on at least an occasional basis, based on habitat quality (animals); *or* could occur on the project site, but very rare, and/or poorly known (plants). **H** – High Probability; nearly certain to occur on the project site on a regular basis (animals), but cryptic; *or* ephemeral species known from the immediate vicinity (within 1 mile), but seasonal in occurrence (plants). **O** – Observed; see report.

Attachment B. LCP/LUP/ESHA Analysis– The 1128 Solana Drive SFR Project

An evaluation of Environmentally Sensitive Habitat Areas (ESHA) on or adjacent to the 1128 Solana Drive SFR project site and recommendations for avoidance and minimization of potential impacts to sensitive biological resources within the ESHA are provided to comply with regulatory requirements and the Land Use Plan (LUP) component of the City's Local Coastal Program (LUP, City, 2014).

Solana Hills Estates, a 10-lot planned residential development (PRD) in the City of Solana Beach was approved by the City and Coastal Commission and Lots 1 through 9 of the PRD have been developed with single-family homes. The 1128 Solana Drive project site (Lot 10) is the last undeveloped lot of the approved PRD.

The investigation for this analysis included a verification of whether the property falls within or adjacent to the City-designated ESHA as identified in the City's LUP. The ESHA habitat adjacent to the site was mapped by a licensed land surveyor from the project Civil Engineering firm San Dieguito Engineering, Inc. in conjunction with the project biologist via a field survey on February 28, 2024. A Leica GS14 GPS Sensor, connecting to a live network, Smartnet, as well as a Leica CS20 Data Collector was used to map the ESHA. The LUP defines ESHA as follows:

- *Any habitat is rare of especially valuable from a local, regional, or statewide basis*
- *Areas that contribute to the viability of plant or animal species designated as rare, threatened, or endangered under state or federal law*
- *Areas that contribute to the viability of species designated as Fully Protected or Species of Special Concern under state law or regulations*
- *Areas that contribute to the viability of plant species for which there is compelling evidence of rarity.*

The City's LUP contains multiple policy measures that are intended to provide protection to City-designated ESHA and other sensitive resources such as, but not limited to, the following:

- Policy 3.1 *Areas in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments are ESHAs and are generally shown on the LUP ESHA Maps. The ESHAs in the City of Solana Beach are shown in Exhibits 3-6 through 3-10 of the LUP*
- Policy 3.8 *The ESHA shall be protected against significant disruption of habitat values, and only uses dependent on such resources shall be allowed within such areas.*
- Policy 3.10 *If the application of the policies and standards contained in this LCP regarding use of property designated as ESHA or ESHA buffer, including the restriction of ESHA to only resource-dependent use, would likely constitute a taking of private property without just compensation, then a use that is not consistent with the ESHA provisions of the LCP shall be allowed on the property, provided such use is consistent with all other applicable policies of the LCP, the approved project is the alternative that would result in the fewest or least significant impacts, and it is the minimum amount of development necessary to avoid a taking of private property without just compensation. In such a case, the development shall demonstrate the extent of ESHA on the property and include mitigation, or, if on-site mitigation is not feasible, payment of an in-lieu fee, for unavoidable impacts to ESHA or ESHA buffers from the removal, conversion, or modification of natural habitat for new development, including required fuel modification and brush clearance per Policy 3.12. Mitigation shall not substitute for implementation of a feasible project alternative that would avoid adverse impacts to ESHA.*
- Policy 3.11 *New development shall be sited and designed to avoid impacts to ESHA. For development permitted pursuant to Policy 3.10, if there is no feasible alternative that can eliminate all impacts, then the alternative that would result in the fewest or least significant impacts shall be selected. Impacts to ESHA that cannot be avoided through the implementation of siting and design alternatives shall be fully mitigated, with priority give to on-site mitigation. Off-site mitigation measures shall only be approved when it is not feasible to fully mitigate impacts on-site or where off-site mitigation is more protective. Mitigation shall not substitute for full implementation of the project alternative that would avoid impacts to ESHA. Mitigation for impacts to ESHA shall be provided at a 3:1 ratio.*
- Policy 3.13 *The ESHA shall be protected and, where feasible, enhanced. Where pedestrian access through ESHA is permitted, well-defined footpaths or other means of directing use and minimizing adverse impacts shall be used. Nesting and roosting area for sensitive birds such as Western Snowy Plovers and Least Terns shall be protected by means, which may include, but are not limited to, fencing, signing, or seasonal access restrictions.*
- Policy 3.22 *Development adjacent to ESHAs shall minimize impacts to habitat value or sensitive species to the maximum extent feasible. Native vegetation buffer areas shall be*

provided around ESHAs to serve as transitional habitat and provide distance and physical barriers to human intrusion. Buffers shall be of a sufficient size to ensure the biological integrity and preservation of the ESHA they are designed to protect. All buffers around (non-wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshal as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet.

- Policy 3.29 & 3.45 Landscaping adjacent to ESHA must consist entirely of native, non-invasive drought-tolerant, salt-tolerant and fire-resistant species, however, the use of ornamental species may be allowed provided they are fire-resistant, drought-tolerant, and non-invasive as a small component for single-family residences. Cut and fill slopes and other areas disturbed by construction activities (including areas disturbed by fuel modification or brush clearance) shall be landscaped or revegetated at the completion of grading.
- Policy 3.35 Utilize the Hillside/Coastal Bluff Overlay (HOZ) requirements to restrict the grading of natural non-coastal bluff slopes with an inclination of 25% or greater in order to preserve the natural topography and scenic qualities of the City; protect native coastal sage/chaparral and grassland habitat; preserve existing watersheds and reduce the potential for environmental hazards including soil erosion and siltation of coastal wetlands, landslide; adverse impacts due to runoff; and other impacts which could affect public health, safety, and welfare.
- Policy 3.38 New development shall be sited and designed to minimize impacts to coastal resources including but not limited to minimizing grading and landform alteration; minimizing the removal of natural vegetation and fuel modification; limiting the number of structures; minimizing the length of the access road or driveway; grading for access road and driveways; limiting earthmoving operations during rainy season; and minimize impacts to water quality.
- Policy 3.42 Earthmoving during the rainy season (extending from November 1 to March 1) should be restricted for development that (1) is located within or adjacent to ESHA, or (2) includes grading on slopes greater than 4:1 except for grading on coastal bluffs that is required for bluff retention devices. In such cases, approved grading shall not be undertaken unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after March 1, unless the City determines that completion of grading would be more protective of resources.
- Policy 3.43 Where grading is permitted during the rainy season (extending from November 1 to March 1), erosion control measures such as sediment basins, silt fencing, sandbagging, and installation of geofabrics shall be implemented prior to and concurrent with grading operations. Such measures shall be maintained through final grading and until landscaping and permanent drainage is installed.
- Policy 3.49 Exterior night lighting shall be minimized, restricted to low-intensity fixtures, shielded, and directed away from ESHA to minimize impacts on wildlife. High-intensity perimeter lighting and lighting for sports courts or other private recreation facilities in ESHA, ESHA buffer, or where night lighting would increase illumination in ESHA is prohibited.
- Policy 3.65 In some cases, small buffers may be appropriate when conditions of the site as demonstrated in a site-specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and the City, or Commission on appeal, must find that the development could not be feasibly constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.
- Policy 4.79 Fuel Modification Requirements for New Development- New development, including but not limited to subdivision and lot line adjustments shall be sited and designed so that no brush management or the 100 ft. fuel modification encroaches into ESHA.
-

In addition, in the event that the ESHA designation conflicts with a site-specific survey, various policy items (e.g., 3.7, 3.3) provide a process for potential modifications.

The City-wide vegetation mapping that was completed as part of the City's LUP in 2008 and 2009 is depicted on Exhibit 3-9 of the City's LUP is attached (Figure 1a). The vegetation mapping incorrectly identifies the entire property as both ESHA and containing Diegan Coastal Sage Scrub-Disturbed. Biological field surveys, including an evaluation of vegetation-types found on the project site, were completed in December 2007, March and July of 2016, April 2017, May 2021, and February 2024 as noted in the biological report submitted for the project. The numerous biological reports previously prepared by the project biologist for the site clearly indicate that the project site does not contain Diegan Coastal Sage Scrub-Disturbed. Furthermore, the project site is not part of any ESHA. As such, the vegetation mapping contained in this report is the most accurate representation of the project site condition and that the vegetation communities within the vicinity of the property have remained the same since 2007. As such, Exhibit 3-9 should not be relied upon when evaluating the site as it relates to ESHA and existing vegetation types within the vicinity of the property.

No ESHA occurs on the project site, which was verified by the February 28, 2024 field survey which utilized a Leica GS14 GPS Sensor, connecting to a live network, Smartnet, as well as a Leica CS20 Data Collector. The Southern Maritime Chapparal that is mapped adjacent to or within the vicinity of the project site are considered ESHA. No direct impacts would occur to ESHA as part of the project construction. No fuel modification activities are required for this project as outlined in the Fuel Modification Assessment dated April 1, 2024, prepared by Dudek and approved by the city. Therefore, no off-site direct impacts to native vegetation and no direct impacts to ESHA would occur from the development of the project site as proposed.

IMPACTS (ESHA/ESHA Buffer)

Development of the project site has the potential to indirectly impact the adjacent ESHA that occurs outside of the project site footprint. Potential indirect impacts include water quality, night lighting, noise, invasive plant species (each of which are discussed in more detail in the subsections below). Indirect impacts also can occur through degradation of the habitat associated with the ESHA and ESHA buffer. Based on the site mapping, the distance between the proposed development and the ESHA (i.e.: the existing ESHA buffer) along most of the interface ranges from 20 feet to 50 feet (Figure 2a). It is worth noting that adjacent residences within the Solana Hill Estates PRD directly abut the ESHA around their homes and provide little to no buffer. The current condition of the project site does not provide a native vegetated buffer between the existing ESHA and graded pad. An existing concrete brow ditch that was previously installed as part of the original mass grading operation and which continues to handle drainage from the adjacent slope area acts as an additional barrier between the mapped ESHA and project boundary. The existing buffer also consists of disturbed habitat and non-native vegetation with a few scattered native species as well.

As part of the project design, the applicant is proposing the following measures as part of their proposed project design to minimize indirect impacts on the adjacent ESHA. Implementation of the following measures as part of the project design would improve the functions and values of the existing ESHA buffer between the development and the ESHA.

- The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
- Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
- All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.

To ensure that the project does not result in a significant indirect impact to ESHA and the ESHA buffer, the following design features are included as a part of the project application. These will ensure that indirect impacts are precluded.

Water Quality

Landscaping and excessive irrigation have a potential to result in increased runoff, which could in turn reduce water quality in adjacent areas. The use of petroleum products (i.e., fuels, oils, lubricants) and erosion of land moved during grading could potentially contaminate surface water, adversely affecting vegetation, aquatic animals, and terrestrial wildlife. Earthmoving activities will be entirely limited to the development footprint, which supports Non-native Vegetation/Disturbed Habitat and developed areas adjoining Solana Drive. Appropriate erosion control measures and Best Management Practices (BMP's) including the installation of silt fencing and straw wattles, will be utilized during project construction to ensure compliance with State Stormwater regulations and the City's policies. The applicant is proposing temporary-only, water conserving emitters (e.g. microspray) for plantings within the proposed ESHA buffer, which minimizes runoff potential from irrigation. With implementation of erosion control measures and BMP's during construction and irrigation within the ESHA buffer, impacts to water quality will be avoided.

Night Lighting

Night lighting exposes wildlife species to an unnatural light regime and may alter their behavior patterns, causing them to have lower reproductive success, and thus reducing species diversity. In accordance with City Policy 3.49, all exterior night lighting has been minimized and restricted to low-intensity fixtures, with shielding, and directed away from the ESHA to prevent impacts to wildlife.

Construction Noise/Nesting Birds

Grading and the removal of vegetation with associated construction noise resulting from project development could result in impacts to nesting birds if construction were to take place during the avian breeding season (January 1 through August 31). The project design includes specific measures to prevent impacts to nesting birds, including seasonal restrictions and/or nesting surveys designed to detect and protect active nesting.

Invasive Plants

Invasive plants have a potential to spread from developed or disturbed areas into adjacent native habitats. Such invasive species can displace native vegetation, reducing the diversity of native habitats and potentially increasing flammability, changing ground and surface water levels, and adversely affecting native wildlife. The landscaping design for the project as shown on the attached (Figure 3a) does not include any invasive plant species. Additionally, the applicant proposes planting strictly indigenous, native species within the undeveloped portion of the property as part of habitat of habitat enhancement within the ESHA buffer. Therefore, indirect impacts due to invasive plant species are not expected.

Hillside/Coastal Bluff Overlay (HOZ)

The City of Solana Beach Overlay Zoning Map identifies the project site within the Hillside Overlay Zone. Application of Solana Beach Municipal Code Section 17.48.020 Hillside Overlay Zone applies where site-specific analysis indicates that the parcel contains slopes exceeding 25 percent in grade. The slope analysis performed for the project site identifies slopes ranging from 0%-40%. However, the 25%-40% slopes within the project site are existing manufactured slopes and not naturally occurring slopes. The project site was originally graded as part of the Major Use Permit P88-03 and Site Development Plan approved in 1988 by Resolution No. 88-94 and Grading Permit L0912 for the Solana Hills Estates PRD. The grading operations resulted in the creation of the two existing building pads, which were created for the anticipated construction of a split-level structure and future swimming pool which were never built. Since the grading took place after incorporation of the City of Solana Beach and was part of the approved grading of the site and not naturally occurring and created for the reason noted above for the future development of the site, the provisions of Solana Beach Municipal Code Section 17.48.020 Hillside Overlay Zone and City of Solana Beach LCP/LUP Policy 3.35 are not applicable.

Errant Construction Impacts

Unauthorized construction impacts outside the approved limits of work could potentially impact adjacent sensitive habitat, where present. Errant construction impacts are unlikely to occur as project construction will be entirely fenced and restricted to the previously graded pad and no impacts to sensitive native habitats or species will occur. Implementation of these measures will preclude potential impacts from errant construction.

COMPLIANCE WITH LCP POLICIES

Environmentally Sensitive Habitat Areas

The following design elements are part of the project application intended to preclude impacts and provide compliance with the above LCP policies:

1. The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
2. Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
3. All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.
4. The applicant has submitted to the city for review and approval a list of species to be planted within the ESHA buffer. The species list does not contain any invasive species.

The restoration of indigenous native species in the buffer between the development and the ESHA along the northern, eastern, and western interfaces will provide an adequate buffer to preclude the potential indirect impacts to ESHA. The native species buffer would increase the functions and values of the existing vegetation within the buffer and would provide an adequate setback from the existing ESHA.

Policy 3.22 states that *all buffers around (non-wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshall as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet.* Policy 3.65 also addresses the presence of a buffer around ESHA and the potential to reduce the size of those buffers stating that *in some cases, smaller buffers may be appropriate, when conditions of the site as demonstrated in a site-specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and the City, or Commission on appeal, must find that the development could not be feasibility constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.*

A 100-foot buffer from ESHA would preclude any development of the project site, as shown in Figure 4a. Additionally, if a 50-foot buffer were to be implemented, development of the lot would be restricted to a very small portion of the parcel and there would be no adequate area to build a home, as shown in Figure 5a. Policy 3.10 states that *If the application of the policies and standards contained in this LCP regarding use of property designated as ESHA or ESHA buffer would likely constitute a taking of private property without just compensation, then a use that is not consistent with the ESHA provisions of the LCP shall be allowed on the property, provided such use is consistent with all other applicable policies of the LCP, the approved project is the alternative that would result in the fewest or least significant impacts, and it is the minimum amount of development necessary to avoid a taking of private property without just compensation.* A 20-31 ft buffer from ESHA was approved in 2016 & 2017 by both the City and Coastal Commission consisting of native landscaping for Lot 7 of the Solana Hills Estates PRD located at 525 San Julio Road (Coastal Application No. 6-16-0500. Szekeres DRP/SDP/VAR 17-15-22; Resolution No. 2016-060). Similar findings can be made for the subject property that were applied to the Szekeres property supporting the reduced ESHA buffer as noted below.

A 50-foot native buffer is not considered necessary for this single-family residence for the following reasons:

1. The project consists of 1 single-family home on a previously graded split pad that contains no sensitive habitat.
2. The existing conditions on the project site do not provide a native buffer. The areas adjacent to the ESHA currently support non-native species.
3. Incorporation of native species planting within the ESHA buffer and the removal of non-native species would increase the functions and values of the existing vegetation on-site by providing a revegetated barrier to human intrusion to the ESHA, providing native habitat between the development and the ESHA, and increasing the quality of this area through removal of non-native species.
4. The project is the last remaining vacant lot within the Solana Hills Estates PRD and the proposed ESHA buffer is no closer to the habitat than the neighboring approved residences of which the majority have less than 50 ft buffer and in some cases none.
5. Maintaining the existing pattern of development at this site is not expected to significantly disrupt the adjacent habitat or set a precedent allowing impacts to ESHA elsewhere in the PRD. Furthermore, under the previously approved PRD by the California Coastal Commission in 1988 (Coastal Development Permit #6-88-514), a larger single-family home, a swimming pool, and other improvements could have been constructed closer to the existing ESHA and Open Space than the proposed project (Figure 6a). The proposed project does not encroach into the ESHA, is less impactful than the previously approved development, and it improves the functions and values of the existing ESHA buffer, as described above.
6. Given the pattern of surrounding development and the permit history in this case, a reduced ESHA buffer is consistent with the Coastal Acts' resource protection policies.

Construction Noise/Nesting Birds

Initial clearing and grading of the property should be conducted outside the avian breeding season (January 1 through August 31) to comply with the federal, state, and local statutes that protect nesting birds. However, if clearing of habitat, grading, or other ground disturbance activities cannot be conducted outside the avian breeding season, a qualified biologist shall conduct a pre-construction survey for sensitive bird species and others, including raptors, within the proposed project site and a 500 foot buffer to the project site no more than two weeks prior to the start of work in accordance with City Policy 3.32. Sensitive bird species are defined by Policy 3.32 as "those species designated "threatened" or "endangered" by state or federal agencies, California Species of Special Concern, California Fully Protected Species, raptors, and large wading birds. If nesting birds are detected at any time during the breeding season, the CDFW shall be notified and an appropriate disturbance set-back will be determined and imposed until the birds are fully fledged. The set-back or buffer shall be no less than 100 feet or may be reduced to an appropriate, lesser buffer based on the species, its tolerance for the construction activities, and approval from the

applicable agencies. The results of the pre-construction survey should be provided to the city in the form of a letter report.

Errant Construction Impacts

To help ensure that both direct and indirect impacts to adjacent ESHA do not occur during construction, the limits of work shall be clearly delineated with the use of staking, flagging, and silt fence and verified by a qualified biologist.

CONCLUSION

The proposed project would not result in any direct or indirect impacts to sensitive biological resources or adjacent ESHA. No direct impacts are anticipated, and implementation of specific design features listed above will preclude any significant indirect impacts. No native ESHA buffer currently is present on the project site. Incorporation of the measures listed above will result in a functional improvement to the ESHA buffer area between the proposed development and the ESHA through removal of non-native species and planting with indigenous native species. While portions of the ESHA buffer will be less than 50 feet, the buffer that is proposed is considered adequate to ensure the biological integrity and the necessary protections to the existing ESHA consistent with the intent of Policy 3.22 while allowing reasonable use of the land.

Figure 1a. Exhibit 3-9 of the City's LUP showing Vegetation Mapping for the Project Site

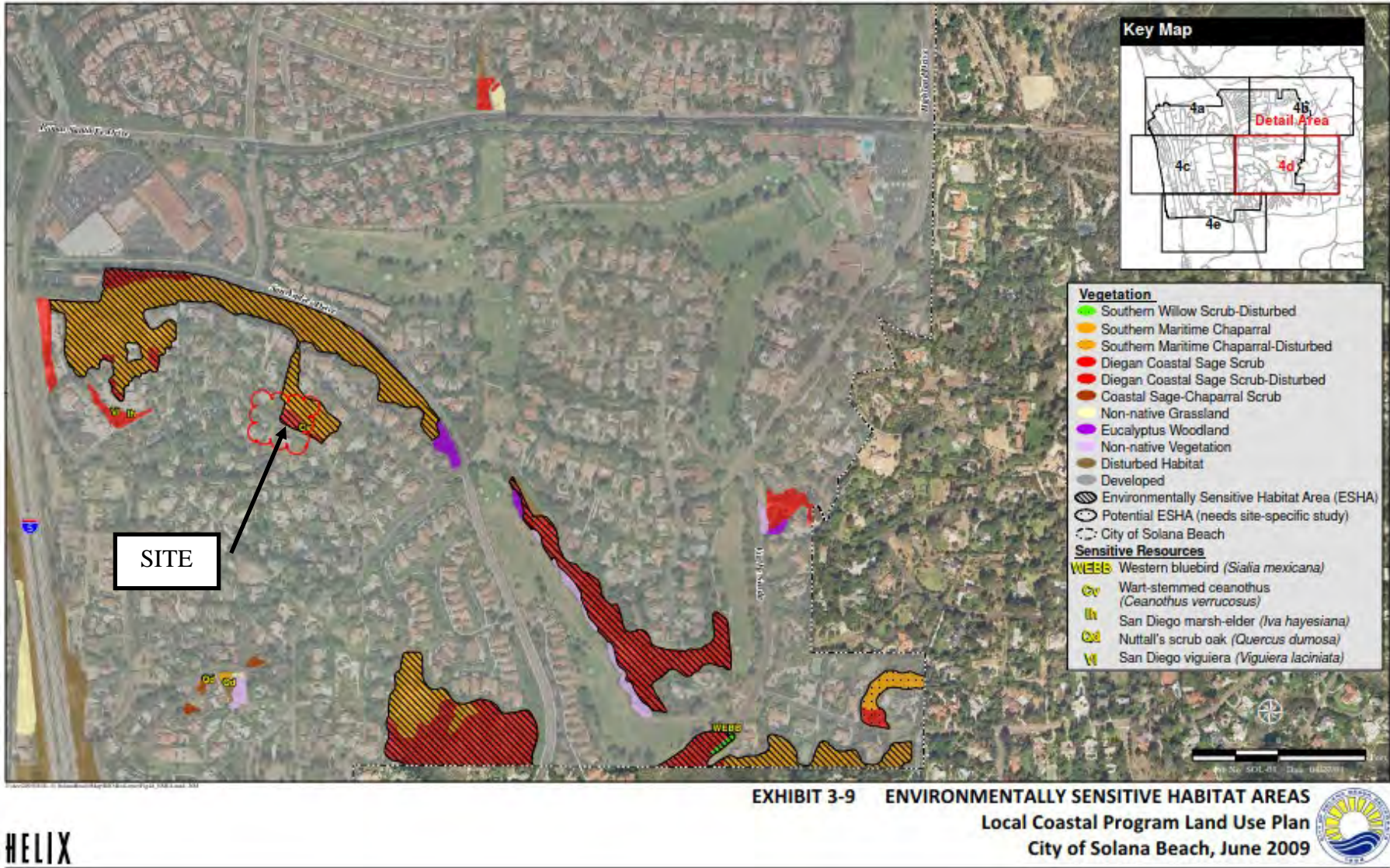


Figure 2a. Grading Plan showing ESHA and Proposed ESHA buffer for the Project Site

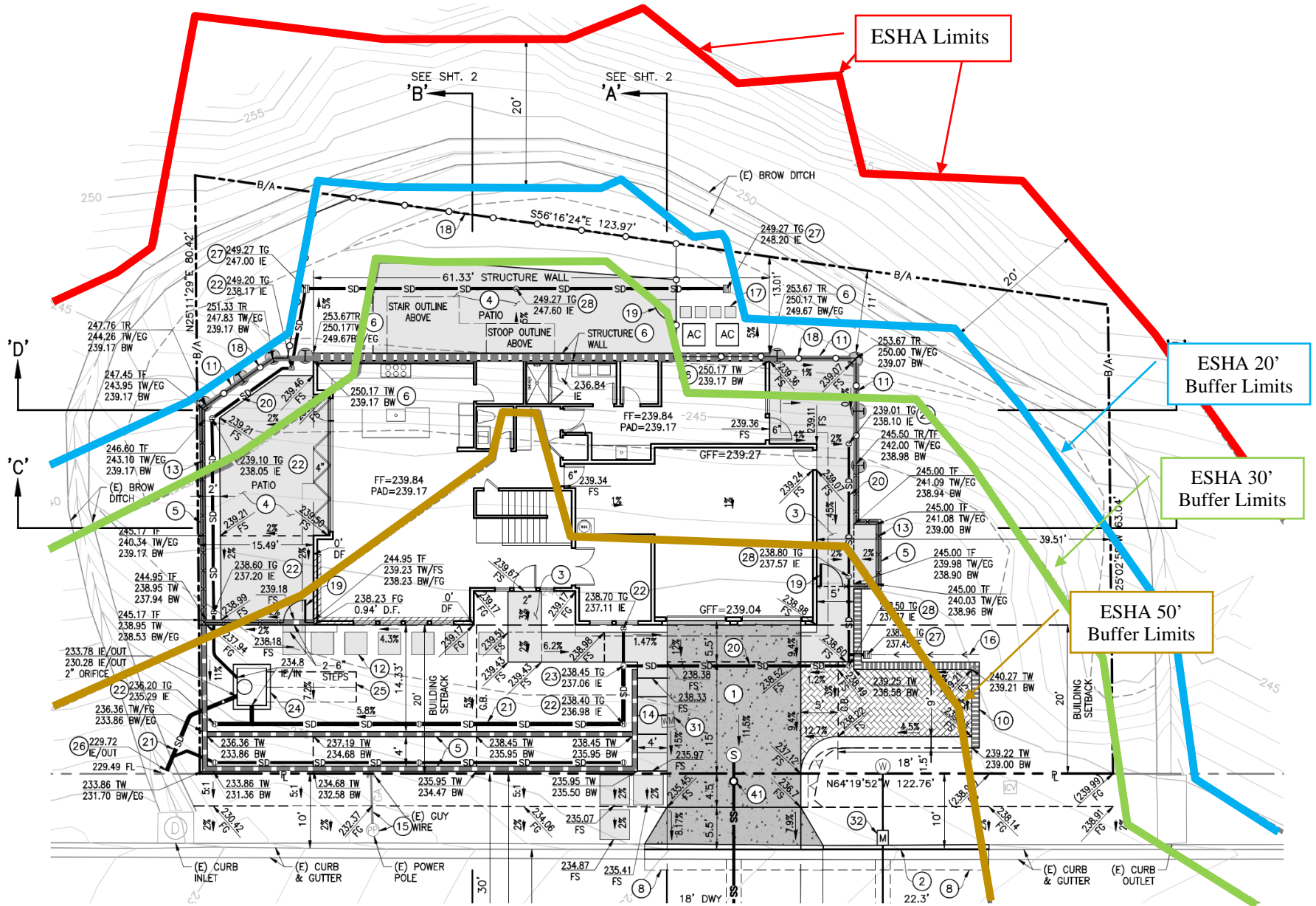
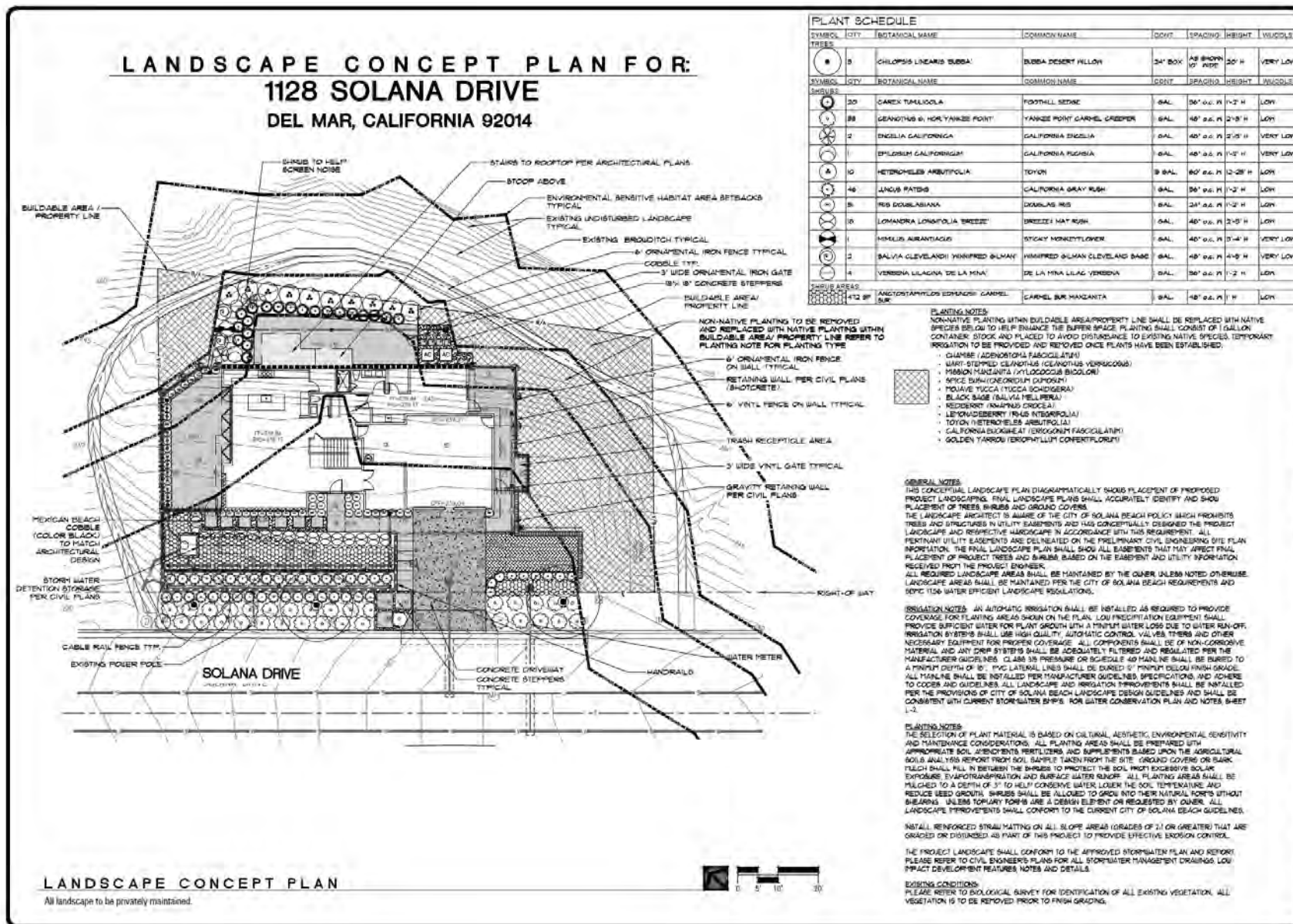


Figure 3a. Landscape Plan for the Project Site, Sheet 1



THE LIGHTFOOT PLANNING GROUP
PLANNING SITE DESIGN LANDSCAPE ARCHITECTURE



HALL RESIDENCE
1128 SOLANA DRIVE
DEL MAR, CALIFORNIA 92014

Scale: 1"=10'
Date: 10/6/24
Sheet No: 01
Revision:

3/2024
6/26/24
10/20/24
9/5/24

Project No: 642809

L-1
2

642809 HALL RESIDENCE/SOLANA BEACH LRP

Figure 4a. Project Site showing Development Area (hatched) with a 100-foot buffer from ESHA

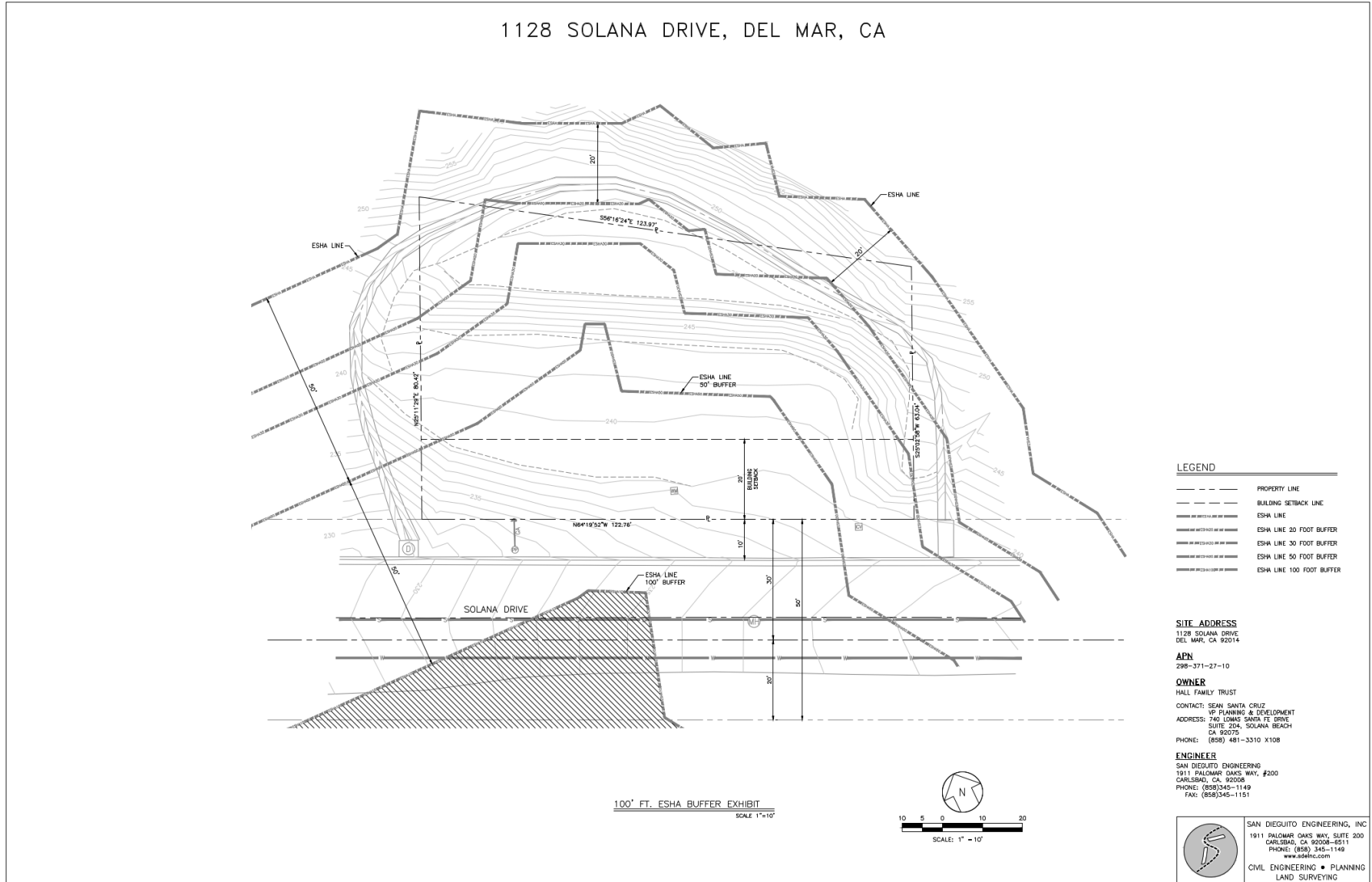


Figure 5a. Project Site showing Development Area with a 50-foot buffer from ESHA

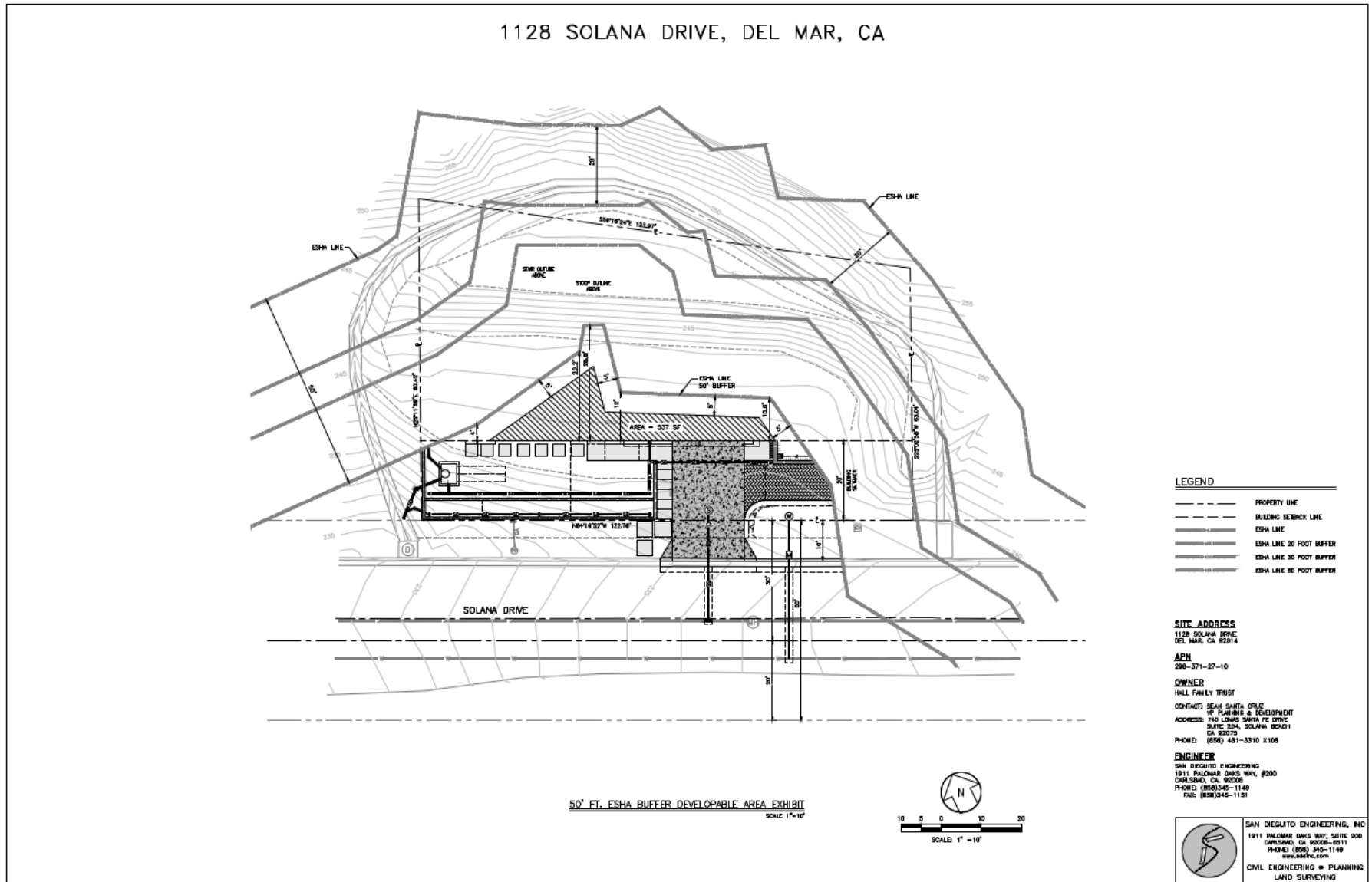


Figure 6a. Coastal Development Permit #6-88-514 showing Previously-approved Development Footprint (red circled area)

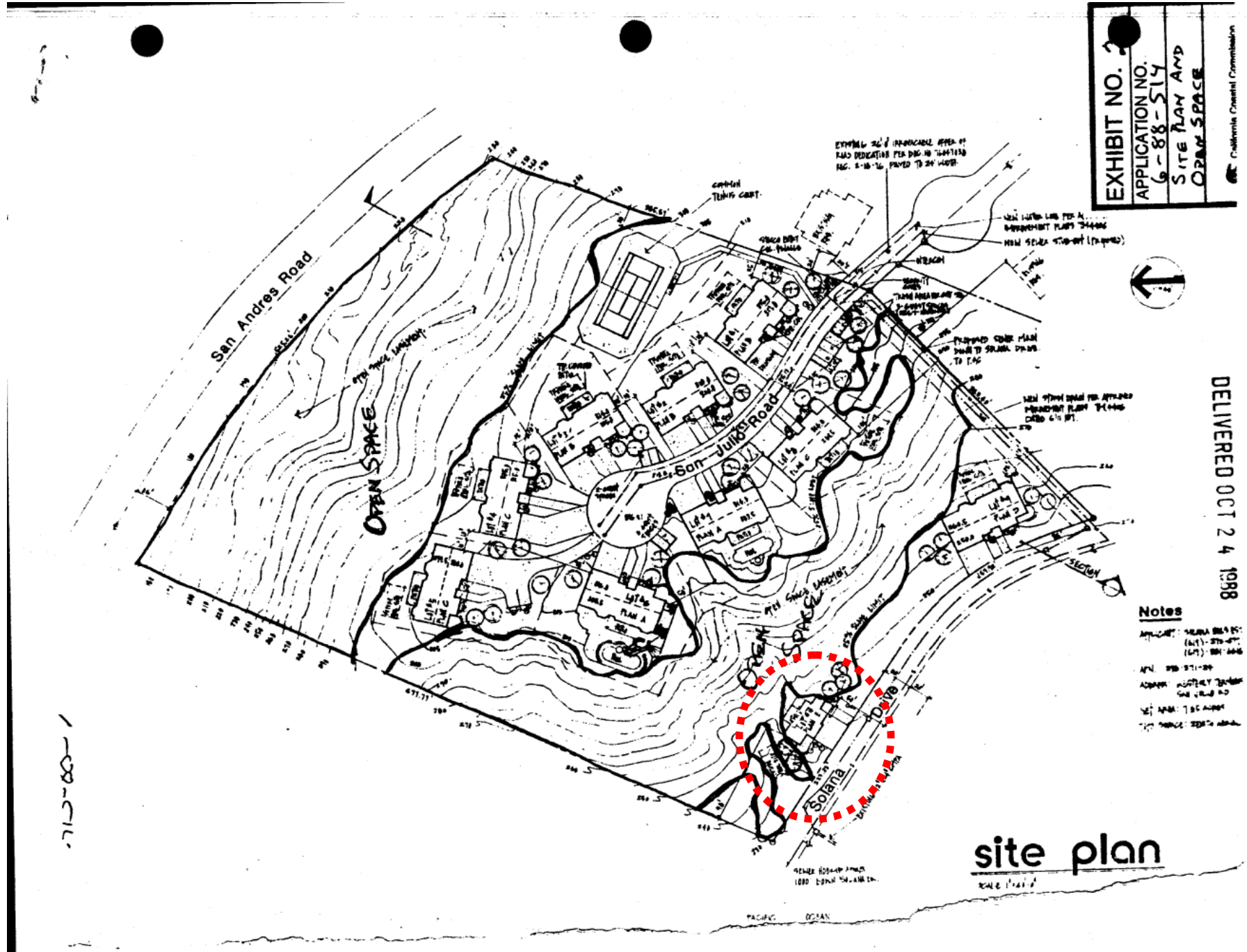


EXHIBIT NO. 2
APPLICATION NO.
6-88-514
SITE PLAN AND
OPEN SPACE

California Coastal Commission

DELIVERED OCT 24 1988

Notes
 1. ALL DISTANCES ARE TO BE MEASURED AS SHOWN ON THIS PLAN.
 2. ALL DISTANCES ARE TO BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 3. ALL DISTANCES ARE TO BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

site plan

SCALE 1"=100'

1-000-011

HELIX Environmental Planning, Inc.
7578 El Cajon Boulevard
La Mesa, CA 91942
619.462.1515 tel
619.462.0552 fax
www.helixepi.com



December 13, 2024

00156.00009.003

Ms. Katie Benson
City of Solana Beach
635 S. Highway 101
Solana Beach, CA 92075

Subject: 3rd Party Review of the Biological Resources Report for the 1128 Solana Drive Residential Project

Dear Ms. Benson:

HELIX Environmental Planning, Inc. (HELIX) conducted a third-party review of the Biological Resources Report for the 1128 Solana Drive Residential Project (report), updated November 19, 2024, and prepared by Vincent N. Scheidt (Scheidt 2024). The report discusses a new residential development project located at 1128 Solana Drive; specifically, Lot 10 of the Solana Hills Estates (Assessor Parcel Number [APN] 298-371-270) in the City of Solana Beach (City), San Diego County, California.

The report is complete and the project, with project design features incorporated, is found to be consistent with the policies of the City's Land Use Plan (LUP). However, consultation with the California Department of Fish and Wildlife will be required for approval of the proposed Environmentally Sensitive Habitat Area (ESHA) buffer, which in some portions of the project site is less than 50 feet.

No specific habitat-based or species-based mitigation is required to reduce project impacts to biological resources to less than significant impacts to non-native vegetation or disturbed habitat on the project site.

As part of the project design, the applicant is including the following measures as part of their proposed project design to minimize indirect impacts on the adjacent ESHA:

Water Quality

Earth moving activities will be entirely limited to the development footprint, which supports non-native vegetation/disturbed habitat and developed areas adjoining Solana Drive. Appropriate erosion control measures and Best Management Practices (BMPs) including the installation of silt fencing and straw wattles, will be utilized during project construction to ensure compliance with State stormwater regulations and the City's policies. The applicant is proposing temporary-only, water conserving emitters (e.g. microspray) for plantings within the proposed ESHA buffer, which minimizes runoff potential from

irrigation. With implementation of erosion control measures and BMPs during construction and irrigation within the ESHA buffer, impacts to water quality will be avoided.

Night Lighting

In accordance with City Policy 3.49, all exterior night lighting has been minimized and restricted to low intensity fixtures, with shielding, and directed away from the ESHA to prevent impacts to wildlife.

Construction Noise/Nesting Birds

Construction noise and grading could affect migratory songbirds, raptors, and other avifauna. To avoid conflicts with the federal Migratory Bird Treaty Act (MBTA) and Sections 3503, 3503.5 and 3513 of the California Fish and Game Code, the project must not remove or disturb any potential nesting habitat, including ground-nesting habitat, during the bird breeding season, defined as between 1 January and 31 August of each year. To avoid impacts to raptors and/or any native/migratory birds, removal of potential nesting habitat that supports active nests on or within 500 feet of the project site should occur outside of the avian breeding season. If work must take place on the project site during the breeding season, a qualified biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on or within 500 feet of the project site. The pre-construction survey shall be conducted within two weeks prior to the start of any construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to the City for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's compliance with Local Coastal Program(LCP)/LUP Policy 3.32 and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City and qualified biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.

Sensitive bird species are defined by Policy 3.32 as "those species designated "threatened" or "endangered" by state or federal agencies, California Species of Special Concern, California Fully Protected Species, raptors, and large wading birds. If sensitive nesting birds are detected at any time during the breeding season, the CDFW shall be notified and an appropriate disturbance set-back will be determined and imposed until the birds are fully fledged. The set-back or buffer shall be no less than 100 feet or may be reduced to an appropriate, lesser buffer based on the species, its tolerance for the construction activities, and approval from the applicable agencies. The results of the pre-construction survey should be provided to the City in the form of a letter report.

Invasive Plants

The landscaping design for the project does not include any invasive plant species. Additionally, the applicant proposes planting strictly indigenous, native species within the undeveloped portion of the property as part of habitat of habitat enhancement within the ESHA buffer.

Errant Construction Impacts

Project construction will be entirely fenced and restricted to the previously graded pad and no impacts to sensitive native habitats or species will occur.

COMPLIANCE WITH LCP POLICIES

Environmentally Sensitive Habitat Areas

Policy 3.22 states that *all buffers around (non-wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshall as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet.* Policy 3.65 also addresses the presence of a buffer around ESHA and the potential to reduce the size of those buffers stating that *in some cases, smaller buffers may be appropriate, when conditions of the site as demonstrated in a site-specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and the City, or Commission on appeal, must find that the development could not be feasibility constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.* The project applicant must obtain all required approvals for the reduced buffer.

The following design elements are part of the project application intended to preclude impacts and provide compliance with the above LCP policies:

1. The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
2. Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
3. All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.
4. The applicant has submitted to the city for review and approval a list of species to be planted within the ESHA buffer. The species list does not contain any invasive species. The restoration of indigenous native species in the buffer between the development and the ESHA along the northern, eastern, and western interfaces will provide an adequate buffer to preclude the potential indirect impacts to ESHA. The native species buffer would increase the functions and values of the existing vegetation within the buffer and would provide an adequate setback from the existing ESHA.

Errant Construction Impacts

To help ensure that both direct and indirect impacts to adjacent ESHA do not occur during construction, the limits of work shall be clearly delineated with the use of staking, flagging, and silt fence and verified by a qualified biologist.

Please contact me at LauraM@helixepi.com if you have any questions regarding this letter.

Sincerely,



Laura Moreton
Senior Scientist



Little & Sons Property Management Co.

Serving Greater San Diego Since 1979

July 23, 2024

Dear Mr. Hall:

The Architectural Control Committee of the Solana Hills Homeowners Association has reviewed the set of plans for your proposed home at 1128 Solana Drive, entitled "DRP/SDP SUBMITTAL PACKAGE" that was prepared by Flair Architects. The Solana Hills HOA approves your request to proceed with the construction plans as currently written. We recognize that various Government agencies will be involved in the review and approval of your plans. Any further modifications to the plans must be approved separately by the HOA prior to commencing construction. To facilitate such future approval with the HOA, we will request you to furnish a summary of any such modifications after you have received approval to proceed from the other agencies.

The street and side elevations of your proposed home will differ from existing homes in the Solana Hills HOA in that you desire a mix of stone and siding rather than stucco. In addition, your proposed roof features composite shingles as opposed to the clay roof tiles featured on the other homes in our community. The Solana Hills HOA decided to approve your request for a differing home style as an exception to our normal practice under the CCR's because your proposed home is outside the gated area, and will be adjacent to homes of varying styles on Solana Drive.

Please ensure that grading and construction of this home properly takes into account the existing storm water drainage system surrounding your property, and has no effect on other members of the HOA.

Landscape Concept Plan. Please consider the possibility of planting a row of taller plants along the rear of your house that might enhance your privacy while using the roof terrace and also dampen noise.

The Solana Hills HOA looks forward to working with you through the design, approval and construction process.

Sincerely,

Daniel G. Little
Association Manager

Attachment 5





January 30, 2025

City Council Members
c/o Katie Benson
Senior Planner
635 S. Highway 101
Solana Beach, CA 92075

RE: Hall Family Trust Residence
1128 Solana Drive
Del Mar, CA 92014
DRP24-001/SDP24-003

Dear City Council Members:

The Applicant, the Hall Family Trust, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to construct a new two-story single-family residence with attached two-car garage, rooftop deck, and associated site improvements and landscaping on a building site in the Solana Hills Estates Planned Residential Development (PRD) located at 1128 Solana Drive.

The Solana Hills Estates PRD is a 7.85-acre development that was approved on November 7, 1988 when Major Use Permit P88-03 and the associated Site Development Plan were approved by Resolution 88-94. Ten building sites for single-family residences were approved for the PRD with a shared tennis court. It was the intent of the developer to complete the rough grading for the entire PRD and then construct and sell all ten of the single-family homes. However, after grading the building pads, building the first home, and completing the required infrastructure and recreational facilities, the remaining graded building sites were sold to individual owners. Eight of the building sites are located off San Julio Road and two building sites are located along Solana Drive. All eight building sites on San Julio Road have been developed with single-family residences with the last one approved in 2016 by the city for 525 San Julio Road (DRP/SDP/VAR 17-15-22; Resolution No. 2016-060; Jeff and Amy Szekeres) and the additional building site on Solana Drive was developed with a single-family residence back in 2001.

The subject property was purchased by the Applicant back in the early 1990s. The Applicant had previously submitted and received approval for a DRP/SDP 17-06-25 to construct a 4,998 square foot single family residence with an attached 3-car garage and rooftop deck and associated site improvements and landscaping back on September 26, 2007 (Resolution No. 2007-134). On May 8, 2008, the California Coastal Commission approved Coastal Development Permit No. 6-07-112 for the proposed single-family residence and issued a Notice of Intent to Issue Permit for the project. Unfortunately, the

Great Recession hit at the same time as the approvals were received and on March 23, 2009 a 6 month extension was granted by the City of Solana Beach for the project and on March 10, 2010 a second extension request for 12 months was granted by the City of Solana Beach for the project. However, the home was never able to be built for a variety of economic reasons at that time and the previous approvals have since expired.

The project site, Lot 10 of the PRD, is subject to the development standards for the Solana Hills Estates PRD through Major Use Permit P88-03 and the associated Site Development Plan, approved in 1988 by Resolution No. 88-94. When the development standards are not addressed or not adequately described or defined in Resolution No. 88-94, the underlying zoning regulations for the Estate Residential (ER-2b) Zoning District govern. The project site is also located within the Hillside Overlay Zone and Dark Sky Area as well as adjacent to an Environmentally Sensitive Habitat Area (ESHA). Additionally, the project is subject to the policies set forth in the City of Solana Beach LCP/LUP as amended in June 2014. An analysis of the project in relation to the LCP/LUP/ESHA policies has been provided for the project in the Biological Resources Report for the property prepared by biological consultant Vincent N. Scheidt and which has been reviewed by the City's on-call biology consulting firm Helix Environmental Planning.

The Applicant received approval from the Solana Hills Estates Homeowners Association (HOA) for the house plans as outlined in the July 23, 2024 letter submitted to the city for the project. The HOA supported the applicant's request for a differing home style/elevation as an exception to their normal practice under the approved CC&R's since the home is located outside of the gated area on San Julio Road and will be adjacent to homes of varying styles along Solana Drive. The Applicant also added additional tall growing shrubs/bushes along the rear of the home as suggested as well by the HOA. As designed, the project proposes 382 cubic yards of cut, 15 cubic yards of fill, 169 cubic yards of excavation for footings, 260 cubic yards of removal and recompaction and 536 cubic yards of export for 826 cubic yards of aggregate (total) grading. The maximum height of the proposed residence would be 24.83 feet above the proposed grade or approximately 264 feet above Mean Sea Level (MSL).

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed project is in the Hillside Overlay Zone (HOZ), includes grading in excess of 100 cubic yards, a proposed maximum floor area in excess of 60 percent of the maximum allowable for the property, and a second floor that exceeds 35% of the floor area of the first floor. The project requires an SDP because the proposed residence will exceed 16 feet in height as measured from the pre-existing grade.

In addition to meeting the zoning requirements, the project must also be found in compliance with the development review criteria. The following is a list of the development review criteria topics that will be discussed:

- Relationship with Adjacent Land Uses
- Building and Structure Placement
- Landscaping
- Roads, Pedestrian Walkways, Parking, and Storage Areas

- Grading
- Lighting
- Usable Open Space

The Council may approve, or conditionally approve a DRP only if all the findings listed below can be made:

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.

2. The proposed development complies with the development review criteria.

3. All required permits and approvals issued by the city including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.

4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The proposed project may be found consistent with the General Plan, which designates the property as Estate Residential and is intended for single-family residential development at a maximum density of two dwelling units per acre. The proposed development could be found consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is located within the Hillside Overlay Zone and Dark Sky Area, which specifies additional development standards and regulations for properties that lie within these overlay zones. The Hillside Overlay Zone regulations are designed to restrict the grading of natural slopes with an inclination of 25 percent or greater to preserve the natural topography and scenic qualities of the city, protect native coastal sage/chaparral and grassland habitat, and reduce the potential for environmental hazards that could affect the public health, safety, and general welfare. The Dark Sky Area regulations are designed to reduce light pollution for aesthetic or dramatic purposes of any building and/or surrounding landscape, including impacts to environmentally sensitive habitat areas.

The proposed project site has zero naturally occurring 25%-40% slopes on it. The slopes shown on the proposed project plans reflect the manufactured slopes that were created when the PRD was originally graded as part of the Major Use Permit P88-03 and Site Development Plan approved in 1988 by Resolution No. 88-94 and Grading Permit

L0912. Existing vegetation on the site consists of disturbed habitat and non-native vegetation. No native species exist on the site. The project poses no potential threat of environmental hazards that could affect public health, safety, and general welfare. When the site was originally graded, the two existing graded pads were created for the anticipated construction of a split-level structure and future swimming pool. Since this work took place after the incorporation of the City of Solana Beach and was part of the approved grading of the site and not naturally occurring and created for the reason noted above for the future development of the site, the provisions of the Hillside Overlay Zone are not applicable.

All proposed lighting for the single-family home including the rooftop deck shall be compliant with the Building Code, City-wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060), and Dark Sky Area requirements outlined in SBMC 17.60.060 (C). Lights on the exterior of the building, rooftop deck, or landscape area shall not be designed to shine towards the environmentally sensitive areas (ESHA) surrounding the project site and will be reviewed as part of the building plan check process for the project.

The entire City of Solana Beach is located within the Coastal Zone. The project is subject to and will be required to obtain a Coastal Development Permit from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

The project site is subject to the development standards for the Solana Hills Estates PRD through Major Use Permit P88-03 and the associated Site Development Plan, approved in 1988 by Resolution No. 88-94. When the development standards are not addressed or not adequately described or defined in Resolution No. 88-94, the underlying zoning regulations for the Estate Residential (ER-2b) Zoning District govern. The proposed project as designed is consistent with all applicable requirements of the SBMC Title 17 (Zoning Ordinance), such as Permitted Uses and Structures (SBMC Section 17.20.020), which provides for uses of the property consistent with the zoning regulations. Furthermore, the proposed project adheres to all property development regulations established for the underlying ER-2b Zone (Section 17.020.030). Such regulations are all met in the design of the proposed project and include minimum yards/setbacks, maximum floor area, maximum building height, required off-street parking. Other applicable requirements of development within the ER-2b Zone relevant to this project and which the project complies with include SBMC 17.20.040, SBMC 17.60.070 (Fences and Walls) and SBMC 17.56 (Landscape Requirements).

DRP Finding #2

The development review criteria for the topics referenced above are listed below with further discussion as how they relate to the proposed project:

Relationship with Adjacent Land Uses:

The 8,798 square foot building site is located on the northwest side of Solana Drive west of the intersection of Solana Drive and Highland Drive. The subject property, as well as the neighboring properties, are zoned ER-2b and the surrounding properties are developed with a mix of one and two-story single-family residences. Most of the lots in

the surrounding area range from 0.5 to 1.4 acres and the homes in the Solana Hills Estates PRD range in size from approximately 3,000 to 6,000 square feet. The site is bordered on three sides by dedicated open space and ranges from 40 feet to the nearest PRD boundary to 150 feet to the nearest residence within the PRD. Tall vegetation in the form of acacia and other ornamental landscape exists northwest of the project site to create natural screening to the nearest home adjacent to the project site at 1120 Solana Drive. Lot 9 of the PRD located at 1128 Solana Drive is located approximately 200 ft to the east and is separated by existing open space. Additionally, there is an approximate 50-to-60-foot elevation difference between the building site and the existing residences to the north and northeast off San Julio Road, and as such the proposed project does not result in the blockage of any panoramic views from these existing residences. These same factors provide protection of the property from adverse surrounding influences such as negative impacts to light, air, and noise.

The project, as designed, is consistent with permitted uses for the ER-2b Zone and Major Use Permit P88-03 and the associated Site Development Plan, approved in 1988 by Resolution No. 88-94 and could be found consistent with the General Plan, which designates the property as Estate Residential.

Building Structure and Placement:

The proposed site layout and design of the project both visually and functionally enhance its intended use as a single-family residence because the residence is located within the designated site as approved in the Solana Hills Estates PRD in 1988. The proposed structure is a 4,243 square foot (including garage) two-story single-family residence which includes an 851 square foot rooftop deck area. The topography of the site slopes downwards towards Solana Drive from the northeast to southwest. The project is subject to a 20-foot front yard setback along Solana Drive which represents the limits of the PRD boundary along Solana Drive per the Solana Hills Estates PRD. No interior side yard or rear yard setbacks are applicable to the site. However, the project is providing setbacks to the "buildable area" limits of the site ranging from 15 feet to 40 feet on the sides of the structure and 13 feet to 22 feet along the rear side of the structure as shown on the project plans. A 20-to-50-foot ESHA buffer setback is also provided on the sides and rear portion of the building site.

During the view assessment process, the Applicant placed story poles on the building site outlining the proposed placement and 25-foot height limit of the house, measured above the pre-existing grade. No view claims were filed during the 30-day SDP review period which ran from December 10, 2024 to January 10, 2025.

A verbal comment was provided to city staff by the owners of 1120 Solana Drive regarding the proposed rooftop deck. The proposed residence and rooftop deck area has been sited and is oriented towards the southeast of the lot to capture potential peekaboo ocean views and would be located more than 120 feet to the east of the existing home at 1120 Solana Drive. The existing home at 1120 Solana Drive is oriented to the southwest and as such no view impairment would be created from the proposed rooftop deck. Existing vegetation currently exists between the two properties in the form of acacia and other ornamental landscaping that creates a natural visual barrier between the two properties. Lastly, the proposed ESHA buffers have further restricted the use of the building site by the applicant and have limited the private open space that can be installed on the lot, including the ability to install a pool as previously anticipated and

shown on the approved Site Development Plan per Major Use Permit P88-03 and Resolution No. 88-94. As such, the applicant is asking for approval of the 851 square foot roof top deck for their future use and enjoyment and feels that the approval of the rooftop deck will not be detrimental to the surrounding properties for the aforementioned reasons.

Fences, Walls, and Retaining Walls:

SBMC 17.60.070 Fences and Walls allows for no fence, wall, retaining wall or combination thereof to be higher than 42 inches in the front yard setback, except that an additional 24 inches of fence height (to a maximum height of 66 inches) shall be permitted, provided the additional portion of the fence is constructed of a material that is at least 80 percent open to light. All proposed retaining walls and fencing in the front yard setback off Solana Drive comply with this requirement. No fence or wall within the buildable area on the two sides and rear portion of the lot exceed the maximum height applicable to the principal structure as well. All fences and walls shall comply with the applicable city regulations during the building permit process.

Landscaping:

The proposed project is subject to the Water Efficient Landscaping Regulations of SBMC Chapter 17.56, and the Applicant has submitted a proposed conceptual landscape plan that includes a variety of trees, shrubs, and ground cover. Drought tolerant plants and water conserving irrigation systems have been incorporated as part of the project. The conceptual landscape plan has been reviewed by the City's third-party landscape architect and has recommended approval of the conceptual landscape plan. Non-native planting within the side and rear areas of the building site shall be replaced with native species to help enhance the ESHA buffer as well. Compliance with the City's Water Efficient Landscaping Regulations will be verified again at the time of building permit submittal.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The proposed design includes an attached two car garage totaling 623 square feet. Two (2) additional parking spaces are available on the proposed 20-foot driveway and one (1) additional parking space is proposed to the east of the proposed driveway. Pedestrian access to the home would be via a concrete walkway on the west side of the proposed driveway leading up from Solana Drive to the home. No sidewalk exists along the project frontage on Solana Drive. A separate walkway along the eastern side of the home leads to the enclosed trash, recycling, and green waste storage area located behind the proposed side yard fence so that it is screened from public view. All required common access roads and pedestrian walkways have been constructed as part of the Solana Hills Estates PRD and Resolution 88-94.

Grading

As designed, the project proposes 382 cubic yards of cut, 15 cubic yards of fill, 169 cubic yards of excavation for footings, 260 cubic yards of removal and recompaction and 536 cubic yards of export for 826 cubic yards of aggregate (total) grading. The proposed project has made use of the existing topography and the previously graded split pad condition that currently exists onsite. Graded areas and ESHA buffer areas surrounding

the residence will be landscaped to prevent potential erosion problems in the future. A concrete brow ditch was constructed between the building site and the adjacent undisturbed slope area to handle water from the hillside open space areas and homes above as well.

Lighting

All lighting for the proposed single-family home including the rooftop deck shall be compliant with the Building Code, City-wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060), and Dark Sky Area requirements outlined in SBMC 17.60.060 (C). Lights on the exterior of the building, rooftop deck, and landscape area shall not be designed to shine towards any environmentally sensitive areas (ESHA) surrounding the project site and will be reviewed as part of the building plan check process for the project.

Usable Open Space

The project consists of one single-family dwelling. Therefore, the usable open space and recreational facilities required by SBMC Section 17.20.040 do not apply to this project. Recreational facilities (i.e. tennis court) required for the Solana Hills Estates PRD have already been constructed. As a condition of project approval, the Applicant will pay the applicable Park Development Fee.

DRP Findings #3 & #4

All required permits are being processed concurrently or will be required to be obtained as a condition of project approval, and they are as follows:

California Coastal Commission

The entire City of Solana Beach is located within the Coastal Zone. The project is subject to and will be conditioned to obtain a Coastal Development Permit from the California Coastal Commission prior to the issuance of building or grading permits.

Structure Development Permit Compliance (SBMC Chapter 17.63)

The proposed structure would exceed 16 feet in height measured above the pre-existing grade, therefore the project shall comply with all View Assessment requirements of SBMC Chapter 17.63, which was completed as part of the SDP process. The Story Pole Height Certification for the structure was finalized and certified by a licensed land surveyor on November 12, 2024, which showed a maximum building height of 24.83 feet measured above the existing grade.

Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline for View Assessment by January 10, 2025, per SBMC 17.63.040(D). No applications for View Assessment were received for the proposed project.

LCP/LUP/ESHA Analysis:

An evaluation of Environmentally Sensitive Habitat Areas (ESHA) on or adjacent to the 1128 Solana Drive SFR project site and recommendations for avoidance and minimization of potential impacts to sensitive biological resources within the ESHA are provided to comply with regulatory requirements and the Land Use Plan (LUP) component of the City's Local Coastal Program (LUP, City, 2014).

Solana Hills Estates, a 10-lot planned residential development (PRD) in the City of Solana Beach was approved by the City and Coastal Commission and Lots 1 through 9 of the PRD have been developed with single-family homes. The 1128 Solana Drive project site (Lot 10) is the last undeveloped lot of the approved PRD.

The investigation for this analysis included a verification of whether the property falls within or adjacent to the City-designated ESHA as identified in the City's LUP. The ESHA habitat adjacent to the site was mapped by a licensed land surveyor from the project Civil Engineering firm San Dieguito Engineering, Inc. in conjunction with the project biologist via a field survey on February 28, 2024. A Leica GS14 GPS Sensor, connecting to a live network, Smartnet, as well as a Leica CS20 Data Collector was used to map the ESHA. The LUP defines ESHA as follows:

- *Any habitat is rare of especially valuable from a local, regional, or statewide basis*
- *Areas that contribute to the viability of plant or animal species designated as rare, threatened, or endangered under state or federal law*
- *Areas that contribute to the viability of species designated as Fully Protected or Species of Special Concern under state law or regulations*
- *Areas that contribute to the viability of plant species for which there is compelling evidence of rarity.*

The City's LUP contains multiple policy measures that are intended to provide protection to City- designated ESHA and other sensitive resources such as, but not limited to, the following:

- Policy 3.1 *Areas in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments are ESHAs and are generally shown on the LUP ESHA Maps. The ESHAs in the City of Solana Beach are shown in Exhibits 3-6 through 3-10 of the LUP.*
- Policy 3.8 *The ESHA shall be protected against significant disruption of habitat values and only uses dependent on such resources shall be allowed within such areas.*
- Policy 3.10 *If the application of the policies and standards contained in this LCP regarding use of property designated as ESHA or ESHA buffer, including the restriction of ESHA to only resource-dependent use, would likely constitute a taking of private property without just compensation, then a use that is not consistent with the ESHA provisions of the LCP shall be allowed on the property, provided such use is consistent with all other applicable policies of the LCP, the approved project is the alternative that would result in the fewest or least significant impacts, and it is the minimum amount of development necessary to avoid a taking of private property without just compensation. In such a case, the development shall demonstrate the extent of ESHA on the property and include mitigation, or, if on-site mitigation is not feasible, payment of an in-lieu fee, for unavoidable impacts to ESHA or ESHA buffers from the removal, conversion, or*

modification of natural habitat for new development, including required fuel modification and brush clearance per Policy 3.12. Mitigation shall not substitute for implementation of a feasible project alternative that would avoid adverse impacts to ESHA.

- Policy 3.11 *New development shall be sited and designed to avoid impacts to ESHA. For development permitted pursuant to Policy 3.10, if there is no feasible alternative that can eliminate all impacts, then the alternative that would result in the fewest or least significant impacts shall be selected. Impacts to ESHA that cannot be avoided through the implementation of siting and design alternatives shall be fully mitigated, with priority given to on-site mitigation. Off-site mitigation measures shall only be approved when it is not feasible to fully mitigate impacts on-site or where off-site mitigation is more protective. Mitigation shall not substitute for full implementation of the project alternative that would avoid impacts to ESHA. Mitigation for impacts to ESHA shall be provided at a 3:1 ratio.*
- Policy 3.13 *The ESHA shall be protected and, where feasible, enhanced. Where pedestrian access through ESHA is permitted, well-defined footpaths or other means of directing use and minimizing adverse impacts shall be used. Nesting and roosting areas for sensitive birds such as Western Snowy Plovers and Least Terns shall be protected by means, which may include, but are not limited to, fencing, signing, or seasonal access restrictions.*
- Policy 3.22 *Development adjacent to ESHAs shall minimize impacts to habitat value or sensitive species to the maximum extent feasible. Native vegetation buffer areas shall be provided around ESHAs to serve as transitional habitat and provide distance and physical barriers to human intrusion. Buffers shall be of sufficient size to ensure the biological integrity and preservation of the ESHA they are designed to protect. All buffers around (non- wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshal as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet.*
- Policy 3.29 & 3.45 *Landscaping adjacent to ESHA must consist entirely of native, non-invasive drought-tolerant, salt-tolerant and fire-resistant species, however, the use of ornamental species may be allowed provided they are fire-resistant, drought-tolerant, and non-invasive as a small component for single-family residences. Cut and fill slopes and other areas disturbed by construction activities (including areas disturbed by fuel modification or brush clearance) shall be landscaped or revegetated at the completion of grading.*
- Policy 3.35 *Utilize the Hillside/Coastal Bluff Overlay (HOZ) requirements to restrict the grading of natural non-coastal bluff slopes with an inclination of 25% or greater in order to preserve the natural topography and scenic qualities of the City; protect native coastal sage/chaparral and grassland habitat; preserve existing watersheds and reduce the potential for environmental hazards including soil erosion and siltation of coastal wetlands, landslide; adverse impacts due to runoff; and other impacts which could affect public health, safety, and welfare.*
- Policy 3.38 *New development shall be sited and designed to minimize impacts to coastal resources including but not limited to minimizing grading and landform alteration; minimizing the removal of natural vegetation and fuel modification; limiting the number of structures; minimizing the length of the access road or driveway; grading for access road and driveways; limiting earthmoving operations during rainy season; and minimizing impacts to water quality.*
- Policy 3.42 *Earthmoving during the rainy season (extending from November 1 to March 1) should be restricted for development that (1) is located within or adjacent to ESHA, or (2) includes grading on slopes greater than 4:1 except for grading on coastal*

bluffs that is required for bluff retention devices. In such cases, approved grading shall not be undertaken unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after March 1, unless the City determines that completion of grading would be more protective of resources.

- *Policy 3.43 Where grading is permitted during the rainy season (extending from November 1 to March 1), erosion control measures such as sediment basins, silt fencing, sandbagging, and installation of geofabrics shall be implemented prior to and concurrent with grading operations. Such measures shall be maintained through final grading and until landscaping and permanent drainage is installed.*

- *Policy 3.49 Exterior night lighting shall be minimized, restricted to low-intensity fixtures, shielded, and directed away from ESHA to minimize impacts on wildlife. High-intensity perimeter lighting and lighting for sports courts or other private recreation facilities in ESHA, ESHA buffer, or where night lighting would increase illumination in ESHA is prohibited.*

- *Policy 3.65 In some cases, small buffers may be appropriate when conditions of the site as demonstrated in a site-specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and the City, or Commission on appeal, must find that the development could not be feasibly constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.*

- *Policy 4.79 Fuel Modification Requirements for New Development- New development, including but not limited to subdivision and lot line adjustments shall be sited and designed so that no brush management or the 100 ft. fuel modification encroaches into ESHA.*

In addition, in the event that the ESHA designation conflicts with a site-specific survey, various policy items (e.g., 3.7, 3.3) provide a process for potential modifications.

The City-wide vegetation mapping that was completed as part of the City's LUP in 2008 and 2009 is depicted on Exhibit 3-9 of the City's LUP is attached (Figure 1a). The vegetation mapping incorrectly identifies the entire property as both ESHA and containing Diegan Coastal Sage Scrub- Disturbed. Biological field surveys, including an evaluation of vegetation-types found on the project site, were completed in December 2007, March and July of 2016, April 2017, May 2021, and February 2024 as noted in the biological report submitted for the project. The numerous biological reports previously prepared by the project biologist for the site clearly indicate that the project site does not contain Diegan Coastal Sage Scrub-Disturbed. Furthermore, the project site is not part of any ESHA. As such, the vegetation mapping contained in this report is the most accurate representation of the project site condition and that the vegetation communities within the vicinity of the property have remained the same since 2007. As such, Exhibit 3-9 should not be relied upon when evaluating the site as it relates to ESHA and existing vegetation types within the vicinity of the property.

No ESHA occurs on the project site, which was verified by the February 28, 2024, field survey which utilized a Leica GS14 GPS Sensor, connecting to a live network, Smartnet, as well as a Leica CS20 Data Collector. The Southern Maritime Chaparral that is mapped adjacent to or within the vicinity of the project site are considered ESHA. No direct impacts would occur to ESHA as part of the project construction. No fuel

modification activities are required for this project as outlined in the Fuel Modification Assessment dated April 1, 2024, prepared by Dudek and approved by the city. Therefore, no off-site direct impacts to native vegetation and no direct impacts to ESHA would occur from the development of the project site as proposed.

IMPACTS (ESHA/ESHA Buffer)

Development of the project site has the potential to indirectly impact the adjacent ESHA that occurs outside of the project site footprint. Potential indirect impacts include water quality, night lighting, noise, invasive plant species (each of which are discussed in more detail in the subsections below). Indirect impacts also can occur through degradation of the habitat associated with the ESHA and ESHA buffer. Based on the site mapping, the distance between the proposed development and the ESHA (i.e.: the existing ESHA buffer) along most of the interface ranges from 20 feet to 50 feet (Figure 2a). It is worth noting that adjacent residences within the Solana Hill Estates PRD directly abut the ESHA around their homes and provide little to no buffer. The current condition of the project site does not provide a native vegetated buffer between the existing ESHA and graded pad. An existing concrete brow ditch that was previously installed as part of the original mass grading operation and which continues to handle drainage from the adjacent slope area acts as an additional barrier between the mapped ESHA and project boundary. The existing buffer also consists of disturbed habitat and non-native vegetation with a few scattered native species as well.

As part of the project design, the applicant is proposing the following measures as part of their proposed project design to minimize indirect impacts on the adjacent ESHA. Implementation of the following measures as part of the project design would improve the functions and values of the existing ESHA buffer between the development and the ESHA.

- The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
- Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
- All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.

To ensure that the project does not result in a significant indirect impact to ESHA and the ESHA buffer, the following design features are included as a part of the project application. These will ensure that indirect impacts are precluded.

Water Quality

Landscaping and excessive irrigation have a potential to result in increased runoff, which could in turn reduce water quality in adjacent areas. The use of petroleum products (i.e., fuels, oils, lubricants) and erosion of land moved during grading could potentially contaminate surface water, adversely affecting vegetation, aquatic animals, and terrestrial wildlife. Earthmoving activities will be entirely limited to the development

footprint, which supports Non-native Vegetation/Disturbed Habitat and developed areas adjoining Solana Drive. Appropriate erosion control measures and Best Management Practices (BMP's) including the installation of silt fencing and straw wattles, will be utilized during project construction to ensure compliance with State Stormwater regulations and the City's policies. The applicant is proposing temporary-only, water conserving emitters (e.g. microspray) for plantings within the proposed ESHA buffer, which minimizes runoff potential from irrigation. With implementation of erosion control measures and BMP's during construction and irrigation within the ESHA buffer, impacts to water quality will be avoided.

Night Lighting

Night lighting exposes wildlife species to an unnatural light regime and may alter their behavior patterns, causing them to have lower reproductive success, and thus reducing species diversity. In accordance with City Policy 3.49, all exterior night lighting has been minimized and restricted to low-intensity fixtures, with shielding, and directed away from the ESHA to prevent impacts to wildlife.

Construction Noise/Nesting Birds

Grading and the removal of vegetation with associated construction noise resulting from project development could result in impacts to nesting birds if construction were to take place during the avian breeding season (January 1 through August 31). The project design includes specific measures to prevent impacts to nesting birds, including seasonal restrictions and/or nesting surveys designed to detect and protect active nesting.

Invasive Plants

Invasive plants have potential to spread from developed or disturbed areas into adjacent native habitats. Such invasive species can displace native vegetation, reducing the diversity of native habitats and potentially increasing flammability, changing ground and surface water levels, and adversely affecting native wildlife. The landscaping design for the project as shown on the attached (Figure 3a) does not include any invasive plant species. Additionally, the applicant proposes planting strictly indigenous, native species within the undeveloped portion of the property as part of habitat of habitat enhancement within the ESHA buffer. Therefore, indirect impacts due to invasive plant species are not expected.

Hillside/Coastal Bluff Overlay (HOZ)

The City of Solana Beach Overlay Zoning Map identifies the project site within the Hillside Overlay Zone. Application of Solana Beach Municipal Code Section 17.48.020 Hillside Overlay Zone applies where site-specific analysis indicates that the parcel contains slopes exceeding 25 percent in grade. The slope analysis performed for the project site identifies slopes ranging from 0%-40%. However, the 25%-40% slopes within the project site are existing manufactured slopes and not naturally occurring slopes. The project site was originally graded as part of the Major Use Permit P88-03 and Site Development Plan approved in 1988 by Resolution No. 88-94 and Grading Permit L0912 for the Solana Hills Estates PRD. The grading operations resulted in the creation of the two existing building pads, which were created for the anticipated construction of a split-

level structure and future swimming pool which were never built. Since the grading took place after incorporation of the City of Solana Beach and was part of the approved grading of the site and not naturally occurring and created for the reasons noted above for the future development of the site, the provisions of Solana Beach Municipal Code Section 17.48.020 Hillside Overlay Zone and City of Solana Beach LCP/LUP Policy 3.35 are not applicable.

Errant Construction Impacts

Unauthorized construction impacts outside the approved limits of work could potentially impact adjacent sensitive habitat, where present. Errant construction impacts are unlikely to occur as project construction will be entirely fenced and restricted to the previously graded pad and no impacts to sensitive native habitats or species will occur. Implementation of these measures will preclude potential impacts from errant construction.

COMPLIANCE WITH LCP POLICIES

Environmentally Sensitive Habitat Areas

The following design elements are part of the project application intended to preclude impacts and provide compliance with the above LCP policies:

1. The occasional native shrubs that are present within the buffer will be flagged for avoidance during all phases of work, including restoration planting of this area.
2. Disturbance to root zones of native shrub species within the buffer will be minimized to the extent feasible by avoiding grading in the buffer. If native shrub species need to be disturbed, the individuals would either be trimmed back to allow access or driven over. However, the roots shall remain intact to allow the shrub to resprout.
3. All non-native species within the buffer and within the undeveloped portion of the project site would be removed and replaced with native species. Planting and seeding of native species (shrubs and annuals) will occur to enhance the buffer area between the ESHA and development.
4. The applicant has submitted to the city for review and approval a list of species to be planted within the ESHA buffer. The species list does not contain any invasive species.

The restoration of indigenous native species in the buffer between the development and the ESHA along the northern, eastern, and western interfaces will provide an adequate buffer to preclude the potential indirect impacts to ESHA. The native species buffer would increase the functions and values of the existing vegetation within the buffer and would provide an adequate setback from the existing ESHA.

Policy 3.22 states that all buffers around (non-wetland) ESHA shall be a minimum of 100 feet in width, or a lesser width may be approved by the Planning Department and Fire Marshall as addressed in Policy 3.65. However, in no case can the buffer size be reduced to less than 50 feet. Policy 3.65 also addresses the presence of a buffer around ESHA and the potential to reduce the size of those buffers stating that in some cases, smaller buffers may be appropriate, when conditions of the site as demonstrated in a site-specific biological survey, the nature of the proposed development, etc. show that a smaller buffer would provide adequate protection. In such cases, the CDFW must be consulted and agree that a reduced buffer is appropriate and

the City, or Commission on appeal, must find that the development could not be feasibility constructed without a reduced buffer. However, in no case shall the buffer be less than 50 feet.

A 100-foot buffer from ESHA would preclude any development of the project site, as shown in Figure 4a. Additionally, if a 50-foot buffer were to be implemented, development of the lot would be restricted to a very small portion of the parcel and there would be no adequate area to build a home, as shown in Figure 5a. Policy 3.10 states that *If the application of the policies and standards contained in this LCP regarding use of property designated as ESHA or ESHA buffer would likely constitute a taking of private property without just compensation, then a use that is not consistent with the ESHA provisions of the LCP shall be allowed on the property, provided such use is consistent with all other applicable policies of the LCP, the approved project is the alternative that would result in the fewest or least significant impacts, and it is the minimum amount of development necessary to avoid a taking of private property without just compensation.* A 20-31 ft buffer from ESHA was approved in 2016 & 2017 by both the City and Coastal Commission consisting of native landscaping for Lot 7 of the Solana Hills Estates PRD located at 525 San Julio Road (Coastal Application No. 6-16-0500. Szekeres DRP/SDP/VAR 17-15-22; Resolution No. 2016-060). Similar findings can be made for the subject property that were applied to the Szekeres property supporting the reduced ESHA buffer as noted below.

A 50-foot native buffer is not considered necessary for this single-family residence for the following reasons:

1. The project consists of 1 single-family home on a previously graded split pad that contains no sensitive habitat.
2. The existing conditions on the project site do not provide a native buffer. The areas adjacent to the ESHA currently support non-native species.
3. Incorporation of native species planting within the ESHA buffer and the removal of non-native species would increase the functions and values of the existing vegetation on-site by providing a revegetated barrier to human intrusion to the ESHA, providing native habitat between the development and the ESHA, and increasing the quality of this area through removal of non-native species.
4. The project is the last remaining vacant lot within the Solana Hills Estates PRD and the proposed ESHA buffer is no closer to the habitat than the neighboring approved residences of which the majority have less than 50 ft buffer and in some cases none.
5. Maintaining the existing pattern of development at this site is not expected to significantly disrupt the adjacent habitat or set a precedent allowing impacts to ESHA elsewhere in the PRD. Furthermore, under the previously approved PRD by the California Coastal Commission in 1988 (Coastal Development Permit #6-88-514), a larger single-family home, a swimming pool, and other improvements could have been constructed closer to the existing ESHA and Open Space than the proposed project (Figure 6a). The proposed project does not encroach into the ESHA, is less impactful than the previously approved development, and it improves the functions and values of the existing ESHA buffer, as described above.
6. Given the pattern of surrounding development and the permit history in this case, a reduced ESHA buffer is consistent with the Coastal Acts' resource protection policies.

Construction Noise/Nesting Birds

Initial clearing and grading of the property should be conducted outside the avian breeding season (January 1 through August 31) to comply with the federal, state, and local statutes that protect nesting birds. However, if clearing of habitat, grading, or other ground disturbance activities cannot be conducted outside the avian breeding season, a qualified biologist shall conduct a pre- construction survey for sensitive bird species and others, including raptors, within the proposed project site and a 500 foot buffer to the project site no more than two weeks prior to the start of work in accordance with City Policy 3.32. Sensitive bird species are defined by Policy 3.32 as “those species designated “threatened” or “endangered” by state or federal agencies, California Species of Special Concern, California Fully Protected Species, raptors, and large wading birds. If nesting birds are detected at any time during the breeding season, the CDFW shall be notified and an appropriate disturbance set-back will be determined and imposed until the birds are fully fledged. The setback or buffer shall be no less than 100 feet or may be reduced to an appropriate, lesser buffer based on the species, its tolerance for the construction activities, and approval from the applicable agencies. The results of the pre-construction survey should be provided to the city in the form of a letter report.

Errant Construction Impacts

To help ensure that both direct and indirect impacts to adjacent ESHA do not occur during construction, the limits of work shall be clearly delineated with the use of staking, flagging, and silt fence verified by a qualified biologist.

CONCLUSION

The proposed project would not result in any direct or indirect impacts to sensitive biological resources or adjacent ESHA. No direct impacts are anticipated, and implementation of specific design features listed above will preclude any significant indirect impacts. No native ESHA buffer currently is present on the project site. Incorporation of the measures listed above will result in a functional improvement to the ESHA buffer area between the proposed development and the ESHA through removal of non-native species and planting with indigenous native species. While portions of the ESHA buffer will be less than 50 feet, the buffer that is proposed is considered adequate to ensure the biological integrity and the necessary protections to the existing ESHA consistent with the intent of Policy 3.22 while allowing reasonable use of the land.

Sincerely,



Sean Santa Cruz
VP Planning and Development
740 Lomas Santa Fe Drive Suite 204
Solana Beach, CA 92075
(858) 481-3310 x122
Fax (858) 481-6325
ssantacruz@hallmarkcommunities.com

Figure 1a. Exhibit 3-9 of the City's LUP showing Vegetation Mapping for the Project Site

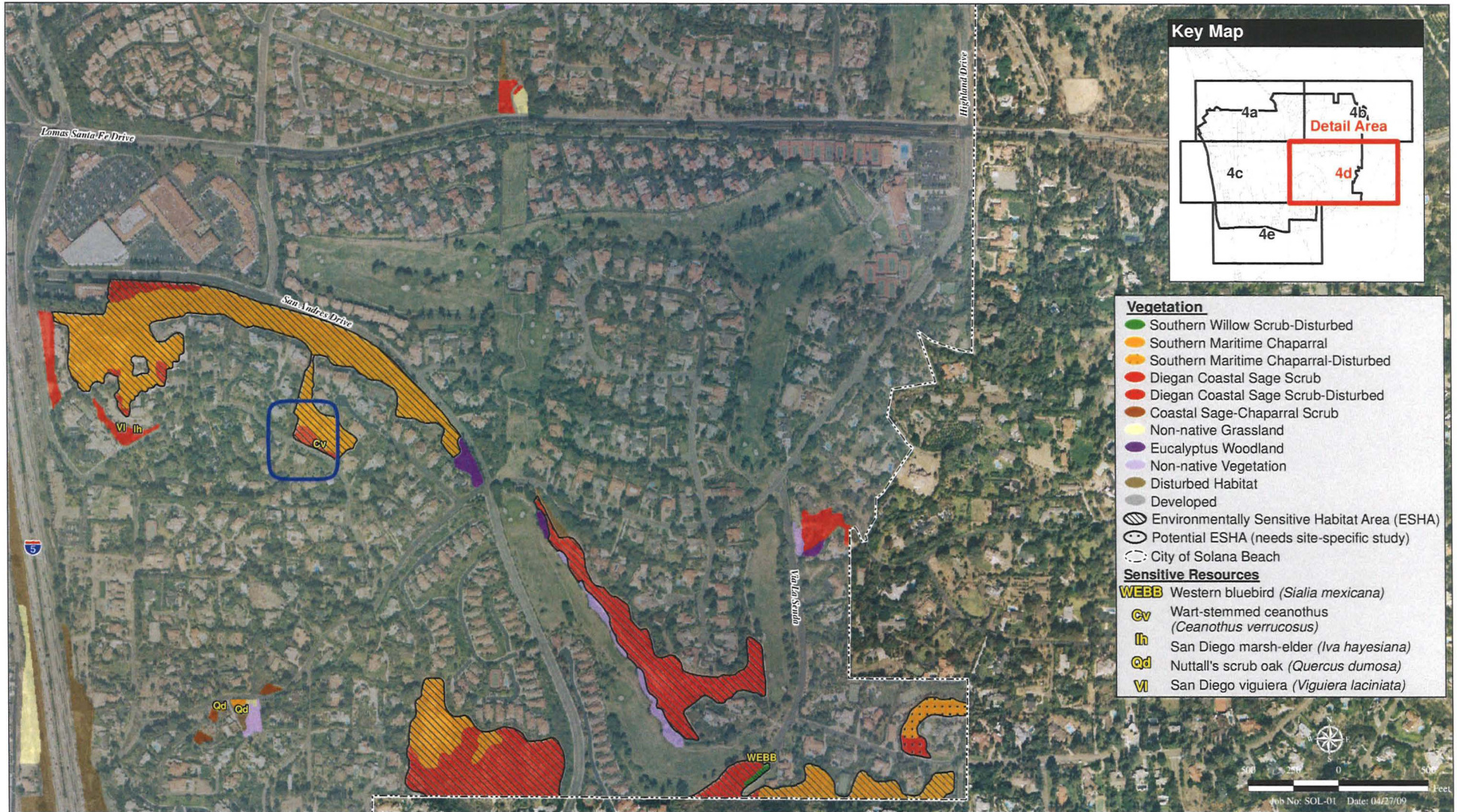


EXHIBIT 3-9 ENVIRONMENTALLY SENSITIVE HABITAT AREAS

Local Coastal Program Land Use Plan

City of Solana Beach, June 2009

Figure 2a. Grading Plan showing ESHA and Proposed ESHA buffer for the Project Site

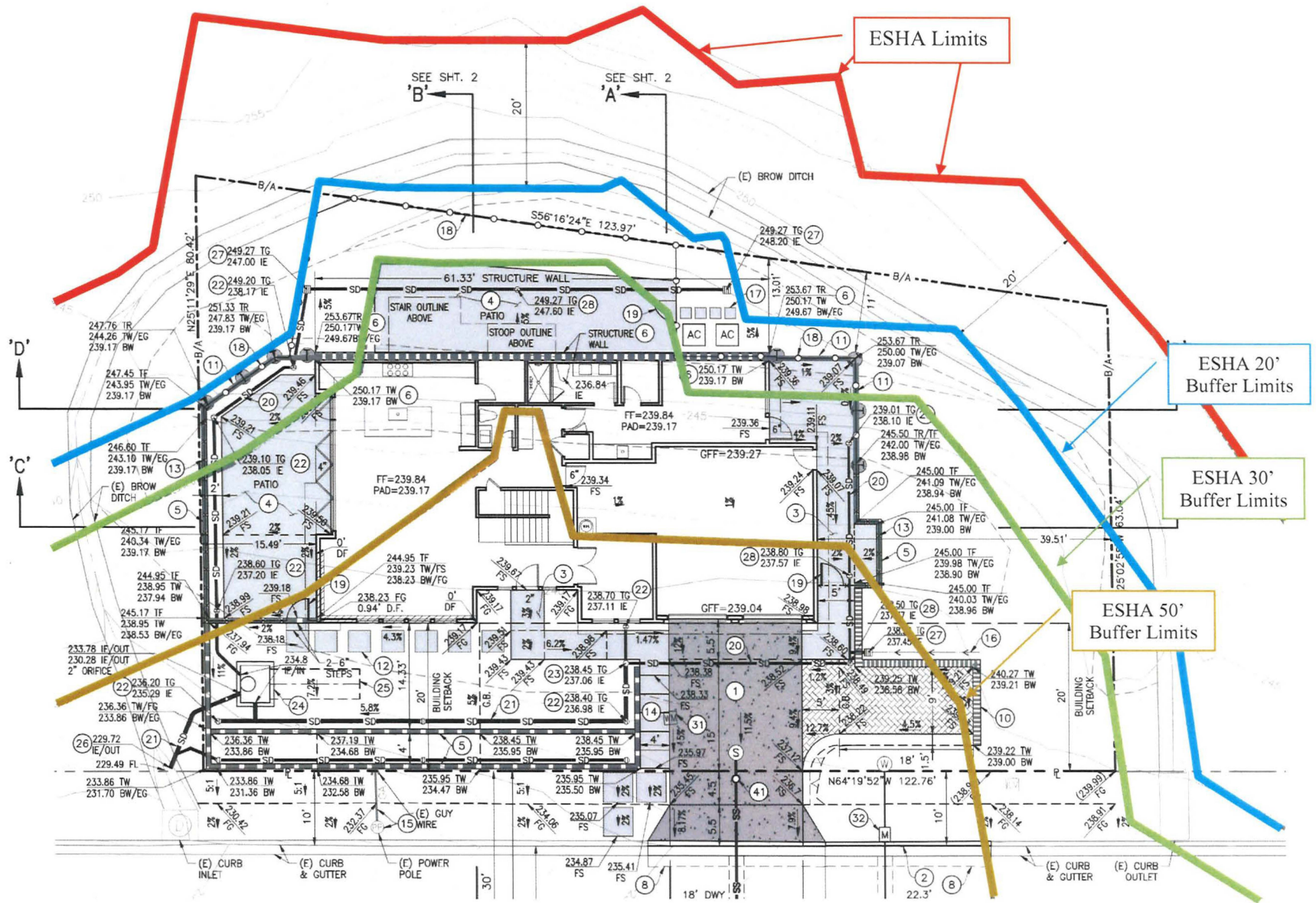
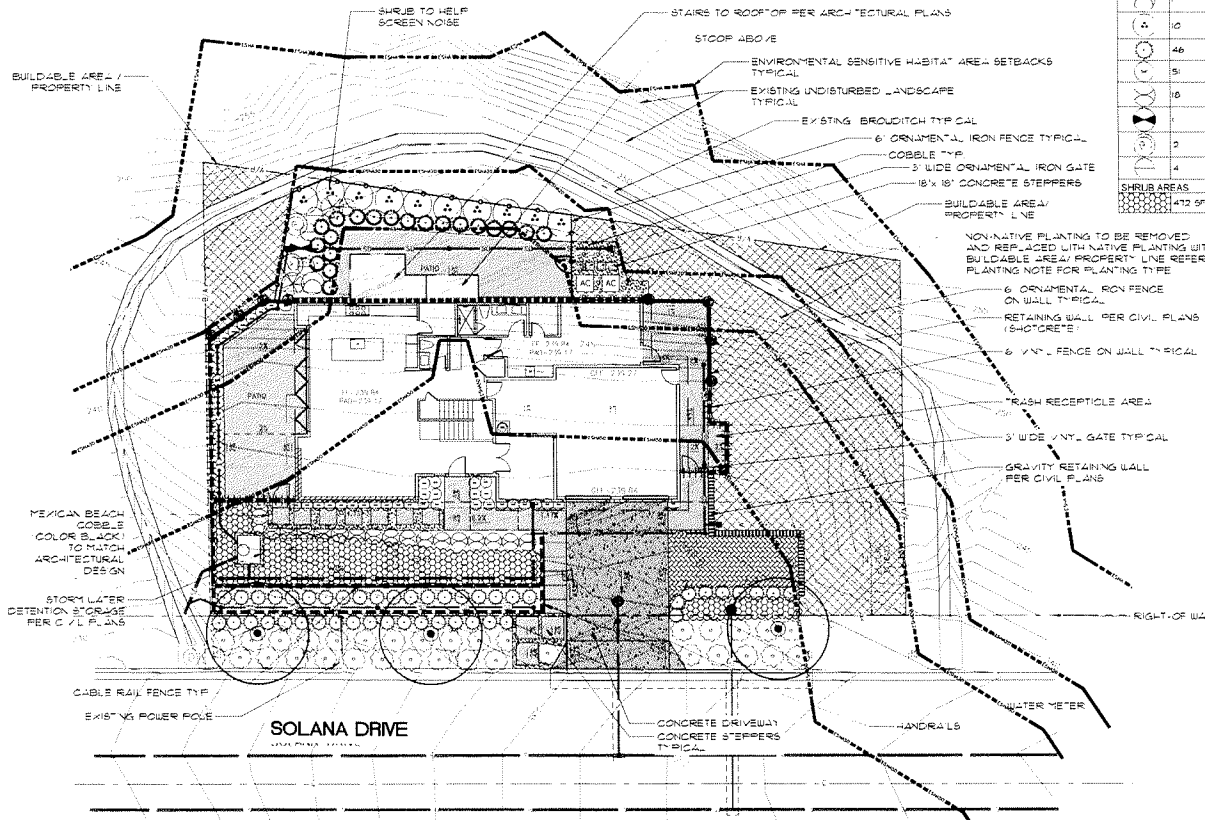


Figure 3a. Landscape Plan for the Project Site Sheet 1

LANDSCAPE CONCEPT PLAN FOR: 1128 SOLANA DRIVE DEL MAR, CALIFORNIA 92014

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	HEIGHT	WUCOLS
TREES							
(Symbol)	5	GILIPHY'S LINEARIS GUODA	BUBBA DESERT WILLOW	24" DIA	AS SHOWN OR WIDE	20' H	VERY LOW
SHRUBS							
(Symbol)	20	CAREX TUMULIGOLA	FOOTHILL SEDGE	6AL	36" O.C. W	1-2' H	LOW
(Symbol)	33	CEANOTHUS 6 HOR YANKEE POINT	YANKEE POINT CARMEL GREEDER	6AL	48" O.C. W	2-3' H	LOW
(Symbol)	2	ENCLIA CALIFORNICA	CALIFORNIA ENCLIA	6AL	48" O.C. W	2-3' H	VERY LOW
(Symbol)	1	ERLOBUM CALIFORNICUM	CALIFORNIA TUZIGIA	6AL	48" O.C. W	1-2' H	VERY LOW
(Symbol)	10	HETEROMELES ARBUTIFOLIA	TOYON	15 6AL	60" O.C. W	2-25" H	LOW
(Symbol)	46	JANUS PATENS	CALIFORNIA GRAY RUSH	6AL	36" O.C. W	1-2' H	LOW
(Symbol)	51	IRIS DOUGLASSIANA	DOUGLAS IRIS	6AL	24" O.C. W	1-2' H	LOW
(Symbol)	16	LOMANDRA LONGIFOLIA BREEZE	BREEZE MAT RUSH	6AL	48" O.C. W	2-3' H	LOW
(Symbol)	1	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	6AL	48" O.C. W	3-4' H	VERY LOW
(Symbol)	2	SALVIA GLEUVELANDII WINNFRED GILMAN	WINNFRED GILMAN GLEUVELAND BASGE	6AL	48" O.C. W	4-5' H	VERY LOW
(Symbol)	4	VERBENA LILAGINA DE LA MINA	DE LA MINA LILAC VERBENA	6AL	36" O.C. W	1-2' H	LOW
(Symbol)	472 SF	ARZOSTAPHYLOS EDWARDSII CARMEL	CARMEL SUR MANZANITA	6AL	48" O.C. W	H	LOW



PLANTING NOTES
NON-NATIVE PLANTING WITHIN BUILDABLE AREA/PROPERTY LINE SHALL BE REPLACED WITH NATIVE SPECIES BELOW TO HELP ENHANCE THE BUFFER SPACE PLANTING SHALL CONSIST OF 1 GALLON CONTAINER STOCK AND PLACED TO AVOID DISTURBANCE TO EXISTING NATIVE SPECIES TEMPORARY IRRIGATION TO BE PROVIDED AND REMOVED ONCE PLANTS HAVE BEEN ESTABLISHED

- CHAMISE (ADENOSTOMA FASCICULATUM)
- WART-STEMMED CEANOTHUS (CEANOTHUS VERRUCOSUS)
- MISSION MANZANITA (XYLOCCOCUS BICOLOR)
- SPRUCE BUSH (CECOPHYLLUM DUCOSUM)
- MOJAVE YUCCA (YUCCA SCHOTTGERA)
- BLACK SAGE (SALVIA MELLENIA)
- REDBERRY (RYANUS CROCEA)
- LEMONADEBERRY (RAUS INTERGRALIA)
- TOYON (HETEROMELES ARBUTIFOLIA)
- CALIFORNIA BUCKWHEAT (ERIOGONUM FASCICULATUM)
- GOLDEN YARROU (EROPHYLLUM CONFERTIFLORUM)

GENERAL NOTES
THIS CONCEPTUAL LANDSCAPE PLAN DIAGRAMMATICALLY SHOWS PLACEMENT OF PROPOSED PROJECT LANDSCAPING. FINAL LANDSCAPE PLANS SHALL ACCURATELY IDENTIFY AND SHOW PLACEMENT OF TREES, SHRUBS AND GROUND COVERS. THE LANDSCAPE ARCHITECT IS AWARE OF THE CITY OF SOLANA BEACH POLICY WHICH PROHIBITS TREES AND STRUCTURES IN UTILITY EASEMENTS AND HAS CONCEPTUALLY DESIGNED THE PROJECT LANDSCAPE AND RESPECTIVE HARDSCAPE IN ACCORDANCE WITH THIS REQUIREMENT. ALL PERTINENT UTILITY EASEMENTS ARE DELINEATED ON THE PRELIMINARY CIVIL ENGINEERING SITE PLAN INFORMATION. THE FINAL LANDSCAPE PLAN SHALL SHOW ALL EASEMENTS THAT MAY AFFECT FINAL PLACEMENT OF PROJECT TREES AND SHRUBS, BASED ON THE EASEMENT AND UTILITY INFORMATION RECEIVED FROM THE PROJECT ENGINEER.
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER UNLESS NOTED OTHERWISE. LANDSCAPE AREAS SHALL BE MAINTAINED PER THE CITY OF SOLANA BEACH REQUIREMENTS AND SEMI 1786 WATER EFFICIENT LANDSCAPE REGULATIONS.

IRRIGATION NOTES
AN AUTOMATIC IRRIGATION SHALL BE INSTALLED AS REQUIRED TO PROVIDE COVERAGE FOR PLANTING AREAS SHOWN ON THE PLAN. LOW PRECIPITATION EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY, AUTOMATIC CONTROL, VALVES, TIMERS AND OTHER NECESSARY EQUIPMENT FOR PROPER COVERAGE. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL AND ANY DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER GUIDELINES. CLASS 315 PRESSURE OR SCHEDULE 40 MAINLINE SHALL BE BURIED TO A MINIMUM DEPTH OF 18" PVC LATERAL LINES SHALL BE BURIED 12" MINIMUM BELOW FINISH GRADE. ALL MAINLINE SHALL BE INSTALLED PER MANUFACTURER GUIDELINES, SPECIFICATIONS AND ADHERE TO CODES AND GUIDELINES. ALL LANDSCAPE AND IRRIGATION IMPROVEMENTS SHALL BE INSTALLED PER THE PROVISIONS OF CITY OF SOLANA BEACH LANDSCAPE DESIGN GUIDELINES AND SHALL BE CONSISTENT WITH CURRENT STORMWATER BMP'S FOR WATER CONSERVATION PLAN AND NOTES, SHEET 1-1.

PLANTING NOTES
THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, ENVIRONMENTAL SENSITIVITY AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND SUPPLEMENTS BASED UPON THE AGRICULTURAL SOILS ANALYSIS REPORT FROM SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO PROTECT THE SOIL FROM EXCESSIVE SOLAR EXPOSURE, EVAPOTRANSPIRATION AND SURFACE WATER RUNOFF. ALL PLANTING AREAS SHALL BE MULCHED TO A DEPTH OF 3" TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. SHRUBS SHALL BE ALLOWED TO GROW INTO THEIR NATURAL FORMS WITHOUT SHEARING UNLESS TEMPORARY FORMS ARE A DESIGN ELEMENT OR REQUESTED BY OWNER. ALL LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE CURRENT CITY OF SOLANA BEACH GUIDELINES.
INSTALL REINFORCED STRAW MATTING ON ALL SLOPE AREAS (GRADES OF 2:1 OR GREATER) THAT ARE GRADED OR DISTURBED AS PART OF THIS PROJECT TO PROVIDE EFFECTIVE EROSION CONTROL.

THE PROJECT LANDSCAPE SHALL CONFORM TO THE APPROVED STORMWATER PLAN AND REPORT. PLEASE REFER TO CIVIL ENGINEER'S PLANS FOR ALL STORMWATER MANAGEMENT DRAWINGS, LOW IMPACT DEVELOPMENT FEATURES, NOTES AND DETAILS.

EXISTING CONDITIONS
PLEASE REFER TO BIOLOGICAL SURVEY FOR IDENTIFICATION OF ALL EXISTING VEGETATION. ALL VEGETATION IS TO BE REMOVED PRIOR TO FINISH GRADING.

LANDSCAPE CONCEPT PLAN

All landscape to be privately maintained.



THE LIGHTFOOT PLANNING GROUP
PLANNING SITE DESIGN LANDSCAPE ARCHITECTURE
5300 JARVIS COURT SUITE 170
CARLSBAD, CA 92008
TEL: 760-439-1174

HALL RESIDENCE
1128 SOLANA DRIVE
DEL MAR, CALIFORNIA 92014

Scale: 1" = 10'-0"
Date: 10/26/19
Drawn By: EE
Reviewed:

3/17/24
6/28/24
7/30/24
8/25/24

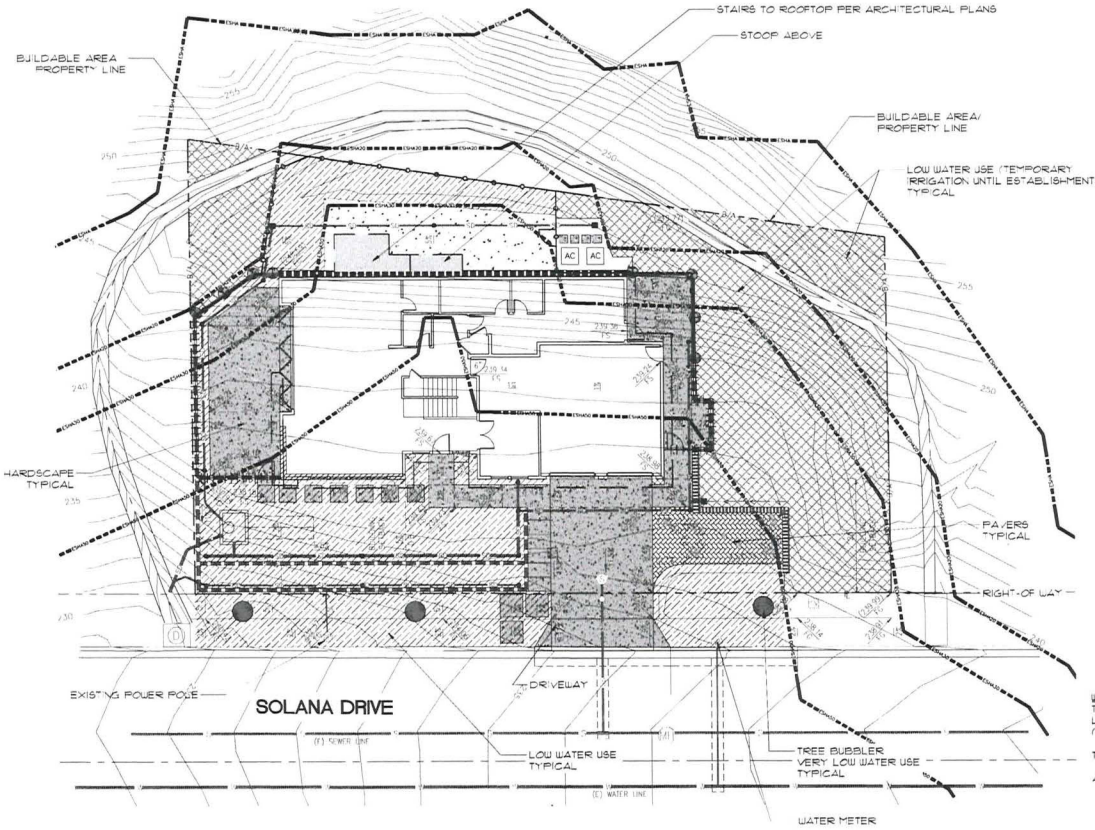
Landscape Concept Plan
Job #: 24128C
L-1
2

8412801 HALLMARK/SOLANA BEACH, LCP

Figure 3a. Landscape Plan for the Project Site Sheet 2

CONCEPTUAL WATER CONSERVATION PLAN FOR:

1128 SOLANA DRIVE
DEL MAR, CALIFORNIA 92014



HYDROZONE LEGEND

SYMBOL	HYDROZONE INFO	HYDROZONE AREA (HA)	HYD NUM	COMMENTS
	PLANT FACTOR: LOW 3 IRRIGATION TYPE: DRIP IRRIGATION EFFICIENCY: 8%	HYDROZONE AREA: 7,436 SF	HYD 1	SUBSURFACE DRIP
	PLANT FACTOR: VERY LOW 1 IRRIGATION TYPE: BUBBLER EFFICIENCY: 15%	HYDROZONE AREA: 60 SF	HYD 2	TREE BUBBLER
	PLANT FACTOR: LOW 3 IRRIGATION TYPE: MICRO SPLY EFFICIENCY: 8%	HYDROZONE AREA: 2,300 SF	HYD 3	TEMPORARY IRRIGATION UNTIL ESTABLISHMENT
		TOTAL LANDSCAPE AREA: 4,846 SF		

The project's Estimated total Water Use is calculated using the following formula:
 ETWU = (E) x (E) x (PF) x (HA) / (E) x (SLA)
 ETWU = Estimated total water use per year (gallons per year)
 E₁₀ = Evapotranspiration rate (inches per year)
 PF = Plant Factor (see requirements in chart)
 HA = Hydrozone Area (square feet). Divide hydrozones by water use - very low, low, moderate and high
 SLA = Special Landscape Area (square feet). List plants, irrigated with recycled water, & turf used for active play
 CF = Conversion Factor (to gallons per square foot)
 E = Irrigation Efficiency (see requirements in chart)

CONCEPTUAL MAWA AND ETWU OR CONCEPTUAL LANDSCAPE & WATER CONSERVATION PLANS FOR RESIDENCE AT 1128 SOLANA DRIVE, CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

LINE	Hydrozone Number										10-SLA	
	1	2	3	4	5	6	7	8	9			
Evapotranspiration Rate (E ₁₀) - Standard											47.0	
Conversion factor - CF											0.62	
(Line 1 x Line 2)											29.14	
Plant Factor (PF) - (0.1-1.0)	4	0.3	0.1	0.3								
Hydrozone Area (HA) - (Square Feet)	6	2,436	60	2,340								
(Line 4 x Line 5) (PF x HA)	6	730.8	6	702								
Irrigation Efficiency (E) (%)	7	0.81	0.75	0.81								
(Line 6 x Line 7) (PF x HA) x E	8	592.22	4.5	568.56								
Total Line 8 = (Line 4) x (Line 5) x (Line 7)	9	1,778.37		1,778.37								
(Line 3 x Line 9)	10	51,821.71										
Estimated Total Water Use - ETWU (gallons per year)												51,821.71
Total water use MAWA below												MAWA
E ₁₀ = Evapotranspiration rate = 47.0 (West #1.5) / 47 (East of 1.5)												47.0
PF = Plant Factor (Water Use) - from WUCOLS												0.62
Select based on type of plants in hydrozone												0.62
Average calculated from values in State Model Water Efficiency Landscape Ordinance Appendix A												0.62
MAWA calculation												MAWA
Total Landscape Area												29,140
29,140 [(ETAF x L.A.) + (1 - ETAF x Total SLA)]												77,570.68
ETWU = LANDSCAPE AREA (L.A.) x ET WATER USE = (E) x (CF) x (PF) x (HA) / (E) x (SLA) = LINE 3 x LINE 9												51,821.71

WATER CONSERVATION NOTES:
 THE LANDSCAPE DESIGN AND IRRIGATION PLANS SHALL CONFORM TO THE SOLANA BEACH MUNICIPAL CODE (156) WATER EFFICIENT LANDSCAPE REGULATIONS AND CITY OF SOLANA BEACH LANDSCAPE MANUAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES (ORD 461,7015, ORD 430,2011).
 THE LANDSCAPE DOCUMENTATION PACKAGE, IRRIGATION AND PLANTING PLANS SHALL BE IN CONFORMANCE TO THE CODE STANDARDS.
 A MAWA AND THE ETWU FOR THE PLANS SHALL INCLUDE CALCULATIONS ON THE CITY FORM AND THE ETWU SHALL NOT EXCEED THE MAWA.

WATER EFFICIENT LANDSCAPE DECLARATION:
 I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

RY: JAMES L. TAYLOR, LANDSCAPE ARCHITECT - LIC NO 2961
 PHONE NO: (760) 652-1924
 REGISTRATION NO: 2916 EXPIRATION DATE: 10/31/2024



THE LIGHTFOOT PLANNING GROUP

PLANNING SITE DESIGN LANDSCAPE ARCHITECTURE

5900 POSTER DRIVE SUITE 110
 CARLSBAD, CA 92008
 (760) 697-1924
 LIC#19201-1161030001-200



HALL RESIDENCE
 1128 SOLANA DRIVE
 DEL MAR, CALIFORNIA 92014

Scale: 1"=10'
 Date: 10/06/24
 Drawn By: EE
 Revisions:
 3/01/24
 6/25/24
 7/28/24
 9/25/24

Water Conservation Plan

Job #: 6412801

L-2

2

6412801 HALLMARK/SOLANA BEACH LCP

LANDSCAPE CONCEPT PLAN

All landscape to be privately maintained.

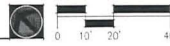
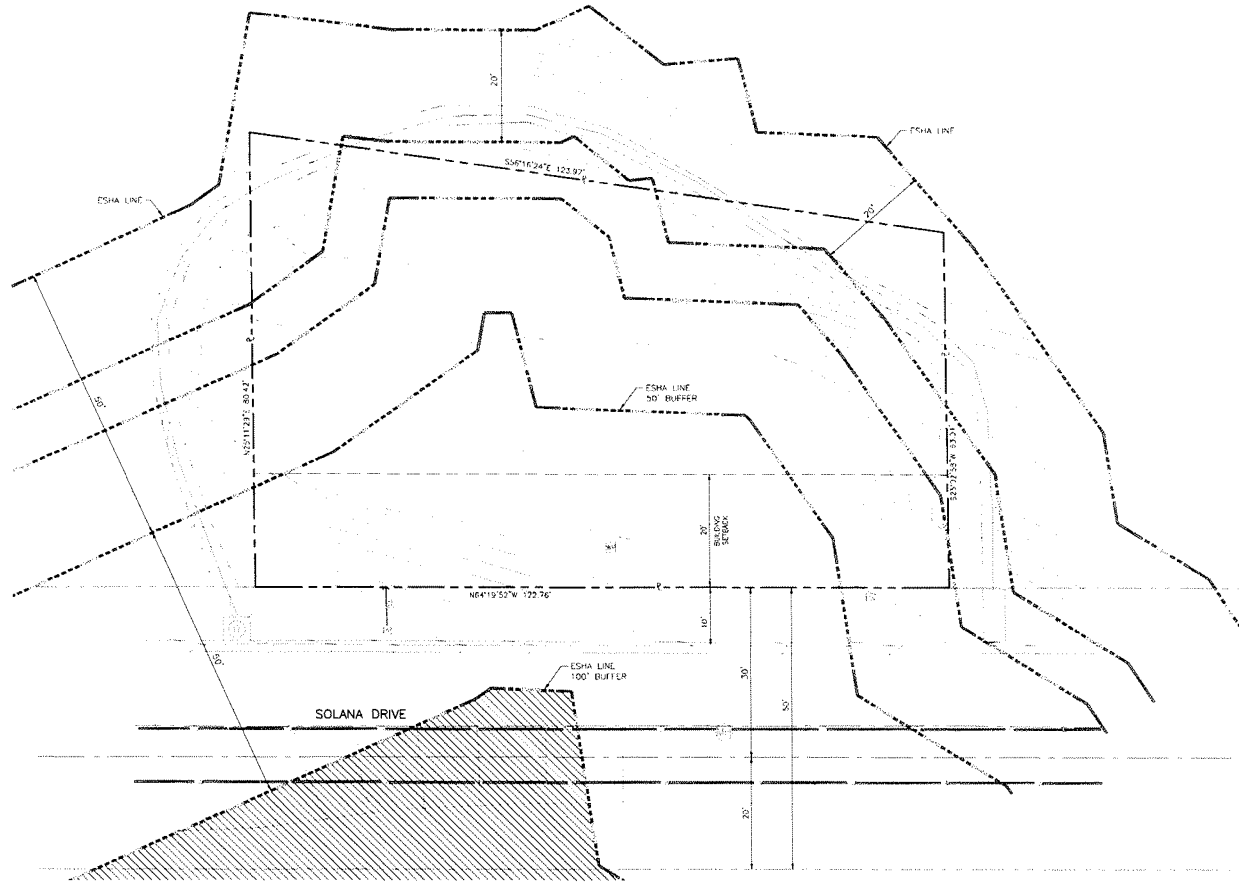


Figure 4a. Project Site showing Development Area (hatched) with a 100-foot buffer from ESHA

1128 SOLANA DRIVE, DEL MAR, CA



LEGEND

	PROPERTY LINE
	BUILDING SETBACK LINE
	ESHA LINE
	ESHA LINE 20 FOOT BUFFER
	ESHA LINE 50 FOOT BUFFER
	ESHA LINE 100 FOOT BUFFER

SITE ADDRESS
1128 SOLANA DRIVE
DEL MAR, CA 92014

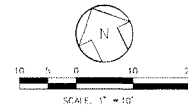
APN
798-371-77-10

OWNER
HALL FAMILY TRUST

CONTACT SEAN SANTA CRUZ
99 PLANNING & DEVELOPMENT
ADDRESS 740 LOMAS SANTA FE DRIVE
SUITE 204, SOLANA BEACH
CA 92705
PHONE: (951) 481-3310 X108

ENGINEER
SAN DIEGO ENGINEERING
1911 PALMDALE OAKS WAY, #200
CARLSBAD, CA 92008
PHONE: (951) 345-1149
FAX: (951) 345-1151

100' FT. ESHA BUFFER EXHIBIT
SCALE: 1" = 10'



	SAN DIEGO ENGINEERING, INC.
	1911 PALMDALE OAKS WAY, SUITE 200 CARLSBAD, CA 92008-6511 PHONE: (951) 345-1149 WWW.SDEINC.COM
CIVIL ENGINEERING • PLANNING LAND SURVEYING	

713-60- Development Footprint
 Figure 6a. CDP #6-88-514 showing previously approved



EXHIBIT NO. 2
 APPLICATION NO.
 6-88-514
 SITE PLAN AND
 OPEN SPACE



DELIVERED OCT 24 1988

- Notes
- 1. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 2. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 3. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 4. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 5. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 6. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 7. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 8. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 9. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87
 - 10. ALL LOTS TO BE DEVELOPED PER PLAN #14406 DATED 6/15/87

site plan

SCALE 1"=40' 0"

PACIFIC OCEAN



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: February 12, 2025
ORIGINATING DEPT: Engineering Department – Dan Goldberg, Acting Director of Public Works/City Engineer
SUBJECT: **Update on the La Colonia Master Plan**

BACKGROUND:

In 2006, members of the City Council (Council) expressed interest in developing a plan for making improvements to La Colonia Park and Community Center. In July 2006, the Council established an Ad-Hoc Council Committee to work together with Staff, members of the Park and Recreation Commission, and the community to develop recommendations for improving the park. Subsequently, the La Colonia Park Needs Assessment Advisory Committee (Advisory Committee) formed to develop recommendations.

In May 2007, the Advisory Committee’s recommendations were presented and Council authorized the release of a request for qualifications (RFQ) for conceptual design services for La Colonia Park facility improvements. Upon completion of the RFQ process, Van Dyke Landscape Architects (VDLA) was selected to perform the required tasks for the park. An agreement with VDLA for conceptual design services for the La Colonia Park Project was executed in April 2008. VDLA developed three conceptual design options based on the needs assessment recommendations for community and Council review. A preferred alternative was selected in December 2008.

Since the preferred alternative was selected, three components of the La Colonia Master Plan (Master Plan) were designed and/or constructed as separate projects. Construction of the Veterans’ Honor Courtyard was completed in May 2016, construction of the La Colonia Skate Park was completed in April 2019, and the new tot lot playground was completed in May 2024.

With the City’s purchase of the vacant lot immediately north of the park, further analysis was needed to determine how to incorporate the vacant lot into the existing park. In

<p>CITY COUNCIL ACTION:</p> <hr/> <hr/> <hr/>

support of that effort, in February 2022, the Council approved a PSA with VDLA to update the La Colonia Master Plan and include the vacant City-owned lot.

This item is before the Council to provide an update on the La Colonia Master Plan and receive direction from Council on the land use (amenities), building envelope (general sizing and height) and parking/circulation.

DISCUSSION:

VDLA has been working on the Master Plan and individual components of the Master Plan since 2008, including preparation of the original Master Plan. A PSA with VDLA was approved in February 2022, to update the La Colonia Master Plan and include the vacant City-owned lot north of the park.

A public workshop was held in February 2023, at which public input was solicited as to what the attendees preferred, do not prefer and what improvements they would like to see at the park. Public input was also solicited through an online questionnaire and outreach events at the 2023 Spring Egg Hunt at La Colonia Park and the 2023 Fiesta Del Sol. The results of the outreach efforts were presented to the Council meeting in March 2024.

During the March 2024 meeting, the City Council discussed the project and provided comments and direction. Below is a summary of the comments and direction provided:

- Supportive of expanding the picnic area, possibly by relocating the Stevens House Museum;
- Multi-generational mixing is good but need to be aware of the limitations of each age group. For instance, youth programs are required to keep adults and children separated in restroom facilities, so restroom sharing is not an option. Also, the senior center should include nearby parking for those with limited mobility;
- Wherever pickleball courts are located, evaluation of the noise impacts to determine if mitigation is necessary;
- If a long driveway is constructed, prefer it extends from Valley instead of Stevens to minimize impact on available park space;
- Provide more shade;
- Add diagonal parking to Stevens Avenue to maximize available parking;
- A two-story building fronting Stevens Avenue is acceptable.
- Since paying for construction of the entire Master Plan may be difficult in the near term, may need to consider interim measures such as grading the new lot so that it can be usable;
- The existing community center needs to be renovated to include windows and a larger opening from the large community room to the outside courtyard;

- Can a second story be added to the existing community center;
- Need to provide good flow from existing park to the new lot, which should include a wide walkway;
- The event lawn area should be located to make use of the existing slopes to create an amphitheater type setting.

Following the direction from the City Council, VDLA worked with Staff to develop site plans and massing plans for two alternatives. Both alternatives include a new building that is two stories high when viewed from Stevens Avenue. A third level would also be provided but that would be below grade when viewed from Stevens Avenue. In both alternatives, the location of the existing pickleball court and Stevens House Museum would not change.

Alternative 1 (Attachment 1) would have the parking area accessible from Stevens on the north of the building. The back portion of the parking lot would be elevated to provide a level parking area. This parking arrangement would provide 19 parking spaces. The entire new building (two stories above Stevens and one story below Stevens) would be south of the parking lot. This scenario would have a youth center on the lowest/basement level, the senior center on the first level (at grade with Stevens) and a City community center on the second level.

The basement level of Alternative 1 (labeled as Level 0 on the attachment) would be approximately 3,500 square feet (sf) and Levels 1 and 2 would be approximately 3,000 sf. Approximately 2,900 sf (or 24%) of this alternative would be used for service/circulation. The entire building would be approximately 12,900 sf. This alternative also includes 11 parking spaces that are accessible from Valley Avenue, two side-by-side pickleball courts, an event lawn, a non-exclusive recreation area and a small recreation area for use only by the youth center.

Alternative 2 (Attachment 2) would also be three levels, two above grade when viewed from Stevens and one below grade. The main difference is the parking area in this alternative would take up most of the building area on Level 1 (the level even with Stevens). This would increase the number of parking spaces attached to the building to 32 spaces. This scenario would have a youth center and a senior center both on the lowest/basement level, a small area for City programming on the first level (at grade with Stevens) and a larger area for City uses on the second level.

The basement level of Alternative 2 (labeled as Level 0 on the attachment) would consist of the senior center at 2,100 sf and the youth center at approximately 2,400 sf. Level 1 would have an area for City use of approximately 1,660 sf with the rest of this level dedicated to parking. Level 2 proposes a community center of approximately 5,850 sf and an area for City programming of approximately 4,700 sf. Approximately 3,000 sf (or 15%) of this alternative would be used for service/circulation. The entire building would be approximately 19,790 sf. This alternative also includes 11 parking spaces that are

accessible from Valley Avenue, two side-by-side pickleball courts in the northeast corner of the property instead of the middle of the south side as shown on Alternative 1. Also, the event lawn, a non-exclusive recreation area are both reduced in size to accommodate the larger building footprint.

Since direction from the March 2024 City Council meeting, was to provide more light into the existing community center building, some alterations were made as shown in Attachment 3. Windows are proposed to both the east and west walls of the middle “classroom”, which MiraCosta utilizes largely for adult school programming. A new door was added near the northwest corner of this same building wing so that the public could enter the City offices without going into the classroom. The City offices were reduced in size to allow for a larger classroom. Finally, the existing double door entrance to the large meeting room that is currently separated by a column have been combined into one large folding glass door that can provide one large opening from the meeting room to the outside patio, creating more of an indoor/outdoor space. All these building enhancements would allow significantly more light into the existing building,

These two alternatives are for discussion purposes only, with the intent for Council to give further direction to Staff on the Master Plan update.

CEQA COMPLIANCE STATEMENT:

This action is not a project under the CEQA Guidelines. Environmental review will be completed as part of the final design.

FISCAL IMPACT:

In Fiscal Year 2022, a professional services agreement with VDLA was signed for an amount not to exceed \$52,140. These funds were included in the Capital Improvement Program budget. To date, we have expended \$34,560.65.

In Fiscal Year 2024, an amendment to the professional services agreement with VDLA was signed for an amount not to exceed \$70,000. We have not yet expended any of these additional Capital Improvement Program budget funds.

There is no immediate new fiscal impact as a result on this report. When the project progresses into the implementation phase, construction costs will be determined at that time.

WORK PLAN:

This project is consistent with Item B.3 of the Community Character Priorities of the FY 2024/25 Work Plan.

OPTIONS:

- Receive report and provide direction to Staff on land use (amenities), building envelope (general sizing and height) and parking/circulation.

CITY STAFF RECOMMENDATION:

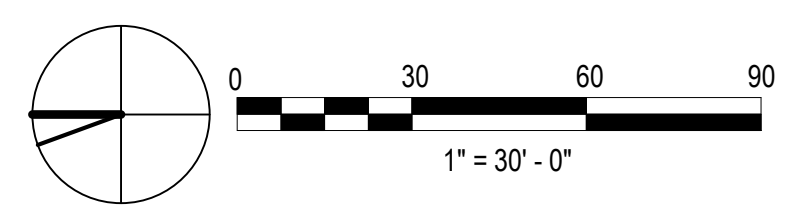
Staff recommends that the City Council receive this report and provide direction to allow staff to move forward with an update to the La Colonia Master Plan for Council approval at a later date.



Alyssa Muto, City Manager

Attachments:

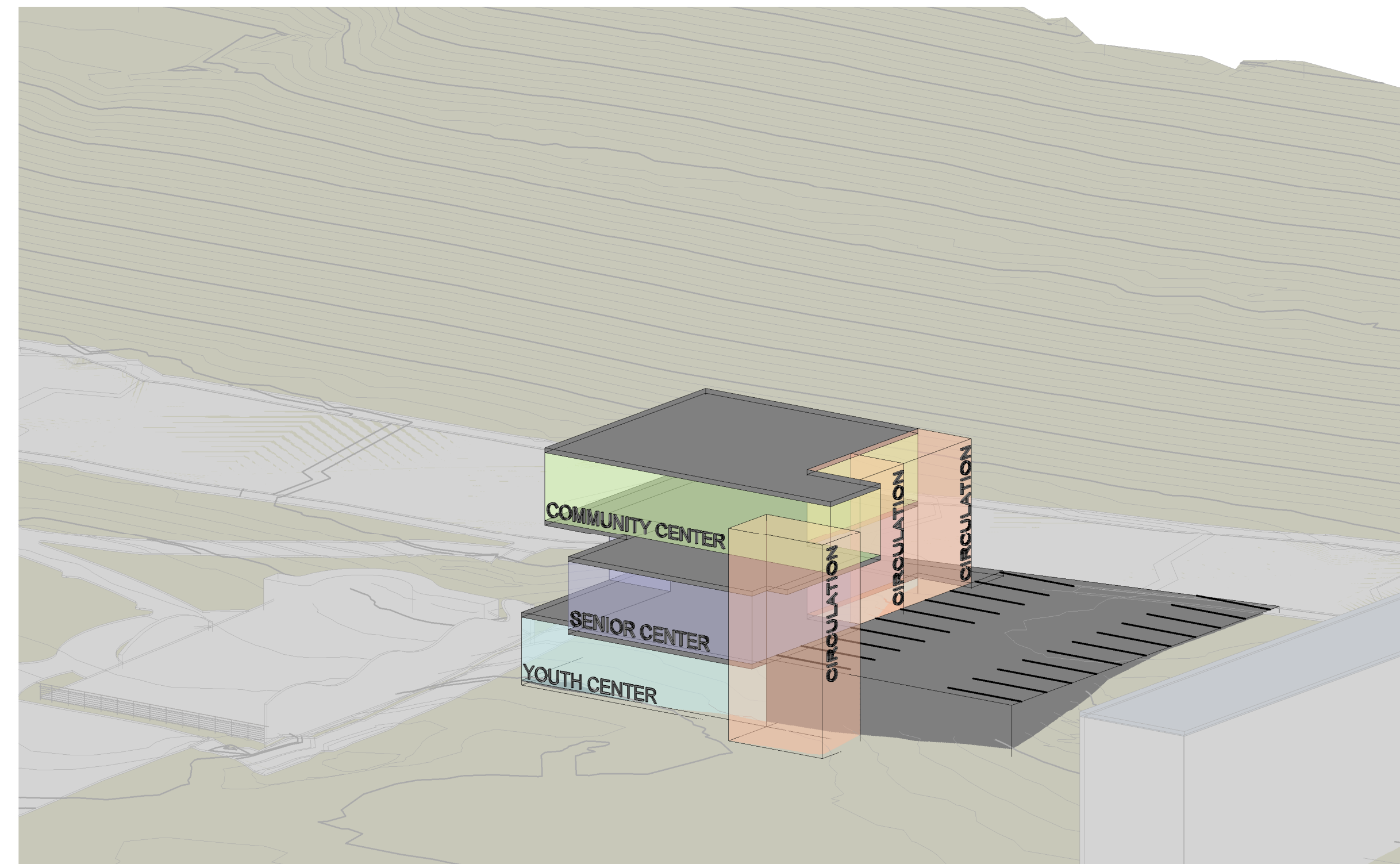
1. La Colonia Master Plan Alternative 1
2. La Colonia Master Plan Alternative 2
3. Proposed alterations to existing Community Center building



OPTION 1 - SITE PLAN



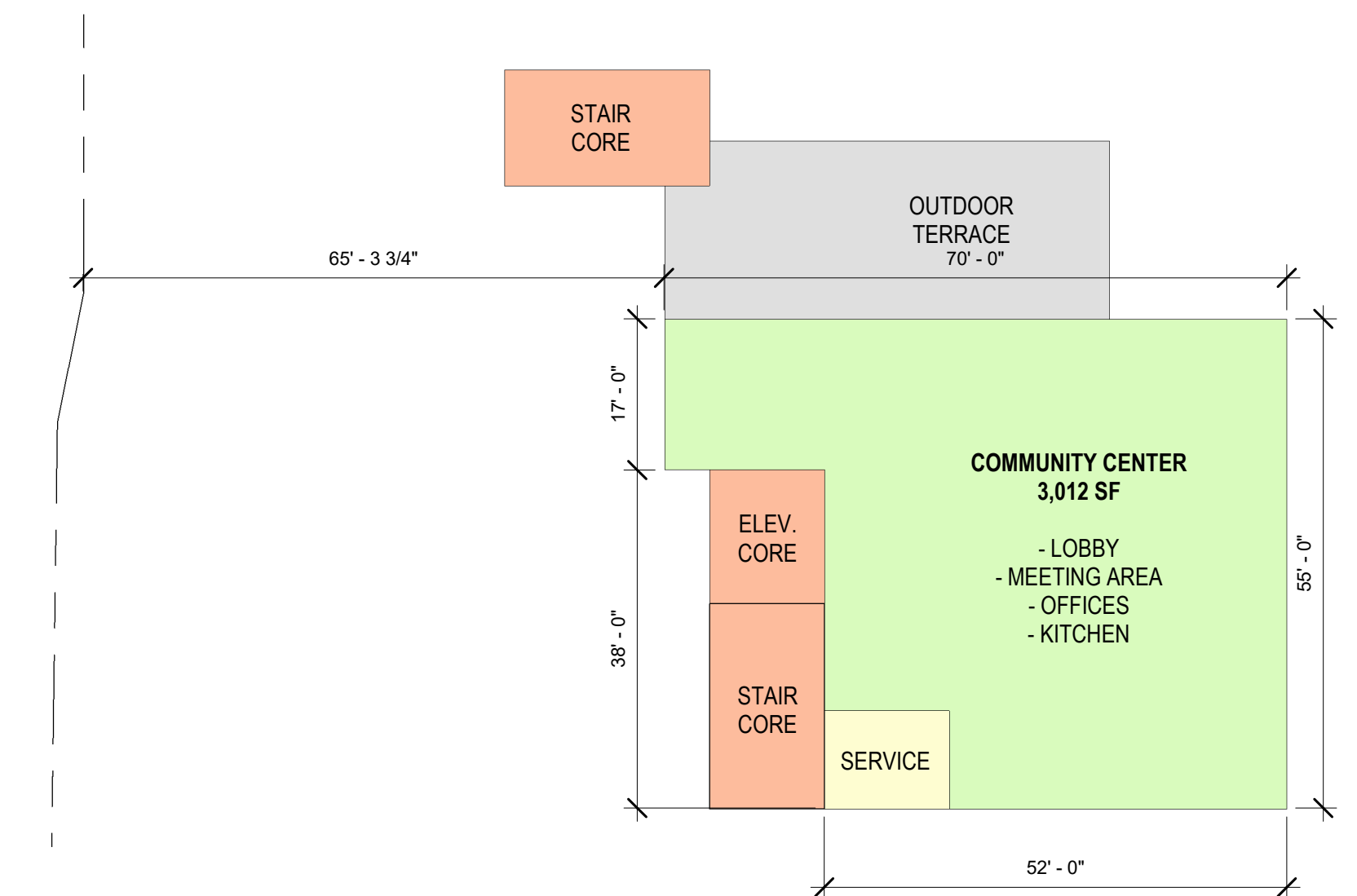
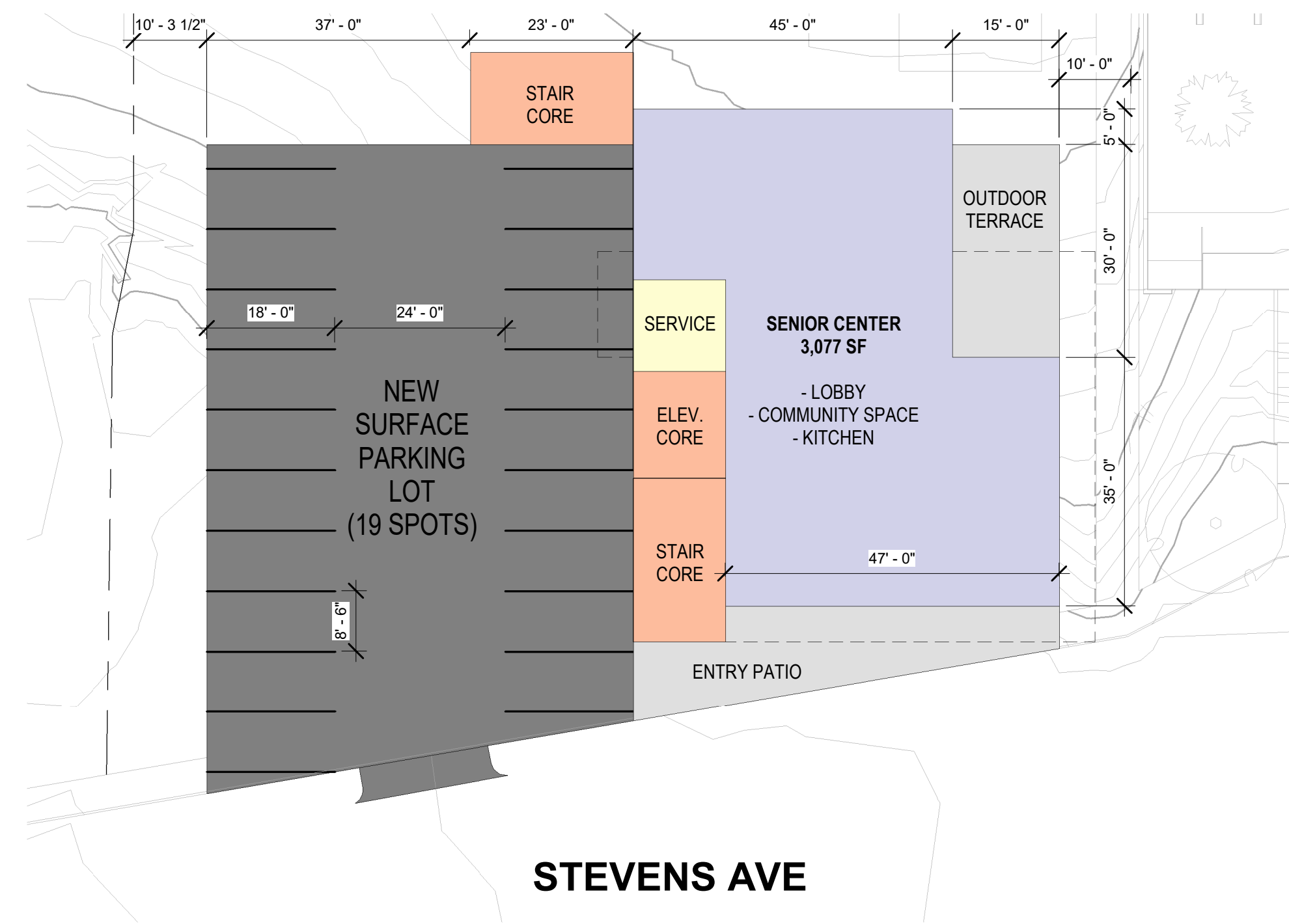
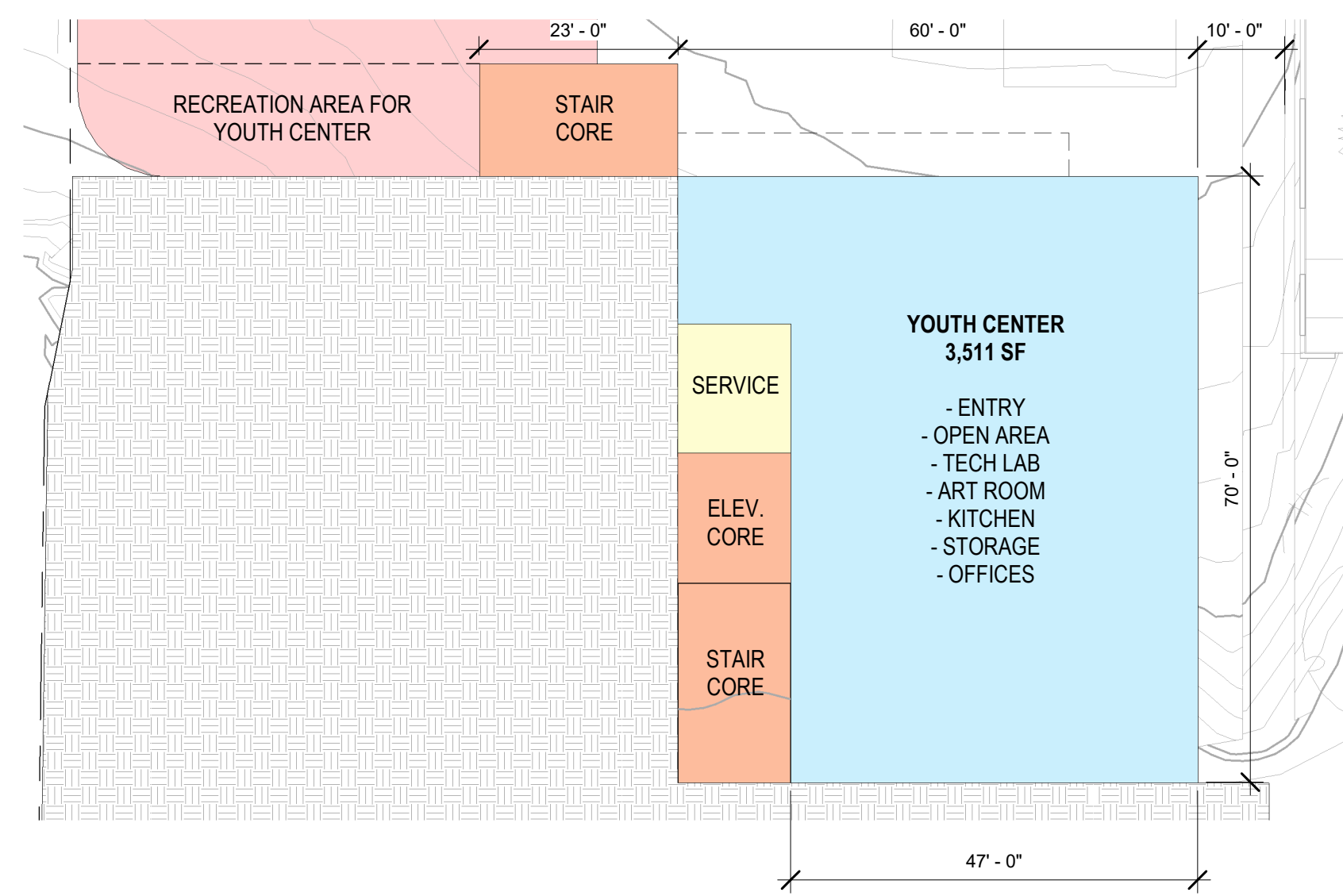
12 FEB 2025



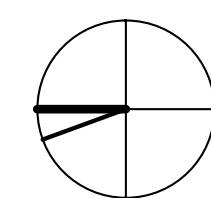
AREA SCHEDULE

LEVEL 0	4,497 GSF
LEVEL 1	4,040 GSF
LEVEL 2	3,660 GSF
TOTAL	12,197 GSF
LEVEL 1	
YOUTH CENTER	3,511 SF
LEVEL 2	
SENIOR CENTER	3,077 SF
LEVEL 3	
COMMUNITY CENTER	3,012 SF
TOTAL ASSIGNABLE	9,600 SF
SERVICE/CIRCULATION (24%)	2,897 SF

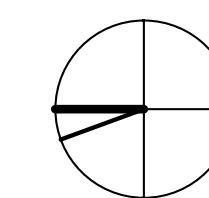
④ ISO - SW



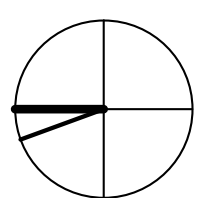
① OPTION 4A - LEVEL 0 PLAN
1/16" = 1'-0"



② OPTION 4A - LEVEL 1 PLAN
1/16" = 1'-0"



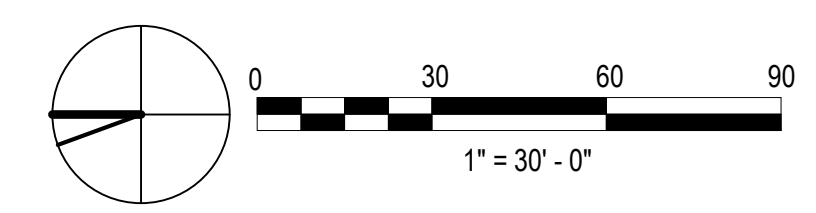
③ OPTION 4A - LEVEL 2
1/16" = 1'-0"



OPTION 1 - MASSING & PLANS



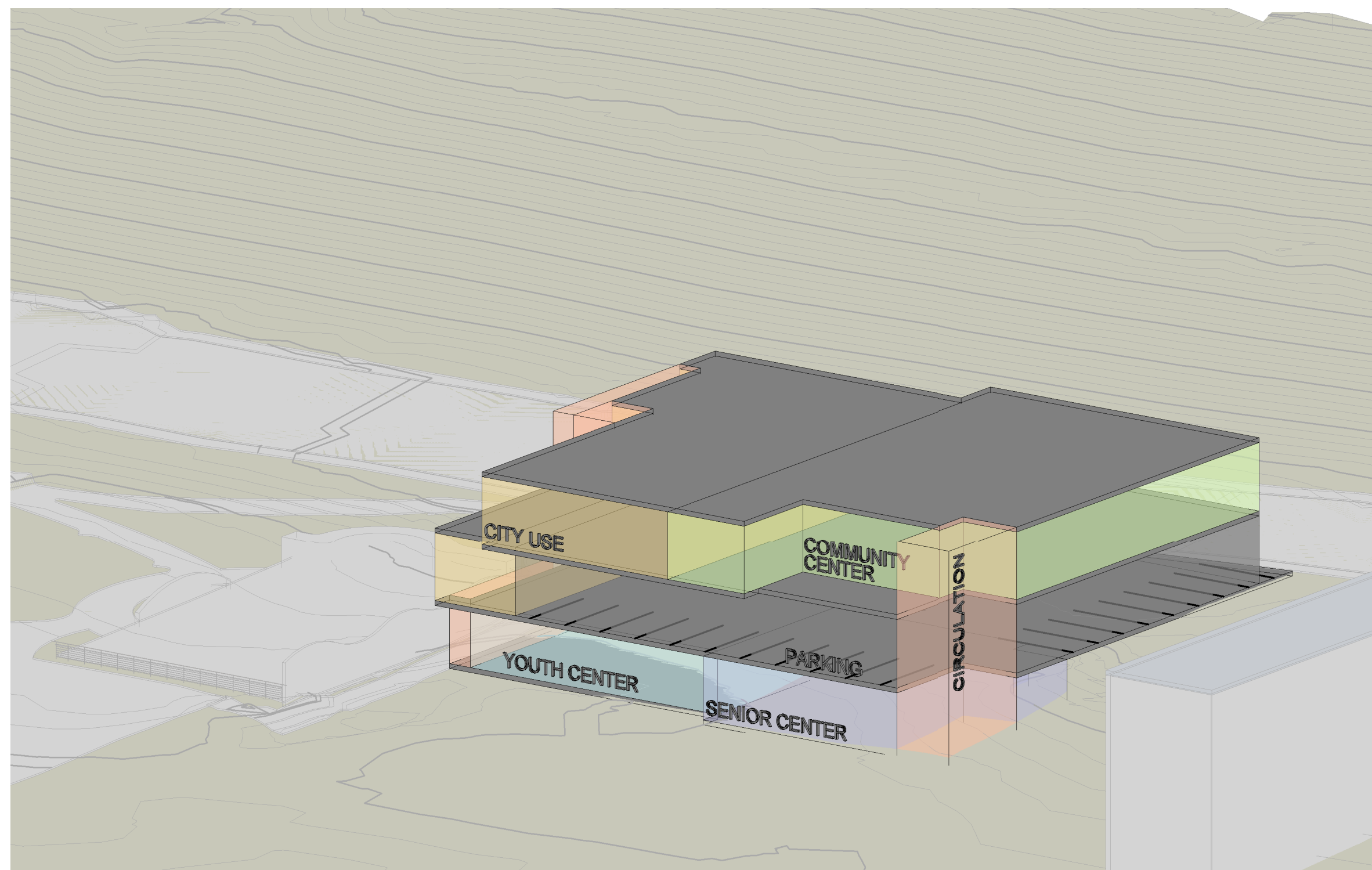
12 FEB 2025



OPTION 2 - SITE PLAN



12 FEB 2025

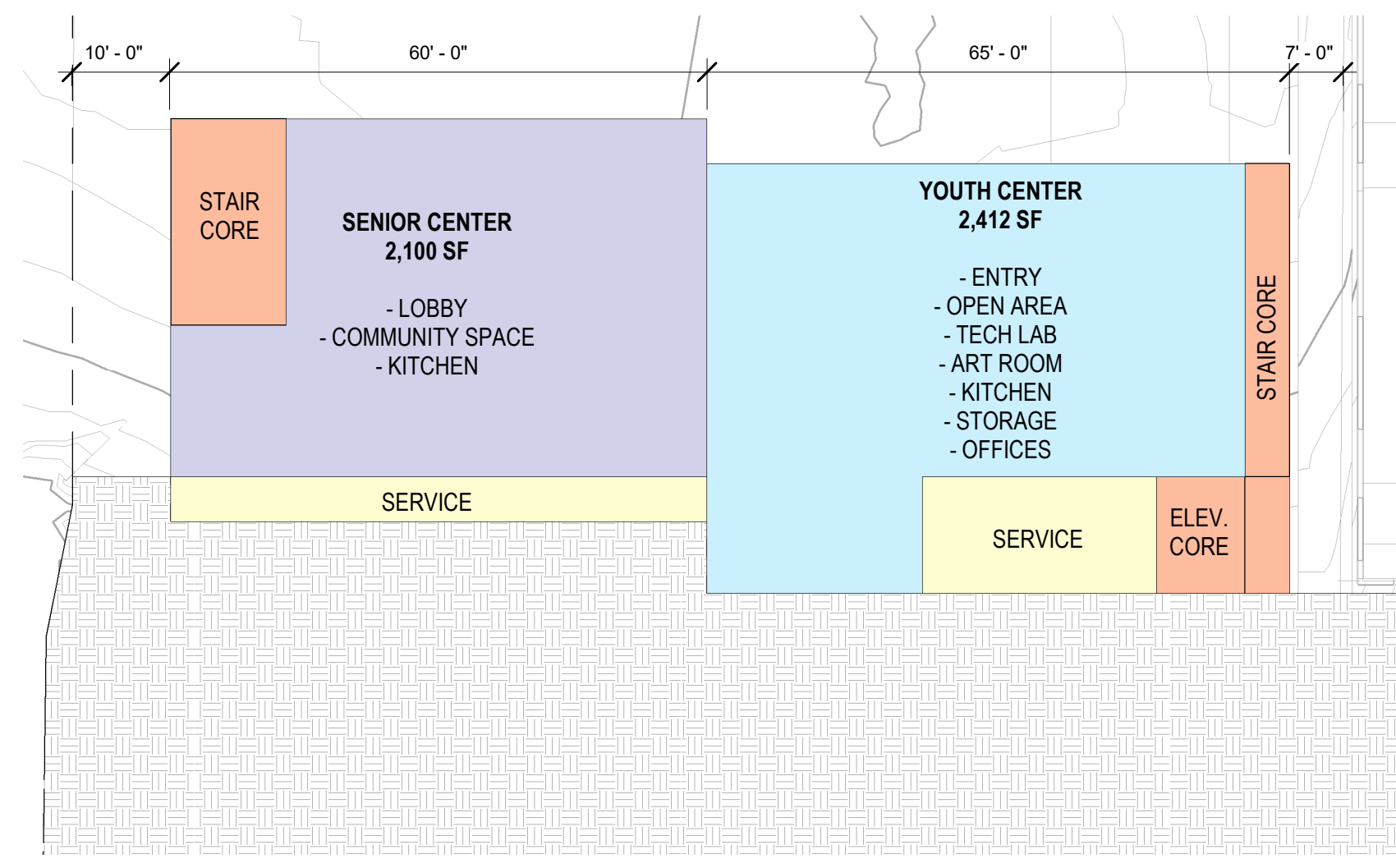


AREA SCHEDULE

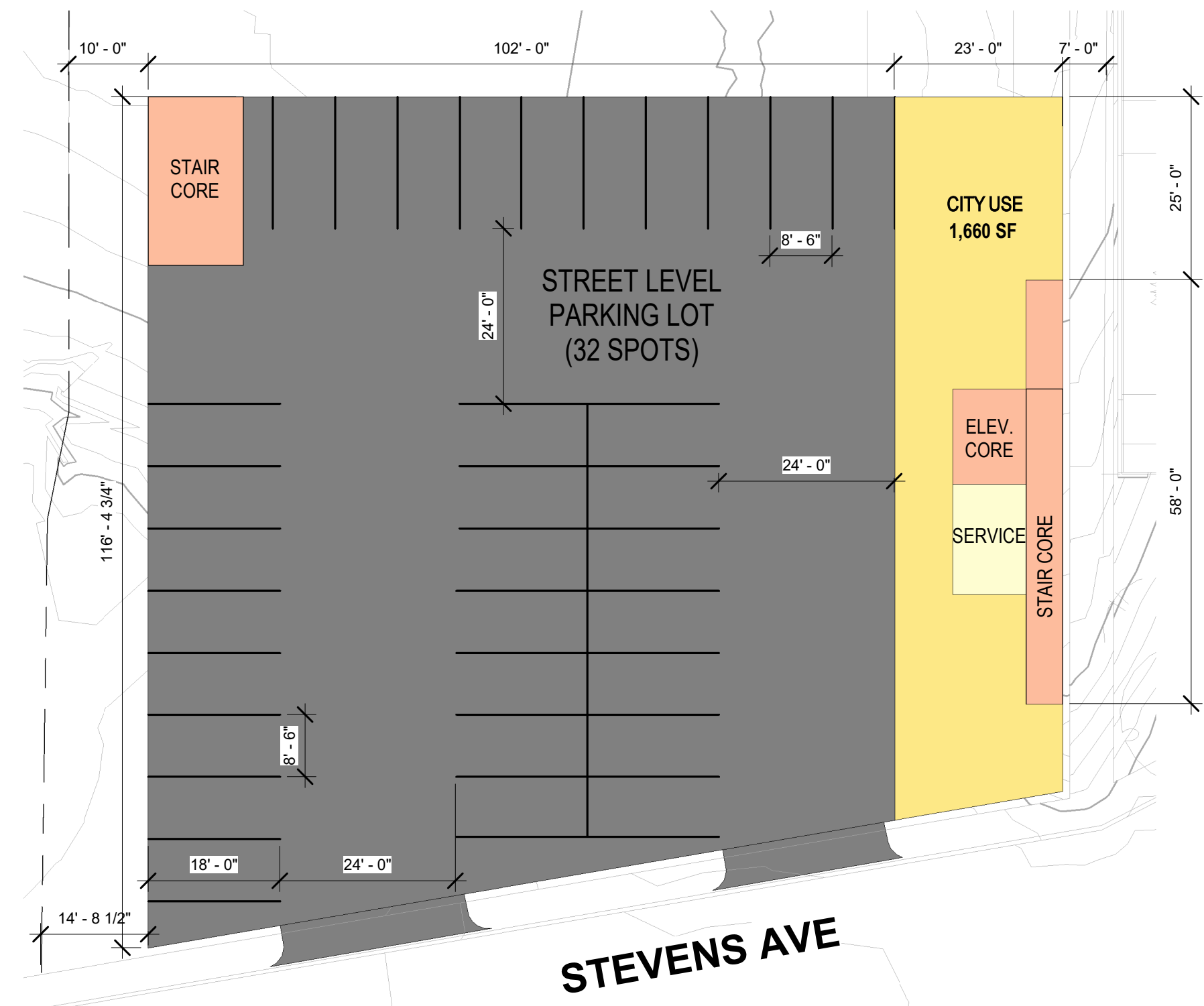
LEVEL 0	5,820 GSF
LEVEL 1	2,230 GSF
LEVEL 2	11,740 GSF
TOTAL	19,790 GSF

LEVEL 1	
SENIOR CENTER	2,100 SF
YOUTH CENTER	2,412 SF
LEVEL 2	
CITY USE	1,660 SF
LEVEL 3	
COMMUNITY CENTER	5,853 SF
CITY USE	4,717 SF
TOTAL ASSIGNABLE	16,742 SF
SERVICE/CIRCULATION (15%)	2,980 SF

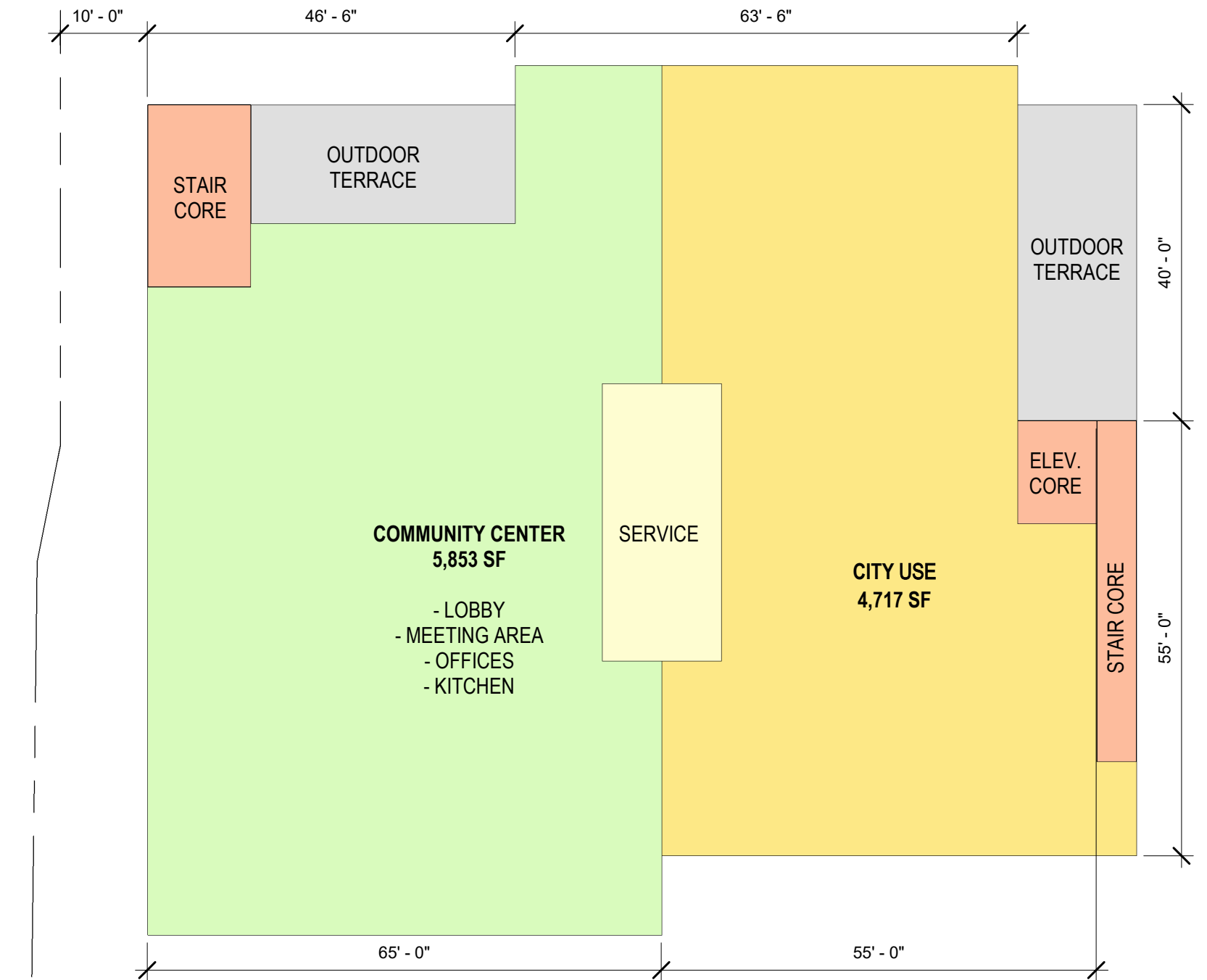
④ ISO - SW OPTION 5



① OPTION 5 - LEVEL 0 PLAN
1/16" = 1'-0"



② OPTION 5 - LEVEL 1 PLAN
1/16" = 1'-0"



③ OPTION 5 - LEVEL 2
1/16" = 1'-0"

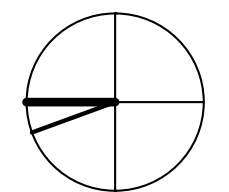
OPTION 2 - MASSING & PLANS



12 FEB 2025



① P - COMMUNITY BUILDING REMODEL
1/8" = 1'-0"



COMMUNITY BUILDING REMODEL



12 FEB 2025