



CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

AGENDA

Joint REGULAR Meeting
Wednesday, July 16, 2025 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are held at 6:00pm on Wednesdays and are broadcast live. Please check the City's website for the meeting schedule or any special meetings. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- [Live web-streaming](#): Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- [Live Broadcast on Local Govt. Channel](#): Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- [Archived videos online](#): The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

[Written correspondence](#) (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

COUNCIL DISCLOSURE

Pursuant to the Levine Act (Gov't Code Section 84308), any party to a permit, license, contract (other than competitively bid, labor or personal employment contracts) or other entitlement before the Council is required to disclose on the record any contribution, including aggregated contributions, of more than \$250 made by the party or the party's agents within the preceding 12 months to any Council Member. Participants and agents are requested to make this disclosure as well. The disclosure must include the name of the party or participant and any other person making the contribution, the name of the recipient, the amount of the contribution, and the date the contribution was made.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

CITY COUNCILMEMBERS

Lesa Heebner
Mayor

Kristi Becker
Deputy Mayor / Councilmember District 2

Jill MacDonald
Councilmember District 4

David A. Zito
Councilmember District 1

Jewel Edson
Councilmember District 3

Alyssa Muto
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

- SDGE Undergrounding Update

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:

An opportunity for City Council to make brief announcements or report on various activities. These items are not agendaized for official City business with no action or substantive discussion.

CITY MANAGER / CITY ATTORNEY REPORTS:

An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendaized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.7.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for June 14, 2025 – June 27, 2025.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Street Maintenance & Repairs Project, Inspection and Laboratory Testing - Bid No. 2025-07 Award. (File 0830-35)

Recommendation: That the City Council

1. Adopt **Resolution 2025-077**:
 - a. Awarding a construction contract to Eagle Paving LLC in the amount of \$2,139,857.10, for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07.
 - b. Approving an amount of \$300,000 for construction contingency.
 - c. Authorizing the City Manager to execute the construction contract on behalf of the City.
 - d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.
 - e. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget as necessary between project funding sources.
2. Adopt **Resolution 2025-083**:
 - a. Authorizing the City Manager to execute a Professional Services Agreement for a one-year term, in an amount not to exceed \$65,440, with Ninyo & Moore for Pavement Inspection and Laboratory Testing for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. Street Maintenance & Repairs Project - Bid No. 2024-06 Notice of Completion. (File 0830-35)

Recommendation: That the City Council

1. **Resolution 2025-076**:
 - a. Authorizing the City Council to accept, as complete, the FY 2023-24 Street Maintenance & Repairs Project, Bid No. 2024-06, performed by Quality Construction & Engineering.
 - b. Authorizing the City Clerk to file a Notice of Completion for the project.
 - c. Authorizing the City Manager to execute a final change order in the amount of \$42,401, for a final contract amount of \$1,110,973.60.
 - d. Authorizing the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Americans with Disability Act (ADA) Pedestrian Ramps. (File 0820-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-089**:
 - a. Rejecting the low bid by Savi Construction as non-responsive due to not providing the required insurance.
 - b. Awarding a construction contract to PAL General Engineering in the amount of \$39,000 for the ADA Pedestrian Ramps, Bid No. 2025-03.
 - c. Approving an amount of \$5,850 for construction contingency.
 - d. Authorizing the City Manager to execute the construction contract on behalf of the City.
 - e. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.5. Surf Camera for Monitoring and Recording Wave and Surf Conditions. (File 0190-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-091**:
 - a. Authorizing the City Manager to execute a Professional Services Agreement with EyeP Solutions, Inc., in an amount not to exceed a total contract amount of \$20,443.85 (for 3 years with two 1-year allowable extensions), for continued surf camera monitoring services to include surf monitoring and cloud-based video storage of closed-circuit cameras.
 - b. Appropriating \$9,595.43 in the Sand Replenishment Fund to the Professional Services expenditure account in FY 2025/26.
 - c. Appropriating \$1,500.00 in the Sand Replenishment Fund to the Professional Services expenditure account in FY 2026/27.
 - d. Authorizing the City Treasurer to amend the FY 2025/26 and FY 2026/27 Adopted Budget accordingly.
 - e. Authorizing the City Manager to request Work-In-Kind credit from the USACE under the PED cost share agreement for the full cost of this effort.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.6. High Speed Internet Services to City Facilities. (File 0190-60)

Recommendation: That the City Council

1. Adopt **Resolution 2025-092** authorizing the City Manager to execute a Professional Services Agreement with Ting Fiber, Inc., in an amount not to exceed \$51,161.76, per fiscal year for high speed internet services for City facilities.

[Item A.6 Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.7. Website Hosting, Maintenance Services and Future System Upgrade. (File 0190-60)

Recommendation: That the City Council

1. Adopt **Resolution 2025-093**:
 - a. Authorizing the City Manager to execute a Professional Services Agreement with 360GT in an amount not to exceed \$12,600.00, per fiscal year for website hosting and maintenance services.
 - b. Authorizing the City Manager to execute a future amendment to the Professional Service Agreement with 360GT for Drupal 11 system upgrade.
 - c. Appropriating \$4,600 from the General Fund into the IT Professional Services expenditure account for FY 2025/26 and FY 2026/27.
 - d. Authorizing the City Treasurer to amend the FY 2025/26 and FY 2026/27 Adopted Budgets accordingly.

[Item A.7. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1. – B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 724 Valley Ave., Applicant: Ward, Case: DRP22-027, SDP22-024, APN: 298-161-17-00. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-085** conditionally approving a DRP and SDP for a first-story addition and remodel and new second-story to an existing one-story, single-family residence and an attached two-car carport and associated site improvements at 724 Valley Avenue, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.2. Public Hearing: 534 N. Cedros Ave., Applicant: Murphy, Case: DRP24-017, SDP24-012, APN: 263-062-28. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-086** conditionally approving DRP and SDP to demolish the existing garage and construct a new 637 square foot attached garage and a 269 square foot addition to the first floor living area which includes the entry area and covered and enclosed area, as well as a second floor covered deck with extended eaves above the proposed garage at 534 N. Cedros Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.3. Public Hearing: 406 N. Rios Ave., Applicant: Pacas, Case: MOD25-004, APN: 263-072-19. (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-087** conditionally approving a DRP mod. for the work completed in the rear yard as well as the proposed addition and remodel to the existing residence and site improvements in the front yard at 406 N. Rios Avenue, Solana Beach.

[Item B.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. La Colonia Master Plan and Interim Improvements Update. (File 0720-15)

Recommendation: That the City Council

1. Adopt **Resolution 2025-088**:
 - a. Approving the updated La Colonia Master Plan.
 - b. Find that the interim improvements for the vacant property north of the skate park and basketball courts are exempt pursuant to Section 15304 of the California Environmental Quality Act Guidelines.
 - c. Approving interim park improvements of the vacant property north of the skate park and basketball courts.
 - d. Authorizing the City Manager to move forward with design and bidding for the construction of the inter improvements of the vacant property north of the skate park and basketball courts.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

LEGISLATIVE POLICY AND CORRESPONDENCE:

WORK PLAN COMMENTS:

Adopted June 18, 2025

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate & Resiliency Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is September 10, 2025
Always refer to the City's website for an updated schedule or contact City Hall.

www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the July 16, 2025 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on July 10, 2025 at 10:15 a.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., July 16, 2025, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate & Resiliency Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Finance – Rachel Jacobs, Finance Director
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands: 06/14/25 through 06/27/25

Check Register - Disbursement Fund (Attachment 1)		\$	922,808.32
Net Payroll Staff P26	June 20, 2025		<u>279,160.65</u>
TOTAL		\$	<u>1,201,968.97</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for June 14, 2025, through June 27, 2025, reflects total expenditures of \$1,201,968.97 from various City sources.

WORK PLAN: N/A


OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

CITY COUNCIL ACTION: _____

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.



Alyssa Muto, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

6/14/2025 - 6/27/2025

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant P26	06/18/2025	9002218	\$1,020.00
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant P26	06/18/2025	9002212	\$12,068.40
US BANK	APWA-PWX REGISTRATION AUG 2025	06/26/2025	108424	\$884.00
US BANK	APWA-PWX FLIGHT	06/26/2025	108424	\$407.36
SAN DIEGO COUNTY SHERIFFS OFFICE	MAR 25-CR TOW FEE/SB OVERTIME	06/26/2025	108449	(\$218.84)
STERLING HEALTH SERVICES, INC.	PC12 FSA CONTRIBUTIONS	06/18/2025	9002219	\$441.67
STERLING HEALTH SERVICES, INC.	P26 FSA/DCA CONTRIBUTIONS	06/26/2025	9002231	\$2,486.12
STERLING HEALTH SERVICES, INC.	P26 FSA/DCA CONTRIBUTIONS	06/26/2025	9002231	\$1,572.87
PAYMENTUS CORPORATION	MAY 25	06/26/2025	108446	\$1,037.38
ERON JOKIPII	RE-ISSUE CK#106752	06/26/2025	108435	\$146,562.50
JENNIFER STEIN	RE-ISSUE CK#106297	06/26/2025	108441	\$677.12
AR BOUTIQUE LLC	RE-ISSUE CK#106139	06/26/2025	108419	\$50.00
ERIN CERNEY	RFND: FCCC RENTAL 06/14/25	06/26/2025	108434	\$500.00
JACQUELINE ROSSOW	RFND: FCCC 06/13/25	06/26/2025	108440	\$500.00
TOTAL GENERAL FUND				\$167,988.58
1005100 - CITY COUNCIL				
US BANK	CLOSED SESSION DINNER	06/26/2025	108424	\$157.58
US BANK	CLOSED SESSION DINNER	06/26/2025	108424	\$176.47
TOTAL CITY COUNCIL				\$334.05
1005150 - CITY CLERK				
PITNEY BOWES GLOBAL FINANCIAL SVC	LEASE:0012725773 / 04/30/25-07/29/25	06/18/2025	9002216	\$794.45
STAPLES CONTRACT & COMMERCIAL	LGL PADS/DVDS/PAPER/BNDR CLPS/SHT PRTCRS	06/18/2025	108417	\$194.63
US BANK	ADMIN DAY CLERK DEPT	06/26/2025	108424	\$32.30
US BANK	CONF MEAL	06/26/2025	108424	\$33.91
US BANK	CONF UBER 5/2/25	06/26/2025	108425	\$16.96
US BANK	HOTEL 4/29/25-5/2/25	06/26/2025	108424	\$496.12
US BANK	CONF UBER 4/29/25	06/26/2025	108425	\$26.99
US BANK	CONF HOTEL DEPOSIT	06/26/2025	108424	\$253.76
UT SAN DIEGO - NRTH COUNTY	NTC: ORD 538 INTRO	06/26/2025	108454	\$212.62
UT SAN DIEGO - NRTH COUNTY	NTC: ORD 538 ADOPT	06/26/2025	108454	\$212.62
KFORCE INC.	TEMP SERVICES 05/29/25-CLK	06/18/2025	9002213	\$960.00
TOTAL CITY CLERK				\$3,234.36
1005200 - CITY MANAGER				
US BANK	SYMPATHY FLOWERS	06/26/2025	108424	\$136.81
US BANK	SYMPATHY FLOWERS	06/26/2025	108424	\$117.04
US BANK	CLOSED SESSION DINNER	06/26/2025	108424	\$32.92
US BANK	CCMA CONFERENCE	06/26/2025	108424	\$105.60
EMANUELS JONES & ASSOCIATES, LLC	JUN 25-LOBBYING SERVICES	06/26/2025	9002222	\$2,785.12
CINDY KREBS CONSULTING INC	RECRUITMENT SERVICES-PW DRCTR	06/26/2025	108428	\$13,000.00
TOTAL CITY MANAGER				\$16,177.49
1005250 - LEGAL SERVICES				
US BANK	CLOSED SESSION DINNER	06/26/2025	108424	\$30.71

ATTACHMENT 1

				TOTAL LEGAL SERVICES	\$30.71
1005300 - GENERAL FUND - FINANCE					
HDL HINDERLITER DE LLAMAS & ASSOC	Q4 C24 SALES TAX AUDIT & CONTRACT-APR-JUN 25	06/26/2025	108437		\$2,507.46
US BANK	FLOWERS	06/26/2025	108424		\$84.57
				TOTAL GENERAL FUND - FINANCE	\$2,592.03
1005350 - SUPPORT SERVICES					
STAPLES CONTRACT & COMMERCIAL	WHITEOUT/POST IT/CARD STOCK/AIR DUSTERS	06/26/2025	108453		\$86.41
US BANK	ENVELOPES	06/26/2025	108424		\$1,206.80
US BANK	SURVEY MONKEY SUBSCRIPTION	06/26/2025	108424		\$468.00
CULLIGAN OF SAN DIEGO	JUN 25-EQUIPMENT-PW	06/18/2025	108409		\$75.10
BUSINESS PRINTING COMPANY INC	WINDOW ENVELOPES	06/26/2025	108423		\$1,403.50
				TOTAL SUPPORT SERVICES	\$3,239.81
1005400 - HUMAN RESOURCES					
US BANK	ADMIN DAY SUPPLIES	06/26/2025	108424		\$114.32
US BANK	ADMIN DAY SUPPLIES	06/26/2025	108424		\$194.60
US BANK	EFAX SUBSCRIPTION	06/26/2025	108424		\$49.99
US BANK	ADMIN DAY GIFT CARD	06/26/2025	108424		\$30.00
US BANK	ADMIN DAY GIFT CARD	06/26/2025	108424		\$30.00
CODE 4 INVESTIGATIONS, INC.	FIREFIGHTER/PARAMEDIC BACKGROUND	06/26/2025	9002228		\$750.00
COASTAL LIVE SCAN AND INSURANCE	MAY 25-FINGERPRINT APP	06/26/2025	108429		\$482.00
SOPHIE KELLEY	REIMB: REPORTER TRAINING	06/26/2025	108451		\$8.99
CAMILLE JOHNSON	REIMB: REPORTER TRAINING	06/26/2025	108427		\$8.99
LAUREN ELSNER	REIMB: REPORTER TRAINING	06/26/2025	108443		\$8.99
AUGUST MAHBOUBI	REIMB: REPORTER TRAINING	06/26/2025	108420		\$8.99
SACHA GUILHEMFOUERT	REIMB: REPORTER TRAINING	06/26/2025	108448		\$8.99
BEATRICE LUNDELL	REIMB: LIVESCAN FINGER PRINTING	06/26/2025	108421		\$69.00
				TOTAL HUMAN RESOURCES	\$1,764.86
1005450 - INFORMATION SERVICES					
COX COMMUNICATIONS INC	0013410039730701 - 06/19/25-07/18/25	06/26/2025	108430		\$294.95
US BANK	PI MONITOR-CHAMBERS	06/26/2025	108424		\$47.50
US BANK	DVD RECORDERS-CHAMBERS	06/26/2025	108424		\$698.48
US BANK	MICROPHONES	06/26/2025	108424		(\$155.95)
US BANK	MICROPHONES	06/26/2025	108424		(\$155.95)
US BANK	CONSTANT CONTACT SUBSCRIPTION	06/26/2025	108424		\$98.00
MANAGED SOLUTION	JUN 25-Office 365/IT Support	06/18/2025	9002215		\$38.00
MANAGED SOLUTION	JUN 25-Office 365/IT Support	06/18/2025	9002215		\$2,611.50
TING FIBER INC.	JUN 25-INTERNET SERVICES-CITY FACILITIES	06/26/2025	9002232		\$3,334.86
360 GLOBAL TECHNOLOGY LLC	JUN 25-WEBSITE HOSTING	06/18/2025	9002210		\$600.00
				TOTAL INFORMATION SERVICES	\$7,411.39
1005550 - PLANNING					
UT SAN DIEGO - NRTH COUNTY	NTC: DRP22-021/SDP22-019	06/26/2025	108454		\$774.78
UT SAN DIEGO - NRTH COUNTY	NTC: MOD25-003	06/26/2025	108454		\$801.55
UT SAN DIEGO - NRTH COUNTY	NTC: DRP24-015	06/26/2025	108454		\$682.57
				TOTAL PLANNING	\$2,258.90
1005560 - BUILDING SERVICES					
ESGIL CORPORATION	MAY 25-BUILDING & PLAN REVIEW/ INSPECTIONS	06/26/2025	9002223		\$97,626.69
				TOTAL BUILDING SERVICES	\$97,626.69
1005590 - CODE ENFORCEMENT					
US BANK	OIL CHANGES-2 MAVRICKS	06/26/2025	108424		\$144.34
US BANK	CAR WASH-TRUCK 18	06/26/2025	108425		\$8.00

US BANK	WINDSHIELD WIPER FLUID	06/26/2025	108425	\$6.51
TOTAL CODE ENFORCEMENT				\$158.85
1006110 - LAW ENFORCEMENT				
SAN DIEGO COUNTY SHERIFFS OFFICE	MAR 25-LAW ENFORCEMENT	06/26/2025	108449	\$425,621.14
SAN DIEGO COUNTY SHERIFFS OFFICE	MAR 25-CR TOW FEE/SB OVERTIME	06/26/2025	108449	\$746.64
TOTAL LAW ENFORCEMENT				\$426,367.78
1006120 - FIRE DEPARTMENT				
US BANK	TOOL CHEST	06/26/2025	108424	\$231.64
US BANK	BAR OIL-CHAINSAWS	06/26/2025	108424	\$46.63
US BANK	GEAR BAG-FIRE PREVENTION	06/26/2025	108424	\$104.52
US BANK	PPE/FLASHLIGHT-FIRE PREVENTION	06/26/2025	108424	\$750.46
US BANK	SUPPLIES FOR STATION	06/26/2025	108424	\$37.75
US BANK	SUPPLIES FOR STATION	06/26/2025	108424	\$103.31
US BANK	FASTENERS AND TAPE	06/26/2025	108424	\$31.63
US BANK	CLEANING SUPPLIES	06/26/2025	108424	\$42.86
US BANK	DEPARTMENT SUPPLIES	06/26/2025	108424	\$173.92
US BANK	DEPARTMENT SUPPLIES	06/26/2025	108424	\$91.32
US BANK	DEPARTMENT SUPPLIES	06/26/2025	108424	\$52.18
US BANK	CLEANING SUPPLIES	06/26/2025	108424	\$614.42
US BANK	HEADSET REPAIRS-E237	06/26/2025	108424	\$213.50
US BANK	SAW BLADES-RESCUE TOOLS	06/26/2025	108424	\$34.70
US BANK	BAR AND OIL-CHAINSAW	06/26/2025	108424	\$39.14
UT SAN DIEGO - NRTH COUNTY	NTC: FY25 FIRE BENEFIT FEE	06/26/2025	108454	\$605.24
CULLIGAN OF SAN DIEGO	JUN/JUL 25-RENTAL-FS	06/18/2025	108409	\$50.00
TOTAL FIRE DEPARTMENT				\$3,223.22
1006130 - ANIMAL CONTROL				
HABITAT PROTECTION, INC	JUN 25- DEAD ANIMAL REMOVAL	06/26/2025	9002225	\$160.00
TOTAL ANIMAL CONTROL				\$160.00
1006170 - MARINE SAFETY				
US BANK	3 BAGS/ANCHOR	06/26/2025	108424	\$75.26
US BANK	ANCHOR BAG	06/26/2025	108424	\$65.24
US BANK	Scheduling Software	06/26/2025	108424	\$259.00
US BANK	TIRE 2481	06/26/2025	108424	\$201.47
US BANK	BATTERY	06/26/2025	108424	\$242.46
US BANK	FLAGS-LG TOWERS	06/26/2025	108424	\$208.11
US BANK	CHECKERED FLAGS	06/26/2025	108424	\$56.32
US BANK	STAKES AND BUCKETS	06/26/2025	108424	\$169.44
US BANK	CLEANING SUPPLIES	06/26/2025	108424	\$124.76
US BANK	BROOM	06/26/2025	108424	\$91.32
US BANK	MEDICAL DRESSING	06/26/2025	108425	\$21.60
US BANK	BATTERIES	06/26/2025	108424	\$193.60
US BANK	BLS Cert for 8 Guards	06/26/2025	108424	\$216.00
US BANK	EMR Challenge Course	06/26/2025	108424	\$376.00
US BANK	GAUZE/GEL PACKS	06/26/2025	108424	\$209.17
US BANK	2 BUCKETS	06/26/2025	108425	\$21.72
US BANK	4 BUCKETS	06/26/2025	108424	\$42.36
US BANK	4 MED WATER JUGS	06/26/2025	108424	\$55.80
US BANK	RADIO LABELS	06/26/2025	108425	\$16.30
US BANK	RADIO LABELS	06/26/2025	108425	\$15.50
US BANK	GRINDER DISCS	06/26/2025	108425	\$10.73
US BANK	AED BATTERY	06/26/2025	108424	\$355.62

US BANK	LIFEGUARD UNIFORMS	06/26/2025	108424	\$214.16
US BANK	TOWER MEDICAL SUPPLIES	06/26/2025	108424	\$100.64
US BANK	TOWER MEDICAL SUPPLIES	06/26/2025	108424	\$197.68
US BANK	MEDICAL GLOVES	06/26/2025	108424	\$63.56
US BANK	TOWER MEDICAL SUPPLIES	06/26/2025	108424	\$48.78
US BANK	HQ/TOWER LOCKS	06/26/2025	108424	\$113.14
US BANK	LG UNIFORMS	06/26/2025	108424	\$517.68
US BANK	HQ MEDICAL SUPPLIES	06/26/2025	108424	\$471.25
US BANK	HQ LAUNDRY DETERGENT	06/26/2025	108425	\$22.28
US BANK	DRINKS-SDRALERT MTG	06/26/2025	108424	\$36.87
US BANK	SIGN POSTS	06/26/2025	108424	\$39.13
US BANK	SIGN HARDWARE	06/26/2025	108425	\$10.04
US BANK	TOWER SUPPLIES	06/26/2025	108424	\$70.64
US BANK	DIVE RESCUE RECERT-MASON	06/26/2025	108425	\$20.00
US BANK	PHONE CORD	06/26/2025	108425	\$12.92
US BANK	WETSUITS	06/26/2025	108424	\$565.50
US BANK	MNDTD RPTR TRN	06/26/2025	108425	\$8.99
US BANK	MNDTD RPTR TRN	06/26/2025	108425	\$8.99
CULLIGAN OF SAN DIEGO	JUN 25-EQUIPMENT-MS	06/18/2025	108410	\$58.00
BRIAN SZYMANSKI	LIFEGUARD TOWER MAINTENANCE	06/26/2025	108432	\$3,787.23
TOTAL MARINE SAFETY				\$9,395.26
1006510 - ENGINEERING				
US BANK	MSA MTG-2 PPL-THERMO PLASTIC	06/26/2025	108424	\$50.00
US BANK	GIS FEES	06/26/2025	108424	\$120.00
UT SAN DIEGO - NRTH COUNTY	NTC: BID 2025-08	06/26/2025	108454	\$712.32
UT SAN DIEGO - NRTH COUNTY	NTC: RESO 2025-039	06/26/2025	108454	\$577.45
UT SAN DIEGO - NRTH COUNTY	NTC: RESO 2025-041	06/26/2025	108454	\$537.66
WEST COAST CIVIL, INC	MAY 25-PROF SERVICES	06/26/2025	108455	\$6,175.00
CALIFORNIA BACKFLOW & CHLORINATION LLC	BACKFLOW TEST/BSI ONLINE FILING	06/26/2025	108426	\$170.00
TOTAL ENGINEERING				\$8,342.43
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$16.96
CITY OF CARLSBAD	WQIP COST SHARE AGREEMENT	06/18/2025	108408	\$2,093.00
SANTA FE IRRIGATION DISTRICT	005506-014-05/02/25-06/02/25	06/18/2025	108415	\$391.35
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$16.97
MIKHAIL OGAWA ENGINEERING, INC.	MAY 25- STORMWATER PROGRAM	06/26/2025	9002226	\$10,816.87
IDRAINS LLC	H-STORMDRAIN MAINT	06/26/2025	108418	\$1,700.00
TOTAL ENVIRONMENTAL SERVICES				\$15,035.15
1006530 - STREET MAINTENANCE				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$27.56
SANTA FE IRRIGATION DISTRICT	011695-000 - 05/01/25-05/31/25	06/18/2025	108415	\$105.81
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$27.55
SDG&E CO INC	UTILITIES-04/09/25-05/08/25	06/18/2025	108416	\$849.52
SDG&E CO INC	UTILITIES-04/01/25-05/08/25	06/18/2025	108416	\$701.06
US BANK	PW SAFETY MTG SUB	06/26/2025	108424	\$345.00
TRAFFIC SUPPLY, INC	CUSTOM SIGNS	06/26/2025	9002233	\$167.17
BFS GROUP OF CALIFORNIA LLC	SPRAY POINT/BLOW OFF DUSTER	06/18/2025	108411	\$20.53
TOTAL STREET MAINTENANCE				\$2,244.20
1006540 - TRAFFIC SAFETY				
SDG&E CO INC	UTILITIES-04/09/25-05/08/25	06/18/2025	108416	\$1,328.24
SDG&E CO INC	UTILITIES-04/01/25-05/08/25	06/18/2025	108416	\$655.21

TRAFFIC SUPPLY, INC	SIGNS/POSTS	06/26/2025	9002233	\$2,086.91
TRAFFIC SUPPLY, INC	RADAR FEEDBACK SIGN/BRACKETS	06/26/2025	9002233	\$4,570.76
ALL CITY MANAGEMENT SERVICES, INC	CROSSING GUARDS-05/25/25-06/07/25	06/26/2025	9002221	\$5,117.19
TOTAL TRAFFIC SAFETY				\$13,758.31
1006550 - STREET CLEANING				
SANTA FE IRRIGATION DISTRICT	011695-000 - 05/01/25-05/31/25	06/18/2025	108415	\$62.14
PRIDE INDUSTRIES	MAY 25-TRASH ABATEMENT SERVICES	06/18/2025	108413	\$1,467.52
SCA OF CA, LLC	MAY 25- STREET SWEEPING SERVICES	06/18/2025	9002217	\$600.72
TOTAL STREET CLEANING				\$2,130.38
1006560 - PARK MAINTENANCE				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$20.14
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$20.13
SANTA FE IRRIGATION DISTRICT	005979-005 - 04/02/25-06/02/25	06/26/2025	108450	\$388.50
SANTA FE IRRIGATION DISTRICT	005506-019 - 05/01/25-05/31/25	06/26/2025	108450	\$1,858.10
SANTA FE IRRIGATION DISTRICT	005506-018 - 05/01/25-05/31/25	06/26/2025	108450	\$598.17
RANCHO SANTA FE SECURITY SYS INC	CODE REMOVAL	06/18/2025	108414	\$10.00
US BANK	LCP/CITY HALL SIGNS	06/26/2025	108424	\$196.59
US BANK	LCP/CITY HALL SIGNS	06/26/2025	108424	\$196.59
US BANK	BEACH SAND RAKE	06/26/2025	108424	\$148.02
NISSHO OF CALIFORNIA	MAR 25- NEEDED LANDSCAPING SERVICES	06/26/2025	9002227	\$14,937.06
NISSHO OF CALIFORNIA	APR 25- LANDSCAPING SERVICES	06/26/2025	9002227	\$226.42
NISSHO OF CALIFORNIA	APR 25- LANDSCAPING SERVICES	06/26/2025	9002227	\$742.18
NISSHO OF CALIFORNIA	APR 25- LANDSCAPING SERVICES	06/26/2025	9002227	\$428.03
NISSHO OF CALIFORNIA	APR 25- LANDSCAPING SERVICES	06/26/2025	9002227	\$396.97
NISSHO OF CALIFORNIA	APR 25- LANDSCAPING SERVICES	06/26/2025	9002227	\$540.42
TOTAL PARK MAINTENANCE				\$20,707.32
1006570 - PUBLIC FACILITIES				
SDG&E CO INC	UTILITIES-04/09/25-05/08/25	06/18/2025	108416	\$6,026.55
SDG&E CO INC	UTILITIES-04/01/25-05/08/25	06/18/2025	108416	\$2,254.57
US BANK	PAINT/CLEAN SUPPLIES-FIRE STN	06/26/2025	108424	\$83.53
US BANK	PAINT-FIRE STATION	06/26/2025	108424	\$80.42
24 HOUR ELEVATOR, INC	JUN 25- ELEVATOR MAINT/REPAIR	06/18/2025	108406	\$204.20
STANDARD PLUMBING SUPPLY COMPANY	PVC CEMENT/CLOSET REPAIR KIT/VACUUM BREAKER	06/26/2025	108452	\$172.21
CALIFORNIA OFFICE CLEANING, INC	MAY 25-JANITORIAL/CUSTODIAL SVC	06/18/2025	9002211	\$8,955.00
PRIDE INDUSTRIES	MAY 25-TRASH ABATEMENT SERVICES	06/18/2025	108413	\$1,467.51
JT LEWIS INC.	FY25 DOOR MAINT/REPAIRS-CH	06/18/2025	108412	\$1,500.00
JT LEWIS INC.	FY25 DOOR MAINT/REPAIRS-PW	06/18/2025	108412	\$2,000.00
JT LEWIS INC.	FY25 DOOR MAINT/REPAIRS-FS	06/18/2025	108412	\$2,400.00
REAL ESTATE CONSULTING & SERVICES INC	FY25 ON-CALL AS-NEEDED HANDYMAN-REFRB TABLE	06/26/2025	9002229	\$1,500.00
REAL ESTATE CONSULTING & SERVICES INC	FY25 ON-CALL AS-NEEDED HANDYMAN-CARPET	06/26/2025	9002229	\$2,965.00
REAL ESTATE CONSULTING & SERVICES INC	FY25 ON-CALL AS-NEEDED HANDYMAN-RPLC SWITCHES	06/26/2025	9002229	\$1,100.58
BFS GROUP OF CALIFORNIA LLC	WRECKING BAR/CHECK VALVE/PIPE NIPPLE	06/18/2025	108411	\$25.98
BFS GROUP OF CALIFORNIA LLC	PVC COUPLING/SIMPLE GREEN/HAND SOAP/PIPE ELBOW	06/18/2025	108411	\$24.83
BFS GROUP OF CALIFORNIA LLC	SEALANT/CAULKING GUN	06/26/2025	108433	\$87.32
BFS GROUP OF CALIFORNIA LLC	PLYWOOD/NUTS/BOLTS/SAND	06/26/2025	108433	\$27.53
BFS GROUP OF CALIFORNIA LLC	SEALANT/GLOVES	06/26/2025	108433	\$77.26
TOTAL PUBLIC FACILITIES				\$30,952.49
1007100 - COMMUNITY SERVICES				
US BANK	BIN	06/26/2025	108424	\$117.44

US BANK	RIBBONS-RIBBON CUTTING CEREMONY	06/26/2025	108424	\$30.72
EXTERIOR PRODUCTS INC	FY 25-FAIR BANNER	06/26/2025	9002224	\$2,730.00
EXTERIOR PRODUCTS INC	CITY STREET BANNER REPLACEMENT	06/26/2025	9002224	\$1,100.72
SAN DIEGO COUNTY BICYCLE COALITION	BIKE EDUCATION PROGRAM	06/26/2025	108422	\$1,200.00
SAN DIEGO COUNTY BICYCLE COALITION	BIKE EDUCATION PROGRAM	06/26/2025	108422	\$50.00
TOTAL COMMUNITY SERVICES				\$5,228.88
1007110 - GF-RECREATION				
US BANK	PLAQUE-LA COLONIA	06/26/2025	108424	\$681.84
US BANK	CAR WASH-LIGHTNING	06/26/2025	108425	\$25.99
KELLEN MACIEJEWSKI	REIMB: CPR TRAINING	06/26/2025	108442	\$83.95
GABLE KRICH	REIMB: CPR TRAINING	06/26/2025	108436	\$88.00
TOTAL GF-RECREATION				\$879.78
110 - MEASURE S 1% TRANSACTION TAX				
PALM ENGINEERING CONSTRUCTION CO	PROJ# 9834.00 HIGHLAND DR. MEDIAN PLANTING	06/26/2025	108445	(\$162.45)
TOTAL MEASURE S 1% TRANSACTION TAX				(\$162.45)
1105900 - MEASURE S - 1% TRANSACTION TAX				
HDL HINDERLITER DE LLAMAS & ASSOC	Q4 C24- MEASURE S TAX-CONTRACT/AUDIT-APR-JUN 25	06/26/2025	108437	\$1,343.12
TOTAL MEASURE S - 1% TRANSACTION TAX				\$1,343.12
1106510 - MEASURE S - ENGINEERING				
PALM ENGINEERING CONSTRUCTION CO	PROJ# 9834.00 HIGHLAND DR. MEDIAN PLANTING	06/26/2025	108445	\$3,248.99
TOTAL MEASURE S - ENGINEERING				\$3,248.99
1205460 - SELF INSURANCE RETENTION				
US BANK	CLM 2502 & 2503 CERTIFIED MAIL	06/26/2025	108425	\$20.82
US BANK	CLM 2501 CERTIFIED MAIL	06/26/2025	108425	\$10.41
TOTAL SELF INSURANCE RETENTION				\$31.23
1355550 - ASSET REPLACEMENT-COMM DEVEL				
US BANK	DESK	06/26/2025	108424	\$217.49
TOTAL ASSET REPLACEMENT-COMM DEVEL				\$217.49
1356170 - ASSET REPLACEMENT-MARN SFTY				
DAY WIRELESS SYSTEMS (20)	ASSET REPLACEMENT TRUCK UPFIT	06/26/2025	108431	\$8,958.52
US BANK	PWC SUPPLIES	06/26/2025	108424	\$541.75
US BANK	RACK ACCESSORIES	06/26/2025	108424	\$289.17
US BANK	2 PPE HELMETS-CLIFF RESCUE	06/26/2025	108424	\$545.71
US BANK	2 PPE HEADLAMPS	06/26/2025	108424	\$316.06
TOTAL ASSET REPLACEMENT-MARN SFTY				\$10,651.21
1605360 - OPEB OBLIGATION				
DEPARTMENT OF THE TREASURY	PCORI 33-0203789 2024	06/26/2025	108438	\$80.50
DEPARTMENT OF THE TREASURY	PCORI 33-0203789 2025	06/26/2025	108439	\$98.03
TOTAL OPEB OBLIGATION				\$178.53
2037510 - HIGHWAY 101 LANDSC #33				
SDG&E CO INC	UTILITIES-04/09/25-05/08/25	06/18/2025	108416	\$2,632.56
UT SAN DIEGO - NRTH COUNTY	NTC: FY26 MIDS	06/26/2025	108454	\$126.77
TOTAL HIGHWAY 101 LANDSC #33				\$2,759.33
2047520 - MID 9C SANTA FE HILLS				
SANTA FE IRRIGATION DISTRICT	005979-006 - 04/02/25-06/02/25	06/26/2025	108450	\$1,693.47
SANTA FE IRRIGATION DISTRICT	005979-007 - 04/02/25-06/02/25	06/26/2025	108450	\$1,887.77
SANTA FE IRRIGATION DISTRICT	005979-022 - 05/01/25-05/31/25	06/26/2025	108450	\$1,208.38
SANTA FE IRRIGATION DISTRICT	005979-023 - 05/01/25-05/31/25	06/26/2025	108450	\$1,124.97
SANTA FE IRRIGATION DISTRICT	005979-024 - 05/01/25-05/31/25	06/26/2025	108450	\$944.98

SANTA FE IRRIGATION DISTRICT	005979-025 - 05/01/25-05/31/25	06/26/2025	108450	\$699.14
SANTA FE IRRIGATION DISTRICT	005979-026 - 05/01/25-05/31/25	06/26/2025	108450	\$865.96
SANTA FE IRRIGATION DISTRICT	005979-016 - 05/01/25-05/31/25	06/26/2025	108450	\$637.68
SANTA FE IRRIGATION DISTRICT	005979-017 - 05/01/25-05/31/25	06/26/2025	108450	\$52.56
SANTA FE IRRIGATION DISTRICT	005979-018 - 05/01/25-05/31/25	06/26/2025	108450	\$127.19
SANTA FE IRRIGATION DISTRICT	005979-019 - 05/01/25-05/31/25	06/26/2025	108450	\$267.67
SANTA FE IRRIGATION DISTRICT	005979-020 - 05/01/25-05/31/25	06/26/2025	108450	\$870.35
SANTA FE IRRIGATION DISTRICT	005979-021 - 05/01/25-05/31/25	06/26/2025	108450	\$1,853.71
SANTA FE IRRIGATION DISTRICT	005979-009 - 04/02/25-06/02/25	06/26/2025	108450	\$1,077.07
SANTA FE IRRIGATION DISTRICT	005979-010 - 04/02/25-06/02/25	06/26/2025	108450	\$736.94
SANTA FE IRRIGATION DISTRICT	005979-011 - 04/02/25-06/02/25	06/26/2025	108450	\$844.14
SANTA FE IRRIGATION DISTRICT	005979-012 - 04/02/25-06/02/25	06/26/2025	108450	\$187.54
SANTA FE IRRIGATION DISTRICT	005979-014 - 05/01/25-05/31/25	06/26/2025	108450	\$1,015.22
SANTA FE IRRIGATION DISTRICT	005979-015 - 05/01/25-05/31/25	06/26/2025	108450	\$501.59
UT SAN DIEGO - NRTH COUNTY	NTC: FY26 MIDS	06/26/2025	108454	\$126.77
TOTAL MID 9C SANTA FE HILLS				\$16,723.10
2057530 - MID 9E ISLA VERDE				
UT SAN DIEGO - NRTH COUNTY	NTC: FY26 MIDS	06/26/2025	108454	\$126.77
TOTAL MID 9E ISLA VERDE				\$126.77
2077550 - MID 9H SAN ELIJO #2				
UT SAN DIEGO - NRTH COUNTY	NTC: FY26 MIDS	06/26/2025	108454	\$126.77
TOTAL MID 9H SAN ELIJO #2				\$126.77
2087580 - COASTAL RAIL TRAIL MAINT				
SANTA FE IRRIGATION DISTRICT	005506-020 - 05/01/25-05/31/25	06/26/2025	108450	\$1,910.54
UT SAN DIEGO - NRTH COUNTY	NTC: RESO 2025-039	06/26/2025	108454	\$700.00
TOTAL COASTAL RAIL TRAIL MAINT				\$2,610.54
2117600 - STREET LIGHTING DISTRICT				
SDG&E CO INC	UTILITIES-04/01/25-05/08/25	06/18/2025	108416	\$9,783.64
UT SAN DIEGO - NRTH COUNTY	NTC: RESO 2025-041	06/26/2025	108454	\$600.00
TOTAL STREET LIGHTING DISTRICT				\$10,383.64
2135550 - DEVELOPER PASS-THRU- PLANNING				
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$175.00
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$350.00
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$262.50
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$175.00
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$175.00
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$175.00
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$262.50
LAURIE LEVINE	MAY 25- PLAN REVIEW & INSPECTIONS	06/18/2025	9002214	\$437.50
TOTAL DEVELOPER PASS-THRU- PLANNING				\$2,012.50
2465200 - MISC GRANTS - CM				
US BANK	LITTER CAN LIDS-BEACHES	06/26/2025	108424	\$4,333.96
SOLANA CENTER FOR ENVIRONMENTAL	MAY 25- FOOD RECOVERY TA AND OUTREACH	06/26/2025	9002230	\$2,334.22
TOTAL MISC GRANTS - CM				\$6,668.18
2556180 - JUNIOR LIFEGUARDS				
US BANK	JG TRAILER RENTAL	06/26/2025	108424	\$423.04
US BANK	PENS	06/26/2025	108425	\$19.56
US BANK	PENS	06/26/2025	108425	\$19.56
US BANK	PATCH SEWING	06/26/2025	108424	\$224.12
US BANK	CALENDLY SUBSCRIPTION	06/26/2025	108425	\$20.00

US BANK	JG TRAILER FEE	06/26/2025	108424	\$75.00
US BANK	JG TRAILER FEE	06/26/2025	108424	\$45.00
US BANK	HARDWARE/PEGBOARD	06/26/2025	108424	\$156.31
US BANK	CHAIN FOR ANCHOR	06/26/2025	108424	\$183.69
US BANK	HARDWARE-DOCK BOXES	06/26/2025	108424	\$98.07
US BANK	ANCHOR TCKL/TOOL ORGNZR	06/26/2025	108424	(\$78.20)
BRIAN SZYMANSKI	LIFEGUARD TOWER MAINTENANCE	06/26/2025	108432	\$3,941.82
TOTAL JUNIOR LIFEGUARDS				\$5,127.97
2706120 - PUBLIC SAFETY- FIRE				
US BANK	MEDICAL LICENSE-BARRON	06/26/2025	108424	\$222.50
TOTAL PUBLIC SAFETY- FIRE				\$222.50
4506190 - SAND REPLNSHMNT/RETENTION				
TING FIBER INC.	JUN 25-INTERNET SERVICES-TIDE BEACH PARK LG TOWER	06/26/2025	9002232	\$464.31
TING FIBER INC.	JUN 25-INTERNET SERVICES-DEL MAR SHORES LG TOWER	06/26/2025	9002232	\$464.31
SUMMIT ENVIROMENTAL GROUP, INC.	MAY 25-9926 PROF SVC	06/18/2025	9002220	\$3,080.00
TOTAL SAND REPLNSHMNT/RETENTION				\$4,008.62
5097700 - SANITATION				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$10.59
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/26/2025	108444	\$10.60
SANTA FE IRRIGATION DISTRICT	005506-014-05/02/25-06/02/25	06/18/2025	108415	\$1,174.07
SANTA FE IRRIGATION DISTRICT	005979-008 - 04/02/25-06/02/25	06/26/2025	108450	\$115.80
US BANK	BOULDER/EROSION CNTRL-RIOS PUMP STN	06/26/2025	108424	\$360.61
US BANK	BOULDER/EROSION CNTL-RIOS PUMP STN	06/26/2025	108424	\$330.51
RAFTELIS FINANCIAL CONSULTANTS INC	MAY 25-SEWER RATE & REVENUE PLAN STUDY	06/26/2025	108447	\$772.50
IDRAINS LLC	MAIN LINE DRAIN-CH	06/18/2025	108407	\$525.00
IDRAINS LLC	CAMERA INSP-CH	06/18/2025	108407	\$535.00
IDRAINS LLC	J-SEWER VACUUM	06/18/2025	108407	\$675.00
IDRAINS LLC	C-SEWER LINE CLEANING	06/18/2025	108407	\$10,102.68
IDRAINS LLC	J SEWER-VACUUM	06/26/2025	108418	\$675.00
TOTAL SANITATION				\$15,287.36
REPORT TOTAL:				\$922,808.32



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Engineering Department - Jason Jung, Senior Civil Engineer
SUBJECT: **Consideration of Resolution 2025-077 Awarding a Construction Contract to Eagle Paving LLC and Resolution 2025-083 Approving a Professional Services Agreement with Ninyo & Moore for Pavement Inspection and Laboratory Testing for the 2025 and 2026 Street Maintenance and Repairs Project**

BACKGROUND:

In 2021, a City-wide pavement condition assessment was performed by Bucknam Infrastructure Group to determine the most effective way to budget, repair, replace and preserve public street pavements. Based upon this condition assessment report, the consultant that prepared the assessment developed a priority list for the City's pavement repairs and maintenance. This list was used to select street segments for this year's street maintenance and repair program.

At the March 12, 2025, City Council (Council) meeting, the Council approved the list of streets for the 2025 and 2026 Street Maintenance and Repairs Project and authorized the City Engineer to advertise for construction bids.

In addition to the pavement resurfacing shown on the attached map, this year's project includes the following:

1. Localized pavement repairs (digouts) throughout the City.
2. Repainting faded traffic striping at selected locations.
3. Providing buffer bike lanes along Lomas Santa Fe Drive.
4. Upgrading traffic signals to video detection along Lomas Santa Fe Drive.
5. Installation of speed cushions at undetermined locations, if approved under Council policy.

COUNCIL ACTION:

Staff advertised the project through the competitive bidding process and the City received three construction bids for the 2025 and 2026 Street Maintenance and Repairs Project, Bid 2025-07. The three bids were opened by the City Clerk and read on June 12, 2025.

Staff also issued a Request for Proposals (RFP) to solicit proposals from consultants experienced in pavement inspection and laboratory testing and specifically having access to a testing laboratory to address the inspection and testing requirements for the asphalt concrete of the 2025 and 2026 Street Maintenance and Repairs Project.

This item is before the City Council to consider adopting Resolution 2025-077 (Attachment 1) awarding a construction contract to Eagle Paving LLC, the lowest responsive and responsible bidder, for the 2025 and 2026 Street Maintenance and Repairs Project. In addition, before the City Council is consideration of Resolution 2025-083 (Attachment 2) authorizing the City Manager to execute a Professional Services Agreement (PSA) with Ninyo & Moore for Pavement Inspection and Laboratory Testing for the 2025 and 2026 Street Maintenance and Repairs Project.

DISCUSSION:

The construction documents for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07, were prepared and the project was advertised for construction bids in May 2025. On June 12, 2025, three bids for the Bid No. 2025-07 were received and publicly opened by the City Clerk. The bids are listed below in Table 1.

Table 1: Bid Results

Contractors	Base Bid
Eagle Paving LLC	\$ 2,139,857.10
Quality Construction & Engineering Inc	\$ 2,703,258.40
Palm Engineering Construction Company, Inc.	\$ 3,453,451.50

The apparent low bid submitted by Eagle Paving LLC (Eagle Paving) was found to be complete and responsive to the bid specifications. Prior work references were checked and found to be satisfactory, and Eagle Paving has a valid contractor’s license. Staff is recommending that Eagle Paving be awarded the construction contract. The contract amount is based on the City Engineer’s estimated unit quantities and the contractor’s bid prices. The final project cost will be based on field measurements and actual quantities completed. The estimated contract duration is 80 working days (16 weeks). The project is anticipated to be started in September 2025 and be completed by December 2025. A map of the proposed streets to be repaired is included as Attachment 3.

To address the inspection and testing requirements of the 2025 and 2026 Street Maintenance and Repairs Project, Staff also issued a Request for Proposals (RFP) to solicit proposals from consultants experienced in pavement inspection and laboratory testing, including the requirement to have access to a testing laboratory since the City does not have the capability to conduct laboratory testing. After a detailed review of the

seven proposals received in response to the RFP, Staff is recommending that a contract be pursued with Ninyo & Moore. Although the other firms that submitted proposals have relevant pavement inspection and laboratory testing backgrounds and are well regarded in the area, the proposal and experience provided by Ninyo & Moore is superior to the other firms. Ninyo & Moore will independently conduct pavement inspections and laboratory testing on behalf of the City to verify all inspection and testing requirements for the asphalt concrete the 2025 and 2026 Street Maintenance and Repairs Project are met.

CEQA COMPLIANCE STATEMENT:

The Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

The anticipated project costs are listed below in Table 2.

Table 2: Anticipated Project Costs

Item	Amount
Construction Contract – Eagle Paving LLC	\$2,139,857.10
Construction Contingency (14%)	\$300,000.00
Professional Services Agreement with Ninyo & Moore	\$65,440.00
Total	\$2,505,297.10

Project funding will be \$1,600,000 from the Fiscal Year (FY) 2024/25 Annual Pavement Management Program and \$1,100,000 from the Fiscal Year (FY) 2025/26 Annual Pavement Management Program as adopted in the Capital Improvement Program section of the Adopted Budgets. The various funding sources for the project are listed below in Table 3. Final project costs will be reported to the City Council after the completion of the construction period as part of filing the Notice of Completion.

Table 3: Project Funding Sources

Item	Amount
Gas Tax Funds – Account 2026510.66610	\$400,000
<i>TransNet</i> Funds – Account 2286510.66610	\$490,000
Regional Transportation Congestion Improvement Program (RTCIP) Funds – Account 2256510.66610	\$235,000
Road Repair and Accountability Act (SB1) Funds – Account 2476510.66610	\$600,000
City CIP Funds (transferred from Measure S Surplus in FY24) – Account 4596510.66610	\$500,000
General Funds, Measure S – Account 1106510.66610	\$475,000
Total	\$2,700,000

WORK PLAN:

This item is listed in the FY 2025/26 Work Plan under the Ongoing Priorities section, Circulation and Parking, Item C. This item also includes improvements along Lomas Santa Fe, West of Interstate 5 that will implement some interim design solutions consistent with the Lomas Santa Fe Corridor Project as included in the Work Plan, *II. Transportation and Mobility, 1. Lomas Santa Fe Corridor Project*, and is specifically noted in *3. Implementation of the Comprehensive Active Transportation Strategy (CATS) Study Projects* and *4. Traffic Signal Upgrades*.


OPTIONS:

- Adopt Staff recommendations and award a construction contract and approve a Professional Services Agreement for pavement inspection and laboratory testing.
- Modify aspects of this project and award construction contract as amended (if applicable).
- Reject construction bids and provide alternative direction to Staff.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution 2025-077:
 - a. Awarding a construction contract to Eagle Paving LLC in the amount of \$2,139,857.10, for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07.
 - b. Approving an amount of \$300,000 for construction contingency.
 - c. Authorizing the City Manager to execute the construction contract on behalf of the City.
 - d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.
 - e. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget as necessary between project funding sources.
2. Adopt Resolution 2025-083:
 - a. Authorizing the City Manager to execute a Professional Services Agreement for a one-year term, in an amount not to exceed \$65,440, with Ninyo & Moore for Pavement Inspection and Laboratory Testing for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-077
2. Resolution 2025-083
3. Map of Proposed Street Resurfacing

RESOLUTION 2025-077

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT TO EAGLE PAVING LLC FOR THE 2025 AND 2026 STREET MAINTENANCE AND REPAIRS PROJECT, BID NO. 2025-07

WHEREAS, the Fiscal Year (FY) 2024/25 and current Fiscal Year (FY) 2025/26 Capital Improvement Program (CIP) budgets include funding for street maintenance and repairs; and

WHEREAS, the Engineering Department utilizes a pavement condition assessment program, field reviews and a review of previous street rehabilitation projects to identify the list of streets to be repaired as part of this project; and

WHEREAS, on June 12, 2025, three bids for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07, were received and publicly opened by the City Clerk. At that time, it was determined that Eagle Paving LLC was the apparent low bidder with a construction estimate of \$2,139,857.10; and

WHEREAS, Staff recommends a construction contingency of approximately 14%, in the amount of \$300,000, for unanticipated extra work and additional street repairs.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council awards the construction contract to Eagle Paving LLC, in the amount of \$2,139,857.10, for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07.
3. That the City Council approves an amount of \$300,000 for construction contingency.
4. That the City Council authorizes the City Manager to execute the construction contract on behalf of the City.
5. That the City Council authorizes the City Manager to approve cumulative change orders up to the amount of the construction contingency.
6. That the City Council authorize the City Treasurer to amend the FY 2025/26 Adopted Budget as necessary between the project funding sources.

PASSED AND ADOPTED this 16th day of July 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2025-083

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT WITH NINYO & MOORE FOR PAVEMENT INSPECTION AND LABORATORY TESTING FOR THE 2025 AND 2026 STREET MAINTENANCE AND REPAIRS PROJECT, BID NO. 2025-07

WHEREAS, the 2025 and 2026 Street Maintenance and Repairs include pavement repairs and maintenance which requires pavement inspections and various types of testing of the asphalt concrete to ensure a successful project; and

WHEREAS, to address the inspection and testing requirements of the 2025 and 2026 Street Maintenance and Repairs Project, Staff issued a Request for Proposals (RFP) to solicit proposals from consultants experienced in pavement inspection and laboratory testing, and specifically having access to a testing laboratory; and

WHEREAS, after a detailed review of seven proposals received in response to the RFP, Staff is recommending that a contract be pursued with Ninyo & Moore, and after review, the proposal and experience provided by Ninyo & Moore is superior to the other firms.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a professional services agreement for a one-year term, in an amount not to exceed \$65,440, with Ninyo & Moore for Pavement Inspection and Laboratory Testing for the 2025 and 2026 Street Maintenance and Repairs Project, Bid No. 2025-07.

PASSED AND ADOPTED this 16th day of July 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

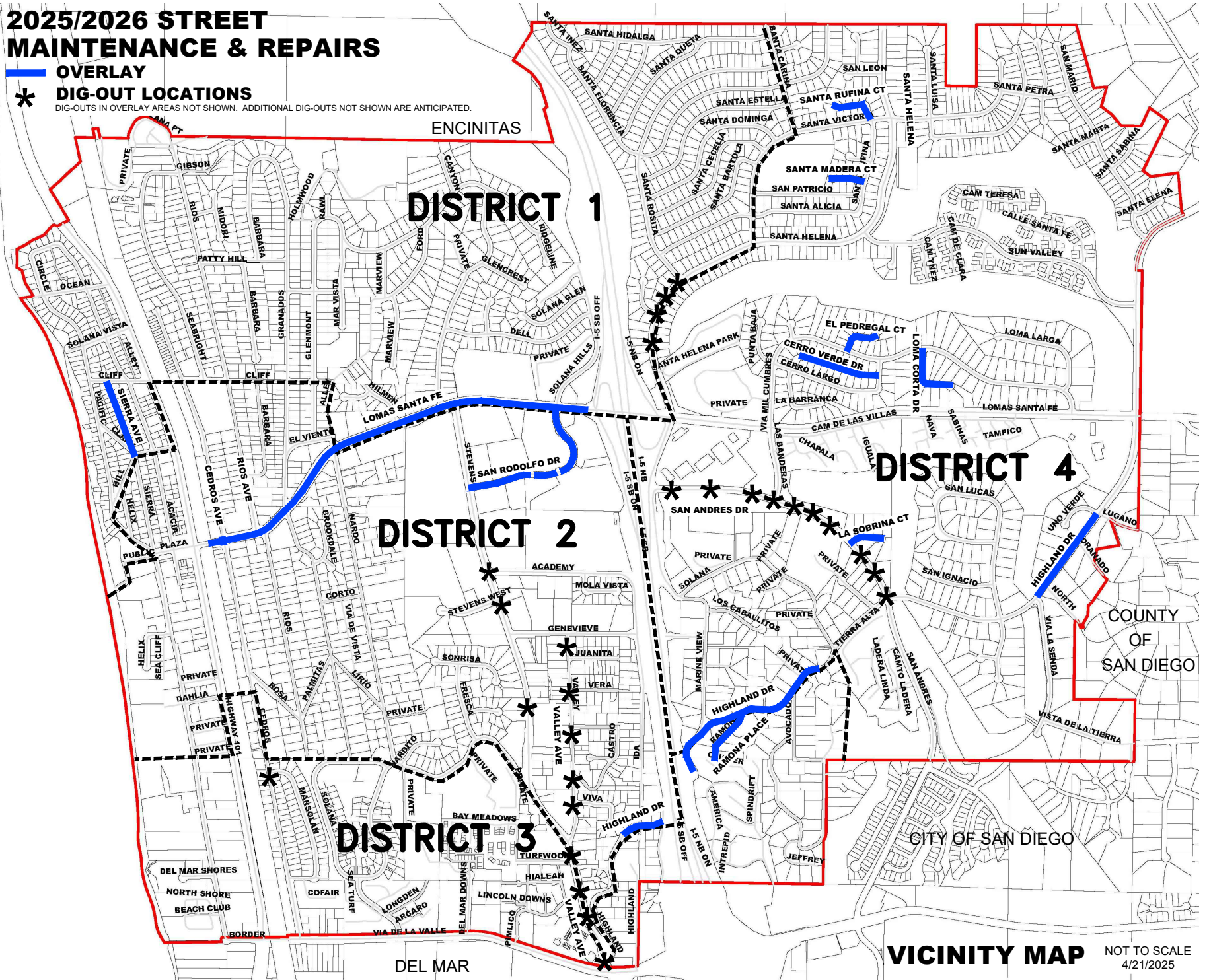
JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

2025/2026 STREET MAINTENANCE & REPAIRS

- OVERLAY
- * DIG-OUT LOCATIONS

DIG-OUTS IN OVERLAY AREAS NOT SHOWN. ADDITIONAL DIG-OUTS NOT SHOWN ARE ANTICIPATED.



VICINITY MAP NOT TO SCALE
4/21/2025



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Engineering Department – Dan Goldberg, City Engineer
SUBJECT: **Consideration of Resolution 2025-076 Approving a Final Change Order and Authorizing the City Clerk to File a Notice of Completion for the 2024 Street Maintenance & Repairs Project**

BACKGROUND:

On June 26, 2024, the City Council awarded a construction contract for the 2024 Street Maintenance & Repairs Project, Bid 2024-06, to Quality Construction & Engineering.

This item is before the City Council for consideration of Resolution 2025-076 (Attachment 1) approving a final change order for additional work, reporting the final project costs, accepting the project as complete and directing the City Clerk to file a Notice of Completion.

DISCUSSION:

Quality Construction & Engineering completed all work on this project in accordance with the approved plans and specifications to the satisfaction of the City Engineer. The City will release the 5% retention (\$55,548.68) 35 days after the approval of the Notice of Completion by the City Council.

The following are highlights of the 2024 annual street maintenance project:

- Pavement overlays on 10 street segments totaling 302,000 square feet (SF).
- Slurry seals on three street segments totaling 183,000 SF.
- Replacement of traffic striping and legends on all resurfaced street segments.
- Localized pavement repairs (dig-outs) throughout the City, totaling 16,000 SF.
- Repainted faded traffic striping at various locations.
- Replacement of damaged sidewalks and cross gutters.
- Replacement of eight pedestrian curb ramps to meet current standards.

CITY COUNCIL ACTION:

- Installation of speed cushions on North Granados, north of Cliff Street, and on Highland Drive, east of San Andres. Replacement of one speed cushion on Glencrest Drive that was removed for pavement overlay.

Change Order No. 1 was executed to add the following additional work:

- Via Mil Cumbres pavement overlay extended approximately 680 feet to the 2014 overlay limit.
- Del Mar Shores access stairs concrete repairs.
- Two speed cushions for a total of four.
- Additional pavement dig-out repairs.
- South Sierra and South Acacia sidewalk replacements, installation of tree grates and planting 15 trees.

Staff is requesting approval of a second and final change order to add the following:

- Installation of tree collars at the South Sierra tree grates.
- Additional pavement dig-out repairs.
- Repainting of additional faded traffic striping and markings.

CEQA COMPLIANCE STATEMENT:

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

Project funding, at the time of the award, was from the Fiscal Year (FY) 2023/24 Annual Pavement Management Program. Funding included \$200,000 in Gas Tax Funds, \$210,000 in TransNet Funds, \$300,000 in Road Repair and Accountability Act (SB1) Funds, and \$390,000 in General Funds, for a total budget of \$1,100,000.

Subsequently, at the July 10, 2024, Council meeting, the City Council approved the FY 2024-25 budget adjustments that included \$80,000 for the South Acacia and South Sierra sidewalk improvements. This scope of work was added with Change Order 1.

The construction base contract amount was \$927,487.60. The City Council authorized a construction contingency in the amount of \$172,512.40, for the total project funding of \$1,100,000, at the time of the award. Change Order No. 1 was executed in the amount of \$141,085, which was within the approved contingency amount. The second and final change order, for which Staff is requesting City Council approval, is for an amount of \$42,401, which exceeds the remaining contingency. An amount of \$10,973.60 would be funded by the \$80,000 budget adjustment for South Sierra and South Acacia sidewalk improvements, so no additional appropriation is needed.

The remaining \$69,026.40 budgeted for South Sierra and South Acacia sidewalk improvements will be returned to Coastal/Visitors Fund unreserved fund balance.

WORK PLAN:

This project was listed in the FY 2023/24 Work Plan under the Community Character priorities.

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments/modifications.
- Do not approve Staff recommendations.

CITY STAFF RECOMMENDATION:

Staff recommends the City Council consider adoption of Resolution 2024-076:

1. Authorizing the City Council to accept, as complete, the FY 2023-24 Street Maintenance & Repairs Project, Bid No. 2024-06, performed by Quality Construction & Engineering.
2. Authorizing the City Clerk to file a Notice of Completion for the project.
3. Authorizing the City Manager to execute a final change order in the amount of \$42,401, for a final contract amount of \$1,110,973.60.
4. Authorizing the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-076

RESOLUTION 2025-076

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A FINAL CHANGE ORDER AND ACCEPTING AS COMPLETE THE 2024 STREET MAINTENANCE & REPAIRS PROJECT, BID NO. 2024-06 AND AUTHORIZING THE CITY CLERK TO FILE A NOTICE OF COMPLETION

WHEREAS, on June 26, 2024, the City Council awarded a construction contract for the 2024 Street Maintenance & Repairs Project, Bid No. 2024-06, to Quality Construction & Engineering; and

WHEREAS, the 2024 Street Maintenance & Repairs Project has now been completed in accordance with the plans and specifications included as part of the public works contract with Quality Construction & Engineering to the satisfaction of the City Engineer; and

WHEREAS, additional street maintenance and improvements were performed by the contractor at the request of the City.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts, as complete, the FY 2023-24 Street Maintenance & Repairs Project, Bid No. 2024-06, performed by Quality Construction & Engineering.
3. That the City Council authorizes the City Clerk to file a Notice of Completion for the project.
4. That the City Council authorizes the City Manager to execute a final change order in the amount of \$42,401, for a final contract amount of \$1,110,973.60.
5. That the City Council authorizes the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.

PASSED AND ADOPTED this 16th day of July 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Engineering Department – Anda Wright, Associate Civil Engineer
SUBJECT: **City Council Consideration of Resolution 2025-089 Rejecting the Low Bid and Awarding a Construction Contract for Americans with Disability Act (ADA) Pedestrian Ramps**

BACKGROUND:

At the October 25, 2023, City Council (Council) meeting, the City Council authorized a Community Development Block Grant (CDBG) Funding application for Americans with Disabilities Act (ADA) pedestrian ramp improvements at various public street intersections. The County of San Diego approved funding for the Fiscal Year (FY) 2024/25 CDBG improvement project and issued a notice to proceed on November 22, 2024.

The City Council awarded the project to Savi Construction on April 23, 2025. However, Savi Construction failed to provide the insurance required under the contract terms.

This item is before the Council to consider approving Resolution 2025-089 (Attachment 1) that would reject the lowest bid by Savi Construction and award a construction contract to the second lowest responsible and responsive bidder, PAL General Engineering.

DISCUSSION:

Staff prepared the construction documents for the installation of six pedestrian ramps and advertised the project for competitive bidding. The pedestrian ramps are located at the intersections of Pacific Avenue/Ocean Street, Pacific Avenue/Solana Vista Drive, Pacific Avenue/West Cliff Street, and Pacific Avenue/Hill Street.

CITY COUNCIL ACTION:

On April 1, 2025, 10 bids for ADA Pedestrian Ramp Improvements, Bid No. 2025-03, were received and publicly opened by the City Clerk. The bid results are listed on the table on the following page.

Bid Results

Contractors	Base Bid
SAVI Construction	\$35,400.00
PAL General Engineering	\$39,000.00
Sael Construction Corporation	\$43,500.00
A.B. Hashmi	\$64,500.00
Montano Pipeline	\$71,250.00
Fordyce Construction	\$71,400.00
Blue Pacific Engineering	\$75,000.00
LC Paving & Sealing	\$75,804.00
Frank & Son Paving	\$79,999.80
Palm Engineering Construction	\$83,730.00

As previously noted, Savi Construction was awarded the contract by Council on April 23, 2025; however, Savi was not able to provide the required insurance specified in the bid documents. Staff is requesting that the City Council reject the low bid submitted by SAVI Construction as non-responsive to the bid documents and award the construction contract to the second bidder, PAL General Engineering (PAL). The PAL bid has been determined to be complete and they have successfully completed many construction projects for Solana Beach in the past.

The contract duration will be for 15 working days (three weeks) of construction work within the right of way. Staff anticipates that should the Council approve the contract with PAL, the project can be completed by the end of October, 2025.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

In addition to the \$39,000 contract amount, Staff is recommending a construction contingency of \$5,850 (15%) for unforeseen conditions and unanticipated changes, for a total construction budget of \$44,850 to be charged to CDBG-CIP Construction account 2406510-66610. The City received County approval for \$52,132 in CDBG funds for FY 2024/25. The Capital Improvement Program has appropriated \$52,132 in CDBG funds

for FY 2024/25. No additional appropriation is necessary. Unused CDBG funds will be reallocated to a future year.

WORK PLAN:

This project is not identified in the FY 2025/26 Work Plan.


OPTIONS:

- Adopt Staff recommendations and award construction contract.
- Postpone contract award and provide direction to Staff.
- Reject construction bids and provide alternative direction to Staff.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-089:

1. Rejecting the low bid by Savi Construction as non-responsive due to not providing the required insurance.
2. Awarding a construction contract to PAL General Engineering in the amount of \$39,000 for the ADA Pedestrian Ramps, Bid No. 2025-03.
3. Approving an amount of \$5,850 for construction contingency.
4. Authorizing the City Manager to execute the construction contract on behalf of the City.
5. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-089

RESOLUTION 2025-089

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT TO SAVI CONSTRUCTION FOR AMERICANS WITH DISABILITIES ACT PEDESTRIAN RAMPS

WHEREAS, on October 25, 2023, the City Council authorized a Community Development Block Grant (CDBG) application for Americans with Disabilities Act (ADA) pedestrian ramp improvements; and

WHEREAS, the City of Solana Beach has received approval from the County of San Diego Department of Housing and Community Development for a CDBG improvement project in the amount of \$52,132; and

WHEREAS, on April 1, 2025, ten bids for ADA Pedestrian Ramps, Bid No. 2025-03, were received and publicly opened by the City Clerk; and

WHEREAS, Staff recommends that Council reject the low bid as non-responsive to the bid requirements and award the contract to the second bidder, PAL General Engineering; and

WHEREAS, Staff recommends a 15% construction contingency of \$5,850 for unforeseen changes.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council reject the low bid by Savi Construction as non-responsive due to not providing the required insurance.
3. That the City Council awards the construction contract to PAL General Engineering in the amount of \$39,000, for the ADA Pedestrian Ramps, Bid No. 2025-03.
4. That the City Council approves an amount of \$5,850 for construction contingency.
5. That the City Council authorizes the City Manager to execute the construction contract on behalf of the City.
6. That the City Council authorizes the City Manager to approve cumulative

change orders up to the construction contingency amount.

PASSED AND ADOPTED this 16th day of July 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: IT Department – Scott Sampio, Network Systems Engineer
SUBJECT: **City Council Consideration of Resolution 2025-091 Authorizing the City Manager to Enter into a Professional Service Agreement with EyeP Solution for Surf Camera Services.**

BACKGROUND:

In 2021, as part of the U.S. Army Corps of Engineers (USACE) Coastal Storm Damage Reduction Project, the City contracted with Siemens Industry for the purchase, installation closed circuit cameras (CCTV) and continued monitoring of waves and surf at three pre-designated locations. These three locations are the Marine Safety Headquarters at Fletcher Cove, the Tide Beach Park satellite lifeguard station at the top of the public beach staircase and the Del Mar Shores Beach satellite lifeguard station located at the midway point of the public beach access way. The purpose of the video cameras and use of CCTV technology allowed the City to record and establish a baseline of existing wave and surf conditions in the City before the placement of sand. The cameras are also used to objectively evaluate post-project wave and surf conditions for two years following the conclusion of the USACE project.

This item is before the City Council for consideration of Resolution 2025-091 (Attachment 1), which would authorize the City Manager to execute a Professional Service Agreement with EyeP Solutions for surf camera monitoring services to include wave and surf monitoring and cloud-based video storage of closed-circuit cameras.

DISCUSSION:

As part of the sand replenishment project in Solana Beach in 2024, by USACE, the City purchase cameras and contracted for monitoring and recording of the wave and surf conditions. As the contract was concluding for the operations of the cameras, Staff performed a needs assessment and conducted an RFP to retain services that can meet the City's continued obligation to monitor the wave and surf conditions. These services involve continued surf monitoring and cloud-based video storage of closed-circuit cameras. An RFP for these services was advertised for a total of four (4) weeks starting on April 22, 2025. Staff provided the RFP to all service providers that it could identify that may be capable of performing the work. Five (5) service providers submitted proposals: EyeP Solutions, Amtec Security, Halcyon Security, Amperage Security and HD Relay. Staff provided a cost breakdown of each service provider below.

CITY COUNCIL ACTION: _____

Vendor	3 year Licensing	2 Additional years	Total for 5 years
EyeP Solutions	\$ 12,595.43	\$ 7,848.42	\$20,443.85
Amtec Security	\$ 24,430.80	\$17,787.20	\$42,218.00
Halcyon Security	\$ 28,000.00	N/A	\$ 28,000.00*
Amperage Security	\$ 81,297.30	N/A	\$ 81,297.30
Halcyon Security*	\$ 16,308.15	N/A	\$ 16,308.15

**Cost is only for a 24 month proposal*

Pursuant to Solana Beach Municipal Code (SBMC) section 3. 08. 140, because of their unique nature, it is in the best interest of the public, as allowed by state law, that contracts for professional services such as computer consultants, engineers, or other professional or consultant services of a similar nature, or at the discretion of the purchasing officer, be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required, negotiated between parties rather than on the basis of cost alone. Therefore, the City is not limited to awarding professional services contracts to the lowest responsible bidder, but rather on the basis of demonstrated competence and qualifications for the types of service to be performed at a fair and reasonable price.

The City has reviewed the five proposals for preservation and maintenance of the existing cameras, cloud-based network video recorder (NVR), and the retention of recorded footage for two years as required for the ACOE beach nourishment program. Selection criteria used in reviewing the proposed camera solutions included technical capabilities, vendor experience, project approach, and understanding of the project. Of the five proposals only the submission from EyeP Solutions succinctly addressed all the needs of the RFP. Furthermore, the solution they provided using the Genetec platform is an improvement over our current system in security, redundancy, expandability and cost. The Genetec system consolidates our current system that relies on two different companies (Arcules and Siemens), simplifying maintenance and support. Additionally, the platform is very flexible for expansion if the City chooses that in the future for other monitoring needs.

Staff is recommending the authorization to enter into agreement with Eye P Solutions Inc. in an amount not to exceed \$9,596 for FY 2025/2026 and allow the City Manager to execute future agreement extensions in an amount not to exceed \$4,000 per fiscal year. As a Local Sponsor of the USACE project, the City will seek Work In Kind (WIK) credit from the USACE for the full cost of the camera procurement and installation effort to be credited toward the City's cost share requirement for PED.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

Staff is recommending appropriating funds to the professional services account in the Sand Replenishment Fund (4506190-65300). The total cost of the agreement is \$20,443.85 for 3 years with two 1-year allowable extensions. The impact of this agreement for Fiscal Year 2025/26 will be \$9,595.43, as is outlined below.

<u>Fiscal Year</u>	<u>Total Yearly Cost</u>
2025-26	\$ 9,595.43
2026-27	\$ 1,500.00
2027-28	\$ 1,500.00
2028-29	\$ 3,924.21
<u>2029-30</u>	<u>\$ 3,924.21</u>
Total contract Cost	\$20,443.85

In 2020, the City entered into a Preconstruction Engineering Design (PED) Design Agreement (DA) with USACE which included a Project Management Plan that outlines various WIK tasks in which the City participated, one of those qualifying tasks is the surf camera monitoring. Therefore, the City will seek WIK credit for these costs under the cost share agreement with the USACE.

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Deny Staff recommendation and provide direction, as needed.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-091:

1. Authorizing the City Manager to execute a Professional Services Agreement with EyeP Solutions, Inc., in an amount not to exceed a total contract amount of \$20,443.85 (for 3 years with two 1-year allowable extensions), for continued surf camera monitoring services to include surf monitoring and cloud-based video storage of closed-circuit cameras.
2. Appropriating \$9,595.43 in the Sand Replenishment Fund to the Professional Services expenditure account (4506190-65300) in FY 2025/26.
3. Appropriating \$1,500.00 in the Sand Replenishment Fund to the Professional Services expenditure account (4506190-65300) in FY 2026/27.

4. Authorizing the City Treasurer to amend the FY 2025/26 and FY 2026/27 Adopted Budget accordingly.
5. Authorizing the City Manager to request Work-In-Kind credit from the USACE under the PED cost share agreement for the full cost of this effort.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-091

RESOLUTION 2025-091

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING CITY MANAGER TO ENTER INTO A PROFESSIONAL SERVICES AGREEMENT WITH EYEP SOLUTIONS FOR SURF CAMERA MONITORING SERVICES

WHEREAS, in 2021 the City purchased and installed closed circuit cameras (CCTV) for the monitoring of wave and surf at three pre-designated locations, as part of the City's participation in the U.S. Army Corps of Engineers (USACE) Coastal Storm Damage Reduction Project; and

WHEREAS, the purpose of the video cameras and use of CCTV technology was to establish a baseline of existing wave and surf conditions in the City before the placement of sand and continue to monitor for two years following the conclusion of the USACE project; and

WHEREAS, the City received sand replenishment in 2024 by USACE, and has a continued obligation to monitor the wave and surf conditions; and

WHEREAS, pursuant to Solana Beach Municipal Code (SBMC) section 3.08.140, because of their unique nature, it is in the best interest of the public, as allowed by state law, that contracts for professional services such as computer consultants, engineers, or other professional or consultant services of a similar nature, or at the discretion of the purchasing officer, be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required, negotiated between parties rather than on the basis of cost alone. Therefore, the City is not limited to awarding professional services contracts to the lowest responsible bidder, but rather on the basis of demonstrated competence and qualifications for the types of service to be performed at a fair and reasonable price; and

WHEREAS, because of the nature of the service, it is in the best interest of the public, as allowed by state law, that this contract be selected on the basis of demonstrated competence and professional qualifications necessary for the satisfactory performance of the services required and negotiated between parties rather than on the basis of cost alone; and

WHEREAS, the City issued a Request for Proposals (RFP) and reviewed multiple proposals for the continued surf camera monitoring services; and

WHEREAS, the proposal submitted by EyeP Solutionse was determined to be the most comprehensive based on the needs of the City, demonstrated competence and professional qualifications necessary for the satisfactory performance of the services required and is to be performed at a fair and reasonable price.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Service Agreement with Eye P Solution, in an amount not to exceed a total contract amount of \$20,443.85 (for 3 years with two 1-year allowable extensions) for continued surf camera monitoring services to include .
3. That the City Council appropriates \$9,595.43 in the Sand Replenishment Fund to the Professional Services expenditure account (4506190-65300) in FY 2025/26.
4. That the City Council appropriates \$1,500 in the Sand Replenishment Fund to the Professional Services expenditure account (4506190-65300) in FY 2026/27.
5. That the City Council authorizes the City Treasurer to amend the FY 2025/26 and FY 2026/27 Adopted Budget accordingly.
6. That the City Council authorizes the City Manager or designee to request Work-in-Kind credit from the USACE under the Preconstruction Engineering Design (PED) cost share agreement for the full cost of this effort.

PASSED AND ADOPTED this 16th day of July, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: IT Department – Scott Sampio, Network Systems Engineer
SUBJECT: **City Council Consideration of Resolution 2025-092 Authorizing the City Manager to Enter into a Professional Service Agreement with Ting Fiber Inc for High Speed Internet Services to City Facilities.**

BACKGROUND:

In October 2020, after a comprehensive Request for Proposal (RFP) process, the City Council authorized the City Manager to execute a Professional Services Agreement (PSA) with Ting Fiber, Inc. (Ting) to provide high-speed internet services for several City facilities, for 3 years with 2 allowable 1-year extensions. The high-speed Internet services are provided using the existing fiber optic network. The agreement with Ting expired June 30, 2025. Pursuant to City policy and as an essential aspect to the City’s ability to continue to do business and serve the public, Staff performed a needs assessment and developed a new RFP to retain high speed internet services that can meet the City’s current and future needs.

This item is before the City Council to consider approving Resolution 2025-092 (Attachment 1) authorizing the City Manager to execute an Agreement for high speed internet services (Agreement) for City facilities with Ting Fiber, Inc. (Ting).

DISCUSSION:

The RFP to retain high speed internet services was advertised for a total of four (4) weeks. Staff advertised on May 21, 2025, and provided the RFP to all service providers that it could provide the necessary service. Six (6) service providers submitted proposals: AT&T Business, Cox, Granite Telecommunications, Ting, Ubiquity and V3 Main Technologies. Staff provided a cost breakdown of each service provider below.

Vendor	Monthly Recurring	One-time costs	Total for 5 years
AT&T Business	\$ 8,305.02	N/A	\$498,301.20
Cox*	\$ 1,705.00	N/A	\$102,300.00
Granite Telecommunications	\$10,029.00	N/A	\$601,737.00
Ting	\$ 4,263.48	N/A	\$255,808.80
Ubiquity	\$ 4,792.00	N/A	\$287,520.00

CITY COUNCIL ACTION: _____

V3 Main Technologies	\$ 2,975.00	\$71,016.00	\$249,516.00
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*Cox Proposal does not provide a layer 2 wide area network (WAN), it only provides internet services. This would require the use of the existing WAN currently provided by Ting, which is not something Ting would provide without also providing internet service.

Staff carefully evaluated the six proposals and unanimously selected the proposal submitted by Ting as superior compared to the other proposals submitted. Staff considered the competence of each service provider, completeness of proposals, potential disruptions to City work, along with cost. As the current service provider, Ting’s has provided quality internet service, consistently meeting the needs of the City. Ting’s causes no disruption or change to the physical and logical network, making Ting the lowest bidder that utilizes the City’s existing infrastructure. Ubiquity’s proposal was the most similar proposal to Ting’s, however it would still require a new WAN to be established, impacting the City’s connectivity and system configuration. Again, requiring changing the physical and logical network. In short, there would be unavoidable changes to our network operations. The other proposals share these challenges and have potentially high one-time costs, as seen with V3 Technologies.

Staff is recommending authorizing the City Manager to execute a 3-year Agreement with Ting and allow the City Manager to execute two future agreement extensions of 1 year each.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The costs of the agreement are in line with what was requested in the General Fund IT Communication Budget (1005450 – 65230) and the Sand Replenishment Fund budget (4506190-65350) for FY 2025/26. The total cost of the agreement is \$255,808.80 for 3 years with two 1-year allowable extensions. The impact of this agreement for Fiscal Year 2025/26 is outlined below.

<i>Fiscal Year</i>	<i>IT Communication Budget</i>	<i>Sand Replenishment TOT capital fund</i>	<i>Total yearly Cost</i>
2025/26	\$40,018.32	\$11,143.44	\$ 51,161.76
2026/27	\$40,018.32	\$11,143.44	\$ 51,161.76
2027/28	\$40,018.32	\$11,143.44	\$ 51,161.76
2028/29	\$40,018.32	\$11,143.44	\$ 51,161.76
2029/30	\$40,018.32	\$11,143.44	\$ 51,161.76
	Total Amount for 5 years		\$255,808.80

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Deny Staff recommendation and provide direction, as needed.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-092 authorizing the City Manager to execute a Professional Services Agreement with Ting Fiber, Inc., in an amount not to exceed \$51,161.76, per fiscal year for high speed internet services for City facilities.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-092

RESOLUTION 2025-092

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING CITY MANAGER TO ENTER INTO A PROFESSIONAL SERVICES AGREEMENT WITH TING FIBER FOR HIGH SPEED INTERNET SERVICES

WHEREAS, high speed internet services are an essential aspect to the City ability to continue to do business and serve the public; and

WHEREAS, the City's previous agreement with Ting Fiber to provide high-speed internet services to City facilities, for 3 years with 2 allowable 1 year extensions expired on June 30, 2025; and

WHEREAS, the City issued a Request for Proposals (RFP) and reviewed multiple proposals for high speed internet services; and

WHEREAS, the proposal submitted by Ting Fiber Inc was the lowest cost that utilized the City's current infrastructure and determined to be the most comprehensive based on the needs of the City, demonstrated competence and professional qualifications necessary for the satisfactory performance of the services required.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Service Agreement with Ting Fiber Inc., in an amount not to exceed a total contract amount of \$255,808.80 (for 3 years with two 1-year allowable extensions) for high speed internet services for City facilities.

PASSED AND ADOPTED this 16th day of July, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: IT Department – Scott Sampio, Network Systems Engineer
SUBJECT: **City Council Consideration of Resolution 2025-093 Authorizing the City Manager to Enter into a Professional Service Agreement with 360 Global Technology for Website Hosting, Maintenance Services and Future System Upgrade.**

BACKGROUND:

In the FY 2019/2020 Work Plan, the City Council (Council) prioritized the update/overhaul of the city website. Staff issued a Request for Proposals (RFP) in February 2021, and selected 360Civic for the City’s website redesign and continued hosting and maintenance. This agreement was for three years with two one-year extensions. In FY 2024/2025 360Civic was acquired by another entity, 360 Global Technology (360GT), who honored the existing agreement. With a final expiration date of June 30, 2025, after all allowable extensions were exercised, Staff re-evaluated the need for this service and issued a new RFP in May 2025.

This item is before the City Council to consider approving Resolution 2025-093 (Attachment 1) authorizing the City Manager to execute an Agreement with 360GT for website hosting, maintenance services, and future system upgrade.

DISCUSSION:

The RFP issue requested at minimum the hosting and maintenance of our current website, which consists of three distinct major parts to maintaining a website. First, hosting consists of a webserver to host the content management system (CMS), the files (documents, pictures etc), and various other components that are needed to physically run a website. These components are typically hosted by a major cloud provider. Second, is the support and maintenance of those hosted elements. Support and maintenance means keeping the website’s backend updated and accessible both publicly and administratively. This does not include feature improvements or changes to the CMS. Third, is development, a catch-all term, that can mean anything from fixing a display issue on a page to something more involved like installing and testing a new plug-in. Development is charged at an hourly rate, either by purchasing a block of hours or paying by the hour as-needed.

Pursuant to City policy, Staff performed a needs assessment and developed the RFP to retain specified services that can meet the City’s current and future needs. An RFP for these services was advertised for a total of four (4) weeks. Staff advertised on May 21, 2025, and provided

CITY COUNCIL ACTION: _____

the RFP to all service providers that it could provide the necessary service. Thirteen (13) service providers submitted proposals, each with their own variation of the above three elements. Because of the different ways providers can address the above, the methods and pricing varied drastically. Staff provided a cost breakdown of each service provider below.

Vendor	Annual costs	One-time costs	Total for 5 years
360GT	\$ 12,600	N/A	\$63,000
Bright Plum	\$ 18,300	N/A	\$91,500
Clovity	\$14,900 +5% increase each renewal year	\$4,000	\$86,335
Datanetiix Solutions	N/A - only provided hourly rate without additional details to help determine cost of this proposal		
Drupal Partners	\$ 7,200.00	\$3,120	\$39,120
Encyphers	N/A	\$19,900	N/A
Infostride	\$23,400.00	\$18,200	\$135,200
inSegment LLC	\$423,500	N/A	N/A
Interpersonal Frequency	\$45,975 +4% increase for each renewal year	\$29725	\$249,017
Kwall Company	\$62,100	\$6,000 – \$20,000	\$316,500+
Planeteria Media	\$13,550	\$9,800	\$77,550
Promotsource	\$17,920	N/A	\$89,600
Rudder LLC	\$18,600	N/A	\$93,000

*

Pursuant to Solana Beach Municipal Code (SBMC) section 3. 08. 140, because of their unique nature, it is in the best interest of the public, as allowed by state law, that contracts for professional services such as computer consultants, engineers, or other professional or consultant services of a similar nature, or at the discretion of the purchasing officer, be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required, negotiated between parties rather than on the basis of cost alone. Therefore, the City is not limited to awarding professional services contracts to the lowest responsible bidder, but rather on the basis of demonstrated competence and qualifications for the types of service to be performed at a fair and reasonable price.

After careful review, the RFP panel scored and discussed all of the proposals. While there were some strong proposals, many were disjointed and some lacked entire components required by the RFP. Staff considered demonstrated competency, completeness of proposal, potential disruption of changing hosts, as well as costs for each proposal. The proposals by Bright Plum, Datanetiix, Drupal Partners, Encypher, and Rudder were incomplete as they did not provide for significant elements needed such as migration of the City’s site to the new hosting site, hosting services, and/ or did not provide clear cost for services requested in the RFP. Based on Staff’s review 360GT, the City’s current provider of these services, scored the highest by all panelists and is therefore Staff’s recommendation.

360GT has provided all the details and requirements asked for in the RFP and did so in a clear and concise pricing model that includes hosting, support/maintenance and development (including the ca.gov conversion). Over the past year 360GT has demonstrated their ability to

provide quality service and understanding of the City's needs. 360GT was able to provide development work on the City website in addition to the hosting and maintenance services, taking ownership of many issues that existed when they acquired the agreement. 360GT also completed the website's CMS upgrade to Drupal 10 as an ad hoc project.

Staff is recommending authorizing the City Manager to execute a 3 year Agreement with 360GT and allow the City Manager to execute two future agreement extensions of 1 year each. Further, Staff is recommending the City Manager be authorized to amend the agreement at a later date to include the website's next major system upgrade to Drupal 11 with scope and costs to be determined at that time.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

For Adopted Budgets FY 2025/26 and FY 2026/27 the IT Professional Services expenditure account allocated \$8,000 per year for these services and in light of the new cost seeks an additional \$4,600 from the General Fund into the IT Professional Services expenditure account (1005450 – 65300) to cover the \$12,600 yearly cost. The total cost of the agreement is \$63,000 for 3 years with two 1-year allowable extensions. The impact of this agreement for Fiscal Year 2025/26 is outlined below.

<i>Fiscal Year</i>	<i>Total yearly Cost</i>
2025/26	\$ 12,600
2026/27	\$ 12,600
2027/28	\$ 12,600*
2028/29	\$ 12,600
2029/30	\$ 12,600

Staff does anticipate an upgrade project will need to occur in 2027 for the Drupal 11. At this time the amount is unknown but likely to be between \$10,000 and \$15,000 based on the previous upgrade cost. This upgrade will likely need to take place during FY 2027/2028, but the date is currently unknown.

WORK PLAN:

N/A


OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Deny Staff recommendation and provide direction, as needed.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-093:

1. Authorizing the City Manager to execute a Professional Services Agreement with 360GT in an amount not to exceed \$12,600.00, per fiscal year for website hosting and maintenance services.
2. Authorizing the City Manager to execute a future amendment to the Professional Service Agreement with 360GT for Drupal 11 system upgrade.
3. Appropriating \$4,600 from the General Fund into the IT Professional Services expenditure account for FY 2025/26 and FY 2026/27.
4. Authorizing the City Treasurer to amend the FY 2025/26 and FY 2026/27 Adopted Budgets accordingly.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-093

RESOLUTION 2025-093

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING CITY MANAGER TO ENTER INTO A PROFESSIONAL SERVICES AGREEMENT WITH 360 GLOBAL TECHNOLOGY FOR WEBSITE HOSTING AND MAINTENANCE SERVICES

WHEREAS, the City would like professional ongoing website hosting and maintenance services that adhere to safety standards required of government agencies; and

WHEREAS, the City's previous agreement with 360 Global Technology (360GT) to provide website hosting and maintenance, for 3 years with 2 allowable 1-year extensions expired on June 30, 2025; and

WHEREAS, pursuant to Solana Beach Municipal Code (SBMC) section 3.08.140, because of their unique nature, it is in the best interest of the public, as allowed by state law, that contracts for professional services such as computer consultants, engineers, or other professional or consultant services of a similar nature, or at the discretion of the purchasing officer, be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required, negotiated between parties rather than on the basis of cost alone. Therefore, the City is not limited to awarding professional services contracts to the lowest responsible bidder, but rather on the basis of demonstrated competence and qualifications for the types of service to be performed at a fair and reasonable price; and

WHEREAS, because of the nature of the service, it is in the best interest of the public, as allowed by state law, that this contract be selected on the basis of demonstrated competence and professional qualifications necessary for the satisfactory performance of the services required and negotiated between parties rather than on the basis of cost alone; and

WHEREAS, the City issued a Request for Proposals (RFP) and reviewed multiple proposals for high speed internet services; and

WHEREAS, the proposal submitted by 360GT was determined to be the most comprehensive based on the needs of the City, demonstrated competence and professional qualifications necessary for the satisfactory performance of the services required and is to be performed at a fair and reasonable price; and

WHEREAS, the City anticipates a website upgrade project will need to occur in 2027 for the Drupal 11 update, of which the City will seek to amend the agreement with 360GT to reflect the cost and scope of this project based on the specification determined at that time.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Service Agreement with 360GT, in an amount not to exceed a total contract amount of \$63,000.00 (for 3 years with two 1-year allowable extensions) for website hosting and maintenance services.
3. That the City Council authorizes the City Manager to execute a future amendment to the Professional Service Agreement with 360GT for Drupal 11 system upgrade.
4. That the City Council appropriates an additional \$4,600 to the IT Professional Service expenditure account for FY 2025/26 and FY 2026/27.
5. That the City Council authorizes the City Treasurer to amend the FY 2025/26 and FY 2026/27 Adopted Budgets accordingly.

PASSED AND ADOPTED this 16th day of July, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Community Development Department - Tiffany Wade, Associate Planner
SUBJECT: **Public Hearing: DRP/SDP for a First-Story Addition and Remodel and New Second-Story Addition to an existing One-Story Single-Family Residence at 724 Valley Avenue (Case #: DRP22-027, SDP22-024; Applicant: Alex Ward; APN: 298-161-17-00; Resolution No. 2025-085**

BACKGROUND:

The Applicant, Alex Ward, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to construct a first-story addition and remodel and new second-story addition to an existing one-story, single-family residence and perform associated site improvements. The 7,382 square-foot lot is located at 724 Valley Avenue and is within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The Applicant proposes to construct a 3,164 square-foot residence with an attached carport. The proposed development includes grading in the amount of 180 cubic yards (CY) aggregate. The maximum height of the proposed residence would be 24.5 feet above the proposed grade (61.66 feet above Mean Sea Level (MSL)).

An application for a DRP shall be required for any structure or site development which meets the criteria listed in SBMC Section 17.68.040(B)(1)(a-n). The project meets the following criteria for the requirement of a DRP:

- (d) Grading in excess of 100 cubic yards;
- (n.i) Construction in excess of 60 percent of the maximum allowable floor area; and
- (n.ii) Construction of a second story that exceeds 35 percent of the floor area of the first floor.

The project requires a SDP because the proposed development exceeds 16 feet in height above the existing grade. The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2025-085 (Attachment 1). The project plans are included in Attachment 2.

CITY COUNCIL ACTION:

DISCUSSION:

The subject property is located on the east side of Valley Avenue. The lot is rectangular in shape with approximately 50 feet of frontage along Valley Avenue, a northern property line of approximately 150 feet, a southern property line of approximately 136 feet, and an eastern property line of 36 feet plus approximately 19 feet of frontage at the southeast corner of the lot where it abuts the Gonzalez Street cul-de-sac. The property slopes downward from Gonzales Street to Valley Avenue with a differential of approximately 18 feet.

The properties to the north, east and south are located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The properties to the west, across Valley Avenue, are zoned Medium-High Residential (MHR).

The Applicant is requesting approval of a DRP and SDP to construct a remodel, addition, and new second-story to an existing one-story, single-family residence. The property is currently developed with a one-story, single-family residence and a covered patio. The existing residence is nonconforming in that it encroaches into the south side-yard setback area. As part of this project, the nonconformity would be abated. The existing floor area to be remodeled would maintain the finished floor at 30.93 MSL. At the approximate midpoint of the property is an existing retaining wall that is 3 feet high. The first story addition and new second story would be located east of the retaining wall, with the finished floor proposed at 37.83 MSL. Associated site improvements would include grading, drainage, hardscape and landscaping. The project plans are included in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant’s proposed design.

Table 1			
LOT INFORMATION			
Property Address:	724 Valley Ave	Zoning Designation:	MR (5-7 du/ac)
Lot Size:	7,382 ft ²	# of Units Allowed:	1 SFR, 1 ADU, 1 JADU
Max. Allowable Floor Area:	3,242 ft ²	# of Units Requested:	1 SFR
Proposed Floor Area:	3,164 ft ²	Setbacks:	
Below Max. Floor Area by:	78 ft ²		
Max. Allowable Height:	25 ft.		
Max. Proposed Height:	24.5 ft.		
Highest Point/Ridge:	61.66 MSL		
Overlay Zone(s):	SROZ, Coastal Zone		
		Required	Proposed
		Front (W, Valley Ave.)	25 ft. 37.75 ft.
		Interior Side (N)	5 ft. 5.00 ft.
		Interior Side (S)	5 ft. 5.00 ft.
		Front (E, Gonzales St.)	25 ft. 25.42 ft.
PROPOSED PROJECT INFORMATION			
Floor Area Breakdown:		Requested Permits:	
Existing First Floor to Remain	952.68 ft ²	DRP: grading in excess of 100 cubic yards; construction in excess of 60% of the maximum allowable floor area; and construction of a second story that exceeds 35% of the first floor.	
Demo of Existing Nonconformity	(12.66 ft ²)		
First Floor Addition	1,264.54 ft ²		
New Second Floor	947.04 ft ²		
Total Floor Area:	3,164 ft²	SDP: a new structure that exceeds 16 feet in height from the existing grade.	
Proposed Grading: 180 CY of Aggregate Grading (80 CY Cut; 40 CY Fill; 10 CY Excavations for Footings; 50 CY Removal and Recompaction)			
Proposed Parking: 2-Car Carport		Existing Development: Single-Family Residence	
Proposed Fences and Walls: Yes			
Proposed Accessory Dwelling Unit: No			
Proposed Accessory Structure: No			

Staff has prepared draft findings for approval of the DRP in the attached Resolution 2025-085 for the City Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and recommended conditions of approval from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval (Attachment 1). The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-085.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development includes grading in excess of 100 cubic yards; construction of a residence in excess of 60 percent of the maximum allowable floor area for the property; and construction of a second story that exceeds 35 percent of the first floor. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-085 provides full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for detached single-family dwellings on older subdivided lots and two-family and multiple family dwellings within new, large lot, planned developments, developed at a maximum density of five to seven dwelling units per acre. The lot is 7,382 square feet or 0.17 acres. Therefore, 0.17 acres X 7 dwelling units per acre = 1.18 units, or one (1) unit. The proposed project includes one (1) dwelling unit. Therefore, the project is consistent with the density and use intended in the General Plan.

The proposed development could also be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is located in the SROZ, and the Coastal Zone.

Scaled Residential Overlay Zone (SROZ):

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

Coastal Zone

The proposed Project is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the MR Zone is intended for residential development in areas characterized primarily by detached single-family and two-family and multiple family dwellings homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the MR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “d”, which requires 25-foot front- and rear-yard setbacks and 5-foot interior side-yard setbacks. The subject property fronts on both Valley Avenue and Gonzales Street, therefore, it has two front yard areas and shall meet the regulations for front yard development within both the east and west front yards. As designed, the project meets all required setbacks.

Maximum Floor Area Ratio:

The property is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for the 7,382 square-foot lot, pursuant to the provisions of the SROZ regulations, is as follows:

$0.500 \times 6,000 \text{ ft}^2$	$3,000 \text{ ft}^2$
$0.175 \text{ for remaining lot area (1,382 SF)}$	242 ft^2

Total Allowable Floor Area: 3,242 ft²

The Applicant is proposing to demolish the existing covered patio area, remove the existing nonconformity, construct a first-story remodel and addition, a new second-story and attached carport to the existing one-story residence. The SBMC parking regulations require two off-street parking spaces per single-family residence. The proposed carport would accommodate two (2) unobstructed parking spaces, outside of the front-yard setback. The total proposed floor area would be 3,164 square feet, which is 78 square feet below the maximum allowable for the property. The proposed floor area (3,164 square feet) is 98% of the allowable floor area (3,242 square feet).

Maximum Building Height:

The maximum building height for the MR Zone is 25 feet. The maximum height of the proposed residence would be 24.5 feet above the proposed grade with a maximum elevation of 61.66 MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces for a single-family residence. Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car carport located in the buildable area and accessed by Gonzalez Street.

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

The Applicant is proposing to remove the existing walls and fencing within the front yard setback area adjacent to Valley Avenue. The proposed project includes new retaining walls and stairs that would maintain pedestrian access from Valley Avenue. A 3.5-foot-tall masonry fence and gate is proposed east of the retaining walls at the top of the slope. The existing retaining wall and fence along the north property line is proposed to remain.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed

fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape Water Efficiency:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 and SBMC Section 17.68.040(F) are listed below with further discussion as to how they relate to the proposed Project:

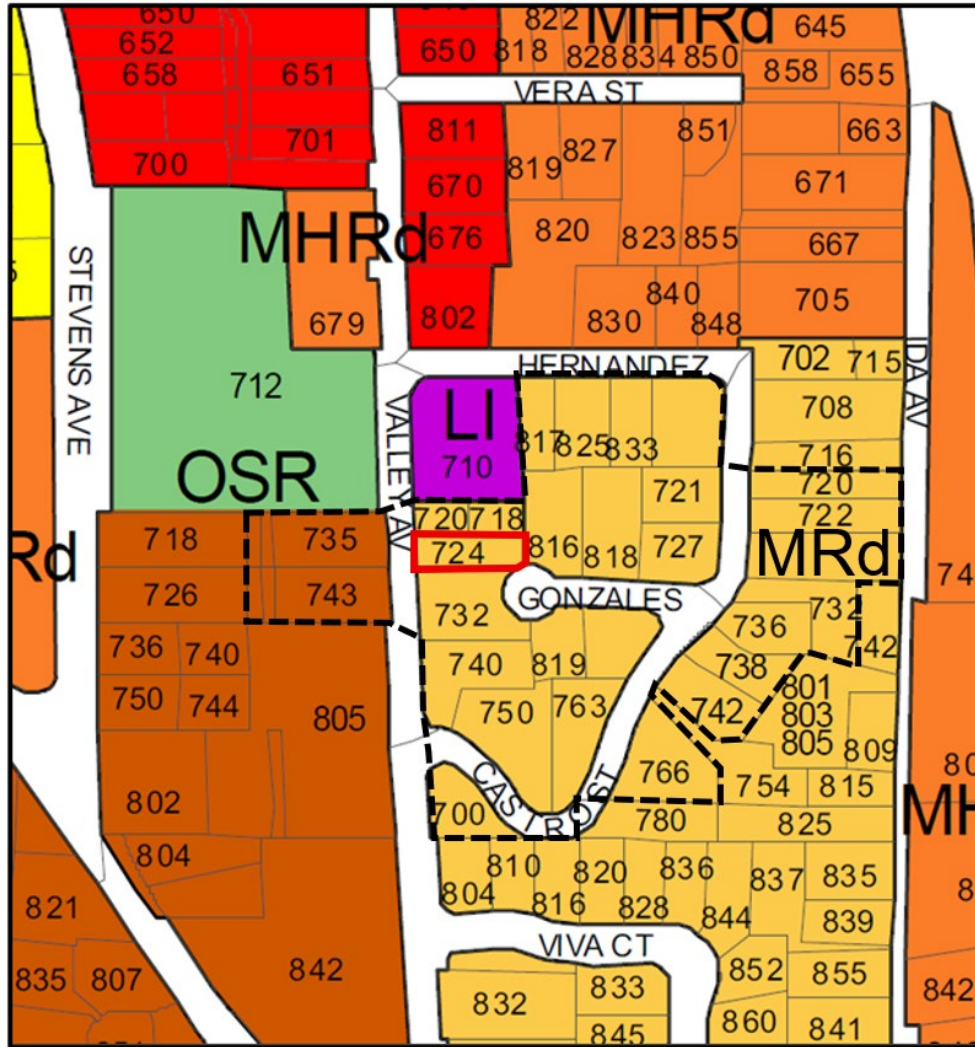
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The subject property is located within the Medium Residential (MR) Zone. Properties immediately north, east and south are also located within the MR Zone and are developed with one- and two-story single-family residences that include a similar development pattern. Two properties to the north on the east side of Valley Avenue is a lot zoned Light Industrial (LI) and is the site of a metal fabricator business. Northwest of the subject property on the west side of Valley Avenue is the site of La Colonia Park and is zoned Open Space Recreation (OSR). The residential properties across Valley Avenue are zoned High Residential (HR) and are developed with multi-family housing.

Neighborhood Comparison:

Staff compared the proposed project to 25 other properties within the surrounding area. This area includes properties along both sides of Valley Avenue, Gonzales Street, and Castro Street as shown on the following map:



The properties evaluated in this comparison are located in the MR and HR Zones and the SROZ. The existing homes range in size from 672 square feet to 3,676 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. The proposed project does not include any of the aforementioned areas. Accordingly, the building area of the proposed project is as follows:

Project Gross Building Area:	3,164 ft ²
Project Area for Comparison to Assessor's Data:	3,164 ft ²

Table 2 is based upon the County Assessor’s data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (SanGis)	Existing ft ² (Assessor)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	815 HERNANDEZ ST	6,853	2,160		3,149	MR
2	825 HERNANDEZ ST	10,537	1,026		3,794	MR
3	833 HERNANDEZ ST	7,985	1,622		3,347	MR
4	843 HERNANDEZ ST	13,490	1,254		4,311	MR
5	700 VALLEY AVENUE	8,715	2,054		3,475	MR
6	718 VALLEY AVENUE	3,946	800		2,641	MR
7	720 VALLEY AVENUE	3,948	?		2,641	MR
8	724 VALLEY AVENUE	7,382	965	3,164	3,242	MR
9	732 VALLEY AVENUE	14,546	1,122		4,496	MR
10	740 VALLEY AVENUE	13,509	1,008		4,314	MR
11	731 VALLEY AVENUE	15,395	2,052		11,546	HR
	733 VALLEY AVENUE		2,052			HR
	735 VALLEY AVENUE		1,934			HR
	737 VALLEY AVENUE		1,934			HR
12	743/747 VALLEY AVENUE	15,702	2,016		11,777	HR
13	816 GONZALES ST	13,013	2,632		4,227	MR
14	818 GONZALES ST	13,321	2,720		4,281	MR
15	819/821 GONZALEZ ST	7,611	2,104		3,282	MR
16	825 GONZALES ST	9,496	3,017		3,612	MR
17	722 CASTRO ST	9,428	3,676		3,600	MR
18	728 CASTRO ST	6,553	2,900		3,097	MR
19	732 CASTRO ST	11,390	1,956		3,943	MR
20	734/736 CASTRO ST	9,069	3,375		3,537	MR
21	738 CASTRO ST	9,024	2,330	3,078	3,529	MR
22	742 CASTRO ST	10,466	2,210		3,782	MR
23	766 CASTRO ST	13,837	906		4,371	MR
24	721 CASTRO ST	9,342	2,360		3,585	MR
25	750 CASTRO ST	17,403	672		4,996	MR
26	763 CASTRO ST	13,392	1,500		4,294	MR

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The proposed floor area is consistent with nearby residential development and the proposed project could be found to be compatible with and complimentary to nearby existing development.

Building and Structure Placement:

The proposed two-story residence would be located in the center of the buildable area of the lot established by the required setbacks for the zone. The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. The subject property fronts on both Valley Avenue and Gonzales Street, therefore, it has two front yard areas and shall meet the regulations for front yard development within both the east and west front yards. The proposed residence is setback 37.75 feet from the front property line adjacent to Valley Avenue, five (5) feet from both the north and south side property lines. The carport is setback 25.42 feet from the front property line adjacent to Gonzales Street.

The 2,217 square-foot first floor consists of a kitchen, dining and living area, family room, study, two bedrooms, one bathroom, powder room, and a laundry room. The 947 square-foot second story consists of the primary suite, a deck above the first floor on the west side of the property, a deck at the northeast corner of the residence, and two balconies oriented toward the courtyard. The courtyard is located in the center of the residence, south of the stairs. It is surrounded by walls on three sides, but is not covered or enclosed, and does not count towards floor area. The proposed two-car carport is located towards the northeast corner of the property. A new driveway would be located where the property meets the Gonzales Street cul-de-sac. A covered entryway leading to the front door is proposed to be located immediately south of the proposed carport.

Landscape:

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the attached two-car carport. The carport would be accessed by a driveway at the southeast corner of the property via the cul-de-sac at the end of Gonzales Street. Pedestrian access to the property would be taken from a walkway from Gonzales Street at the southeast corner of the lot. A secondary pedestrian access to the property would be taken from a stepped walkway from Valley Avenue.

Grading:

The project includes grading in the amounts of approximately: 80 cubic yards of cut; 40 cubic yards of fill; 10 cubic yards of excavation for footings; and 50 cubic yards of removal and recompaction. The project includes grading in the amount of 180 cubic yards aggregate.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of a two-story addition and remodel to an existing one-story single-family residence and an attached two-car carport on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite, and the Story Pole Height Certification was issued by a licensed land surveyor on May 6, 2025, which showed the highest story pole certified at 61.66 MSL and 24.50 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on June 11, 2025. The City did not receive any applications for View Assessment.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.50 feet above the proposed grade or 61.66 feet

above MSL, which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary findings to approve the project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations, and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-085 for the Council's consideration based upon the information in the report. The applicable SBMC sections are provided in the italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

Property Frontage and Public Right-of-Way Improvements:

The existing property frontage on Valley Avenue is improved with a 6-inch curb, gutter, and sidewalk. If approved, the Applicant will be required to construct two sidewalk underdrain pipes in accordance with the San Diego Regional Standard Drawing D-27 and approximately 10-foot transition curbs on both sides of the proposed improvements. The existing property frontage on Gonzales Street consists of an asphalt section on the street and a dirt driveway. If approved, the Applicant will be required to construct a G-14D driveway approach, a modified curb inlet, G-2 curb and gutter. A 1-foot width of property frontage along Gonzales Street shall be dedicated to the City of Solana Beach as Public Right-Of-Way.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on July 2, 2025. As of the date of preparation of this Staff Report, Staff has not received any official correspondence. The Applicant has provided a letter to Council explaining the proposed project (Attachment 4).

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-085 for the Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Department are incorporated in the Resolution of Approval.

Should the Council determine that the findings can be made to approve the project; the SDP will be approved concurrently with the DRP. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A


OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2025-085.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP cannot be made.

CITY STAFF RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-085 conditionally approving a DRP and SDP for a first-story addition and remodel and new second-story to an existing one-story, single-family residence and an attached two-car carport and associated site improvements at 724 Valley Avenue, Solana Beach.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-085 – DRP/SDP
2. Project Plans Dated July 9, 2025
3. Story Pole Height Certification, May 6, 2025
4. Applicant Letter to City Council

RESOLUTION 2025-085

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO CONSTRUCT A FIRST-STORY ADDITION AND REMODEL AND NEW SECOND-STORY ADDITION TO AN EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE AT 724 VALLEY AVENUE, SOLANA BEACH, APN: 298-161-17-00

APPLICANT: ALEX WARD
APPLICATION: DRP22-027/SDP22-024

WHEREAS, Alex Ward (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on July 16, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to construct a first-story addition and remodel and new second-story addition to an existing one-story, single-family residence and perform associated site improvements at 724 Valley Avenue is conditionally approved based upon the following Findings and subject to the following Conditions:
- III. FINDINGS
 - A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project is found consistent with the General Plan, which designates the property as Medium Density Residential and is intended for detached single-family dwellings on older subdivided lots and two-family and multiple family dwellings within new, large lot, planned developments, developed at a maximum density of five to seven dwelling units per acre. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays: The property is located in the Scaled Residential Overlay Zone (SROZ), which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The proposed Project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the MR Zone is intended for residential development in areas characterized primarily by detached single-family and two-family and multiple family dwellings homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the MR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “d”, which requires 25-foot front- and rear-yard setbacks and 5-foot interior side-yard setbacks. The subject property fronts on both Valley Avenue and Gonzales Street, therefore, it has two front yard areas and shall meet the regulations for front yard development within both the east and west front yards. As designed, the project meets all required setbacks.

Maximum Floor Area Ratio:

The property is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for the 7,382 square-foot lot, pursuant to the provisions of the SROZ regulations, is as follows:

<u>0.500 X 6,000 ft²</u>	<u>3,000 ft²</u>
<u>0.175 for remaining lot area (1,382 SF)</u>	<u>242 ft²</u>
Total Allowable Floor Area:	3,242 ft ²

The Applicant is proposing to demolish the existing covered patio area, remove the existing nonconformity, construct a first-story remodel and addition, a new second-story and attached carport to the existing one-story residence. The SBMC parking regulations require two off-street parking spaces per single-family residence. The proposed carport would accommodate two (2) unobstructed parking spaces, outside of the front-yard setback. The total proposed floor area would be 3,164 square feet, which is 78 square feet below the maximum allowable for the property. The proposed floor area (3,164 square feet) is 98% of the allowable floor area (3,242 square feet).

Maximum Building Height:

The maximum building height for the MR Zone is 25 feet. The maximum height of the proposed residence would be 24.5 feet above the proposed grade with a maximum elevation of 61.66 MSL.

Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces for a single-family residence. Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car carport located within the buildable area and accessed by Gonzalez Street.

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

The Applicant is proposing to remove the existing walls and fencing within the front yard setback area adjacent to Valley Avenue. The proposed project includes new retaining walls and stairs that would

maintain pedestrian access from Valley Avenue. A 3.5-foot-tall masonry fence and gate is proposed east of the retaining walls at the top of the slope. The existing retaining wall and fence along the north property line is proposed to remain.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The subject property is located within the Medium Residential (MR) Zone. Properties immediately north, east and south are also located within the MR Zone and are developed with one- and two-story single-family residences that include a similar development pattern. Two properties to the north on the east side of Valley Avenue is a lot zoned Light Industrial (LI) and is

the site of a metal fabricator business. Northwest of the subject property on the west side of Valley Avenue is the site of La Colonia Park and is zoned Open Space Recreation (OSR). The residential properties across Valley Avenue are zoned High Residential (HR) and are developed with multi-family housing.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed two-story residence would be located in the center of the buildable area of the lot established by the required setbacks for the zone. The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. The subject property fronts on both Valley Avenue and Gonzales Street, therefore, it has two front yard areas and shall meet the regulations for front yard development within both the east and west front yards. The proposed residence is setback 37.75 feet from the front property line adjacent to Valley Avenue, five (5) feet from both the north and south side property lines. The carport is setback 25.42 feet from the front property line adjacent to Gonzales Street.

The 2,217 square-foot first floor consists of a kitchen, dining and living area, family room, study, two bedrooms, one bathroom, powder room, and a laundry room. The 947 square foot second story consists of the primary suite, a deck above the first floor on the west side of the property, a deck at the northeast corner of the residence, and two balconies oriented toward the courtyard. The courtyard is located in the center of the residence, south of the stairs. It is surrounded by walls on three sides, but is not covered or enclosed, and does not count towards floor area. The proposed two-car carport is located towards the northeast corner of the property. A new driveway would be located where the property meets the Gonzales Street cul-de-sac. A covered entryway leading to the front door is proposed to be located immediately south of the proposed carport.

- c. Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should

the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces would be located within the attached two-car carport. The carport would be accessed by a driveway at the southeast corner of the property via the cul-de-sac at the end of Gonzales Street. Pedestrian access to the property would be taken from a walkway from Gonzales Street at the southeast corner of the lot. A second pedestrian access to the property would be taken from a stepped walkway from Valley Avenue.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project includes grading in the amounts of approximately: 80 cubic yards of cut; 40 cubic yards of fill; 10 cubic yards of excavation for footings; and 50 cubic yards of removal and

recompaction. The project includes grading in the amount of 180 cubic yards aggregate.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of a two-story addition and remodel to an existing one-story single-family residence and an attached two-car carport on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite, and the Story Pole Height Certification was issued by a licensed land surveyor on May 6, 2025, which showed the highest story pole certified at 61.66 MSL and 24.50 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on June 11, 2025. The City did not receive any applications for View Assessment.

A height certification prepared by a licensed land surveyor is required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.50 feet above the proposed grade (or 61.66 feet above MSL).

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building, grading, and landscape construction plans must be in substantial conformance with the project plans presented to the City Council on July 16, 2025, and located in the project file with a submittal date of July 9, 2025.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum height of the proposed addition will not exceed 24.50 feet above the proposed grade (or 61.66 feet above MSL) in conformance with the plans as approved by the City Council on July 16, 2025.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance

of Building and Grading Permits.

- VI. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on July 16, 2025, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- XI. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. An unobstructed 3-foot walkable pathway around all portions of the residence.
- II. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.1 and 503.2.3.
- III. BUILDINGS AND FACILITIES: Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility per the 2022 California Fire Code Chapter 5 Section 503.1.1.
- IV. GRADE: The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent) per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.7 and 503.2.8.
- V. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.200 Section 503.6.
- VI. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction

and maintained free and clear, including the parking of vehicles per the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.

- VII. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1. 724 Valley Ave shall be the main address.
 - VIII. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.01. Sprinklers will be required in proposed and existing due to additions being over 50% of the existing structure.
 - IX. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2022 California Building Code Chapter 15 Section 1505.
 - X. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the 2022 California Fire Code Chapter 12 Section 1205
- C. Engineering Department Conditions:
- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for all work to be done within the public right-of-way including but not limited to the items listed below. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
 - On Gonzales Street:
 - a. Construction of the G-2 curb and gutter, G-14D driveway approach, and modified storm drain curb inlet – type B.

On Valley Avenue:

- b. Approximately 10 ft transition curb on both sides of the proposed improvements including required pavement to the satisfaction of the City Engineer, construction of the D-27 sidewalk underdrain pipes.
- II. Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit/Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all private improvements in the public right of way including but not limited to:
 - a. Sidewalk underdrain pipes on Valley Ave
 - b. Modified storm drain curb inlet on Gonzales St
 - c. Landscaping within the public right of way
- III. A 1-foot width of property frontage along Gonzales Street shall be dedicated to the City of Solana Beach as public right of way. The Applicant shall provide the Plat and Legal Description prepared by a Registered Civil Engineer. The document shall be recorded with the County of San Diego prior to Final Inspection of the Building Permit
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved waste management plan shall be submitted.
- XI. Construction fencing shall be located on the subject property unless the applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the Solana Beach Municipal Code which allows otherwise.
- XII. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless in case of a sanitary sewer backup due to a blockage in the public sewer main. A backflow prevention device shall be installed on private property.
- XIII. The Applicant shall record a Storm Water Detention Easement for the detention basin prior to release of the Grading Bond/Final Inspection.

GRADING:

- I. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:

- a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
- b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.
- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. Cut and fill slopes shall be set back from site boundaries and buildings in accordance with SBMC 15.40.140 and to the satisfaction of the City Engineer.

- g. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- h. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- i. The Applicant shall obtain haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- j. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- l. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- n. No increased cross lot drainage shall be allowed.

- o. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demo permit is required for removing existing structures before grading, the applicant shall obtain the demo permit separately in order to certify the grading prior to issuance of the Building Permit.

D. City Council Conditions:

To be completed after council hearing.

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement

unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a special meeting of the City Council of the City of Solana Beach, California, held on the 16th day of July 2025, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



CONSULTANT:

CLIENT:

SUSAN AND ALEX WARD
 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075
 734 . 276 . 3707

PROJECT:

MODERN INDUSTRIAL
 REMODEL AND ADDITION
 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075

REVISIONS:

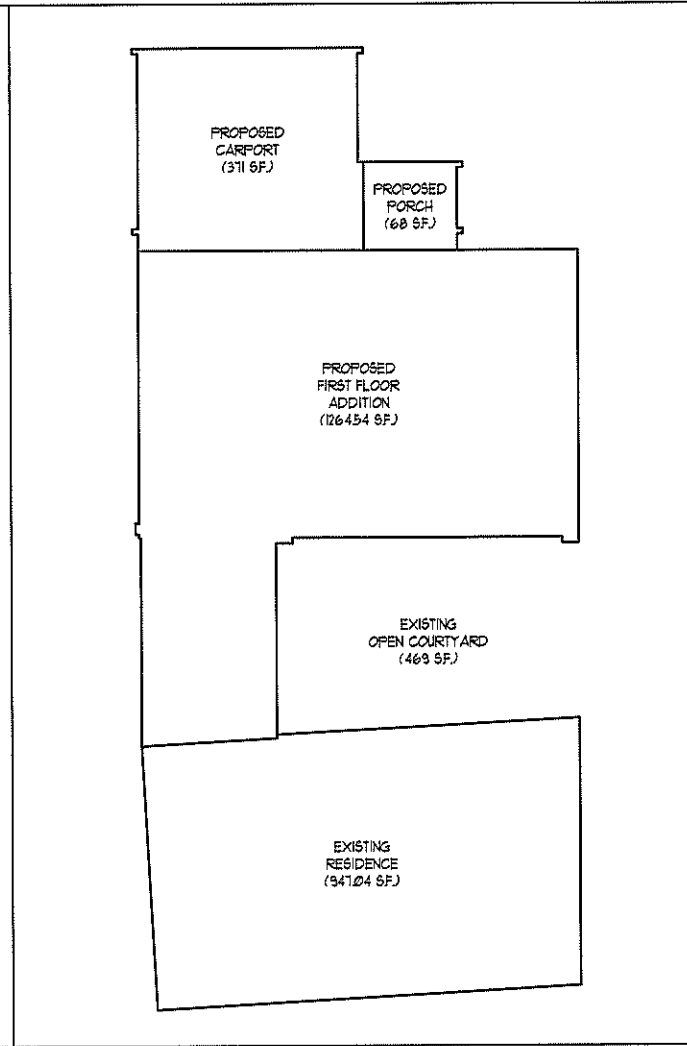
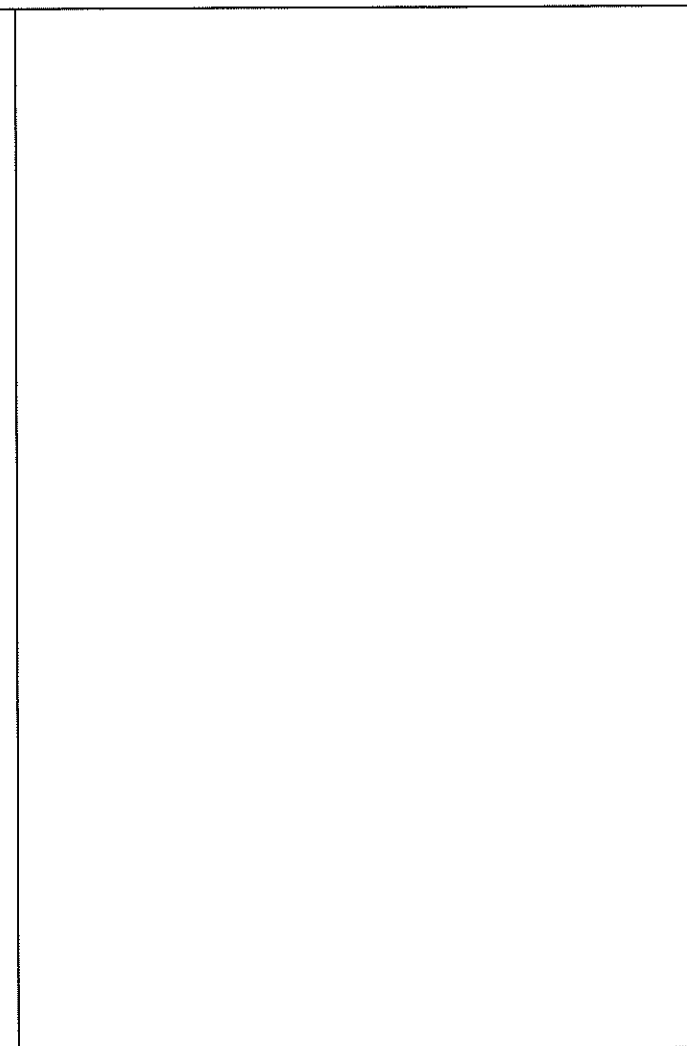
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ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY KPLA ARE AND SHALL REMAIN ITS CONFIDENTIAL INTELLECTUAL PROPERTY. THEY ARE TO BE USED IN RELIANCE TO THIS PROJECT ONLY. FEDERAL LAW PROHIBITS THE REPRODUCTION, SALE, COPIING OR ANY OTHER DISPOSITION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF KENNETH P. LOWE ASSOCIATES AND/OR ITS CONSULTANTS.
 DATE: 09.26.24
 DESIGN: KPL
 CHECKED: KPL
 PROJECT NO: 22-202
 SCALE: AS NOTED
 SHEET TITLE:

FLOOR AREA RATIO CALCS

SHEET NO:

A-0



GROUND FLOOR AREAS SCALE: 1/8" = 1' - 0" N

SETBACK	REQUIRED	PROPOSED
FRONT YARD SETBACK (VALLEY AVE)	25 FEET	37'-9"
INTERIOR SIDE YARD SETBACK (N)	5 FEET	5'-0"
INTERIOR SIDE YARD SETBACK (S)	5 FEET	5'-0"
FRONT YARD SETBACK (GONZALES STREET)	25 FEET	25'-5"

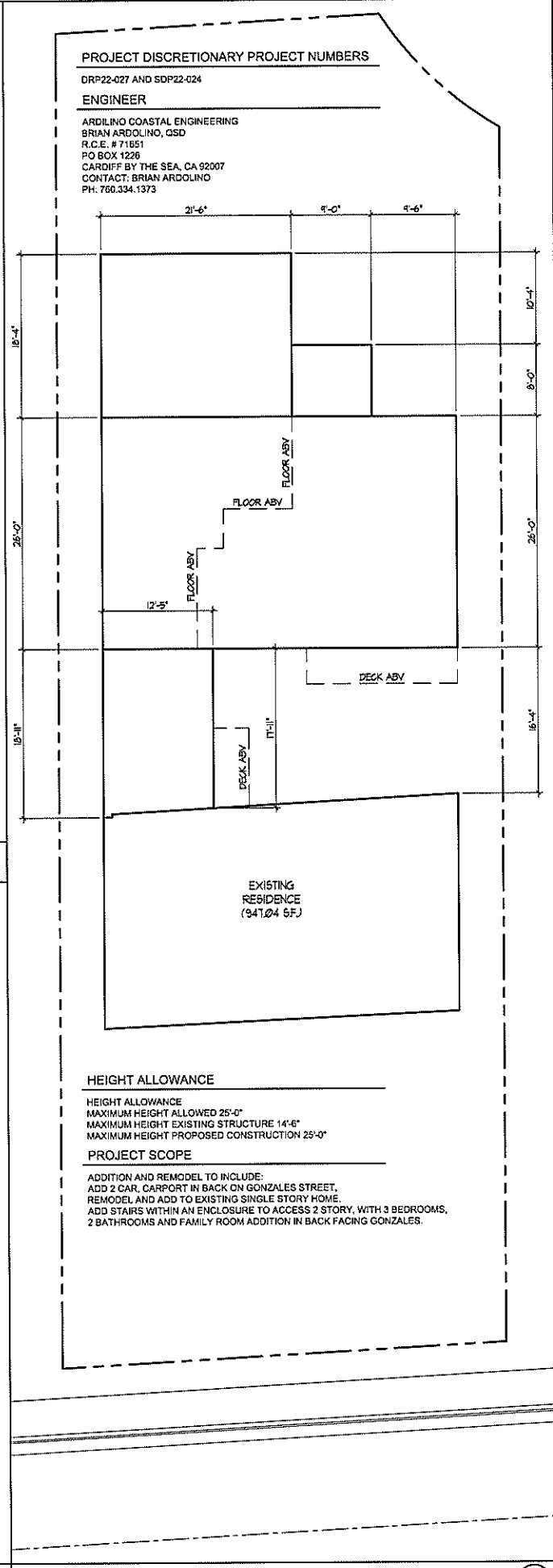
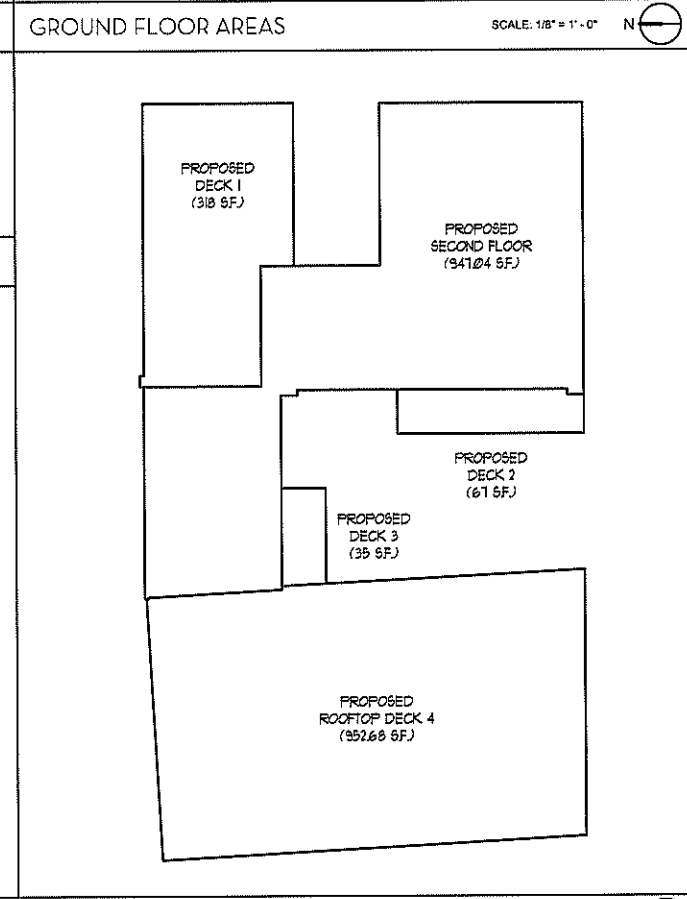
SETBACK INFORMATION

FLOOR AREA BREAKDOWN	
	SQUARE FOOTAGE
EXISTING FLOOR TO REMAIN	952.68 SF
EXISTING FIRST FLOOR DEMO (NONCONFORMING AREA)	(12.66 SF)
PROPOSED FIRST FLOOR ADDITION	1,264.54 SF
PROPOSED SECOND FLOOR	947.04 SF
TOTAL	3,164 SF
MAXIMUM ALLOWABLE FAR	3,242 SF

PROJECT DATA
 SITE AREA: 0.17 AC = 7,382 SF
 OCCUPANCY: R-3 / U-1
 CONSTRUCTION: TYPE V, SPINKLERED
 ZONING: MEDIUM RESIDENTIAL, SORZ
 STORIES: 2 STORIES

FLOOR AREA RATIO SROZ CALCULATIONS	
0.5 FOR FIRST 6,000 SF OF LOT AREA	3,000 SF
0.175 FOR REMAINING LOT AREA (1,382)	241.85 SF
MAXIMUM ALLOWABLE FLOOR AREA	3,242 SF

F.A.R. FOR PROPOSED PROJECT DOES NOT EXCEED MAXIMUM TOTAL FOOTAGE ALLOWED



FLOOR AREAS AND FAR SROZ SUMMARY TOTALS

UPPER FLOOR AREAS


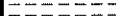


FLOOR AREAS REFERENCE SITE PLAN

DIMENSION NOTE
 VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

JOB CONDITIONS
 THE GENERAL CONTRACTOR AND/OR SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT EACH SUBCONTRACTOR PERFORMS THE WORK IN ACCORDANCE WITH ALL CODES IN A TIMELY MANNER TO FACILITATE COORDINATION WITH OTHER SUBCONTRACTORS.

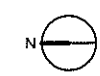
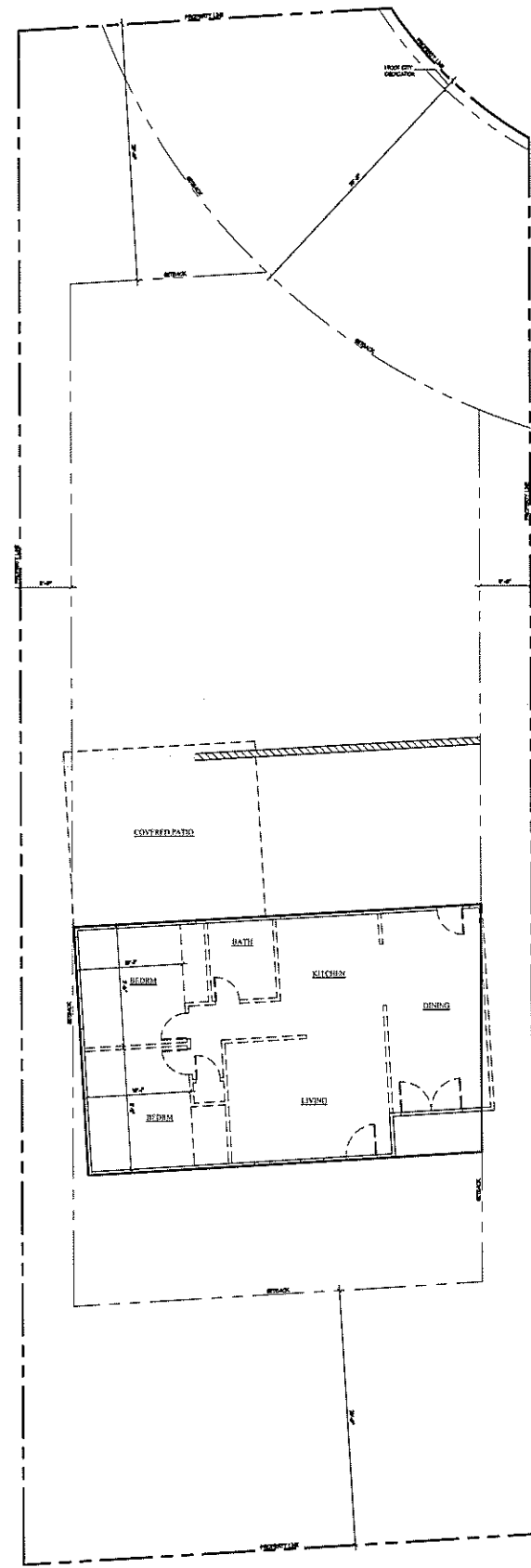
CLEAN UPS AND PROTECTION
 A. PROTECTION: ADEQUATELY PROTECT ALL WORK FROM DAMAGE BY SUBSEQUENT CONSTRUCTION OPERATIONS. DAMAGED WORK SHALL BE REFINISHED OR REPLACED.
 B. CLEANUPS: GENERAL CONTRACTOR AND/OR SUB-CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	RETAINING WALLS TO BE REMOVED
	RETAINING WALLS TO REMAIN

SEE ENGINEERING DEMOLITION PLAN, SHEET DP-1 FOR ACCURATE AND DETAILED SITE DEMOLITION AND SPECIFICATIONS.

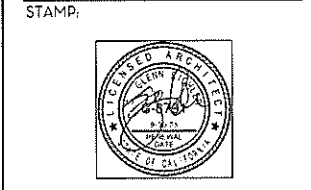
SEE ENGINEERING DEMOLITION PLAN, SHEET DP-1 FOR ACCURATE AND DETAILED SITE DEMOLITION AND SPECIFICATIONS.



SCALE: 1/8" = 1' - 0"

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 3125B Camino Capistrano, Suite A 427
 San Juan Capistrano, CA 92675
 Ph: 949.632.4240
 E-mail: kpl@kplassociates.com

Kenneth P Lowe Associates
 Interior Architecture Space Planning Project Management



CONSULTANT:

CLIENT:

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 724 VALLEY AVENUE
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 734 . 276 . 3707

PROJECT:

MODERN INDUSTRIAL
 REMODEL AND ADDITION
 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075

REVISIONS:

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DATE: 09.26.24
 DESIGN: KPL
 CHECKED: KPL
 PROJECT NO: 22-202
 SCALE: AS NOTED
 SHEET TITLE:

DEMO WALL PLAN

SHEET NO:

SMOKE DETECTORS

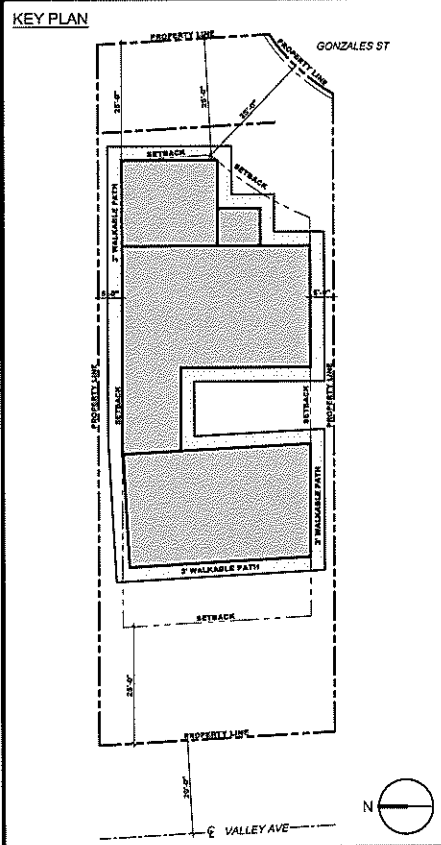
☉ SMOKE DETECTORS (AFCI PROTECTED) (UL 217)

PROVIDE SMOKE DETECTORS IN EACH HALLWAY LEADING TO SLEEPING ROOMS AND IN EACH SLEEPING ROOM OF NEW OR EXISTING CONSTRUCTION. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE DETECTORS SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME.

CARBON MONOXIDE DETECTORS

☉ CARBON MONOXIDE DETECTORS (AFCI PROTECTED) (UL 2024/2075)

PROVIDE CARBON MONOXIDE DETECTORS IN EACH HALLWAY LEADING TO SLEEPING ROOMS OF NEW OR EXISTING CONSTRUCTION. IN NEW CONSTRUCTION CARBON MONOXIDE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME.



WHOLE HOUSE VENTILATION (ASHRAE STANDARD EQUATION 4.1(a))

SQUARE FEET OF CONDITIONED FLOOR AREA (CFA)

CFA SQUARE FOOTAGE SQ. FT.

MULTIPLY 0.01 x CFA A =

OF BEDROOMS PLUS 1

MULTIPLY 7.5 x B =

DETERMINE EXHAUST FAN VOLUME

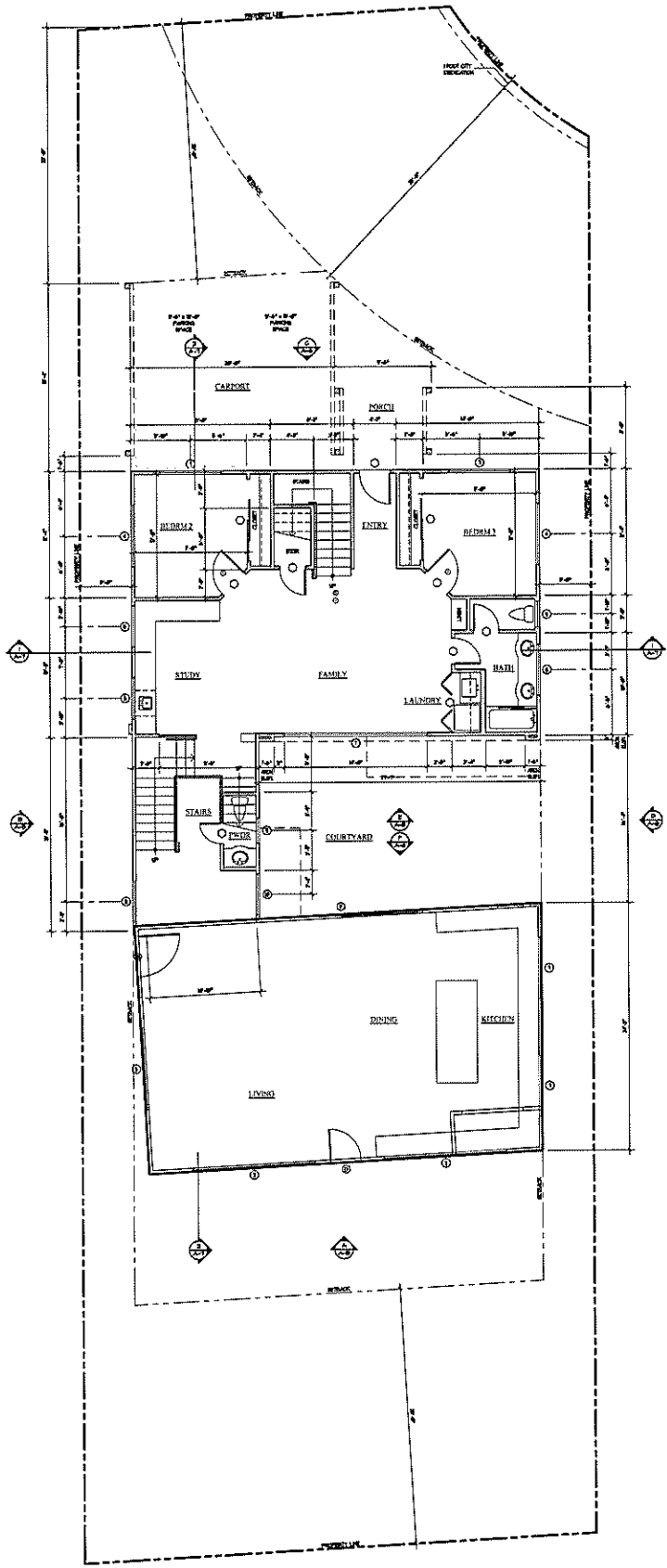
A + B = (CUBIC FEET PER MINUTE) CFM

IN ADDITION TO LOCAL EXHAUST FANS IN THE BATHROOMS AND KITCHENS, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE. THE MINIMUM VENTILATION RATE FOR THE WHOLE-BUILDING EXHAUST FAN SHALL BE CALCULATED ACCORDING TO ASHRAE STANDARD 62.2 EQUATION 4.1(A). THE CONDITIONED FLOOR AREA AND THE NUMBER OF BEDROOMS IN THE HOME (THE EXISTING HOME AND ADDITION) WILL DETERMINE THE MINIMUM VENTILATION RATE. ONE OF THE LOCAL EXHAUST FANS IN THE BATHROOMS OR KITCHEN MAY BE USED TO MEET THE WHOLE-BUILDING VENTILATION, PROVIDED THE EXHAUST FAN MEETS THE MINIMUM VENTILATION RATE FOR BOTH THE LOCAL EXHAUST AND THE WHOLE-BUILDING VENTILATION REQUIREMENTS. THE DUCTING FOR THE WHOLE-BUILDING EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 11 AND THIS EXHAUST FAN SHALL OPERATE CONTINUOUSLY. THIS FAN SHALL BE AIR KINGS ESVD WITH UNDER 1 SONE SOUND RATINGS. OWNER/BUILDER MAY USE EQUIVALENT.

THE WHOLE-BUILDING VENTILATION EXHAUST FAN WILL OPERATE CONTINUOUSLY AND IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 1 SONE. THIS EXHAUST FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH BUT THE SWITCH MUST BE LABELED TO INFORM OCCUPANT THAT THE EXHAUST FAN IS THE WHOLE-BUILDING VENTILATION EXHAUST FAN AND IS INTENDED TO OPERATE CONTINUOUSLY. NO SPECIFIC WORDING IS MANDATED, BUT THE WORDING NEEDS TO MAKE CLEAR WHAT THE CONTROL IS FOR AND THE IMPORTANCE OF OPERATING THE SYSTEM. THIS MAY BE AS SIMPLE AS "VENTILATION CONTROL" OR MIGHT INCLUDE WORDING SUCH AS: "OPERATE WHEN THE HOUSE IS IN USE" OR "KEEP ON EXCEPT WHEN GONE OVER 1 DAYS" OR "FAN IS TO BE LEFT ON TO INSURE INDOOR AIR QUALITY".

DIMENSION NOTE

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.



PLAN KEY NOTES

WALL LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS - 2x AT 16" O/C
- EXISTING MASONRY WALLS

WINDOW SCHEDULE

SYM	QTY	WIDTH	HEIGHT	TYPE	AREA	OPEN AREA	TEMP SAFETY	U-FCTR	SHGC
(1)	1	14'-0"	5'-0"	SL	70.00'	35.00'	-	0.3	22
(2)	2	12'-0"	5'-0"	SL	60.00'	30.00'	-	0.3	22
(3)	1	8'-0"	5'-0"	SL	40.00'	20.00'	-	0.3	22
(4)	2	6'-0"	5'-0"	SL	30.00'	15.00'	-	0.3	22
(5)	2	4'-0"	5'-0"	SL	20.00'	10.00'	-	0.3	22
(6)	2	3'-6"	5'-6"	SL / A	19.25'	12.25'	-	0.3	22
(7)	7	6'-0"	1'-6"	A	9.00'	9.00'	YES	0.3	22
(8)	1	5'-0"	1'-6"	A	7.50'	7.50'	YES	0.3	22
(9)	3	2'-6"	1'-6"	A	3.75'	3.75'	YES	0.3	22
(10)	1	4'-0"	8'-0"	FX	32.00'	0.00'	-	0.3	22
(11)	2	7'-0"	4'-0"	FX	28.00'	0.00'	-	0.3	22
(12)	1	4'-0"	4'-0"	FX	16.00'	0.00'	-	0.3	22
(13)	1	3'-2"	13'-0"	FX	41.00'	0.00'	-	0.3	22

NOTES:

FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

WINDOWS: TO BE FLEETWOOD BLACK WITH LOW-E4 DUAL GLAZING AND 1/2" AIR GAP.

SLIDING DOORS: TO BE FLEETWOOD BLACK WITH LOW-E4 DUAL GLAZING AND 1/2" AIR GAP.

SCREENS: PROVIDE ALUMINUM FRAMED FIBERGLASS SCREEN AT EACH OPEN VENT.

SECURITY: ALL DOOR AND WINDOWS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

EXTERIOR WINDOWS OR DOORS LABELED WITH AN 'E' TO PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOM. MINIMUM AREA: 5.7 SQ. FT., MINIMUM WIDTH: 20", MINIMUM HEIGHT: 24", MAXIMUM SILL HEIGHT: 44". THESE WINDOWS SHALL COMPLY WITH CBC.

WINDOW TYPES:
 CS = CASEMENT DH = DOUBLE HUNG SH = SINGLE HUNG SL = SLIDER
 A = AWNING

DOOR SCHEDULE

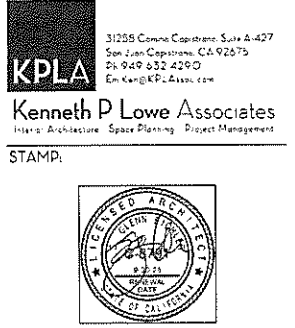
SYM	QTY	WIDTH	HEIGHT	DOOR DESCRIPTION
(A)	1	14'-0"	8'-0"	(2)-7080 FLEETWOOD SLIDING GLASS PANELS
(B)	1	8'-0"	5'-0"	(2)-4080 FLEETWOOD SLIDING GLASS PANELS
(C)	1	8'-0"	6'-8"	(2)-4068 FLEETWOOD SLIDING GLASS PANELS
(D)	2	7'-0"	6'-0"	(2)-3680 FLEETWOOD SLIDING GLASS PANELS
(E)	1	4'-0"	8'-0"	4080 FLEETWOOD SWINGING GLASS DOOR
(F)	1	16'-0"	8'-0"	(3)-5080 FLEETWOOD SLIDING GLASS PANELS

NOTES:

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EXTERIOR DOORS:
 1. FLUSH WOOD DOORS: 1 3/4" SOLID CORE, (EXTERIOR GRADE), WITH MULTIPLE PANELS, TO BE SELECTED BY CLIENT.
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 3. GLASS DOORS: ALL GLASS DOORS TO BE TEMPERED SAFETY GLASS

INTERIOR DOORS:
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CONSULTANT:

CLIENT:

SUSAN AND ALEX WARD
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 SOLANA BEACH, CA 92075
 734 . 276 . 3707

PROJECT:

MODERN INDUSTRIAL
 REMODEL AND ADDITION
 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075

REVISIONS:

NO.	DATE	DESCRIPTION	BY
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DATE: 09 . 26 . 24
 DESIGN: KPL
 CHECKED: KPL
 PROJECT NO: 22-202
 SCALE: AS NOTED
 SHEET TITLE:

FIRST FLOOR PLAN

SHEET NO:

SMOKE DETECTORS

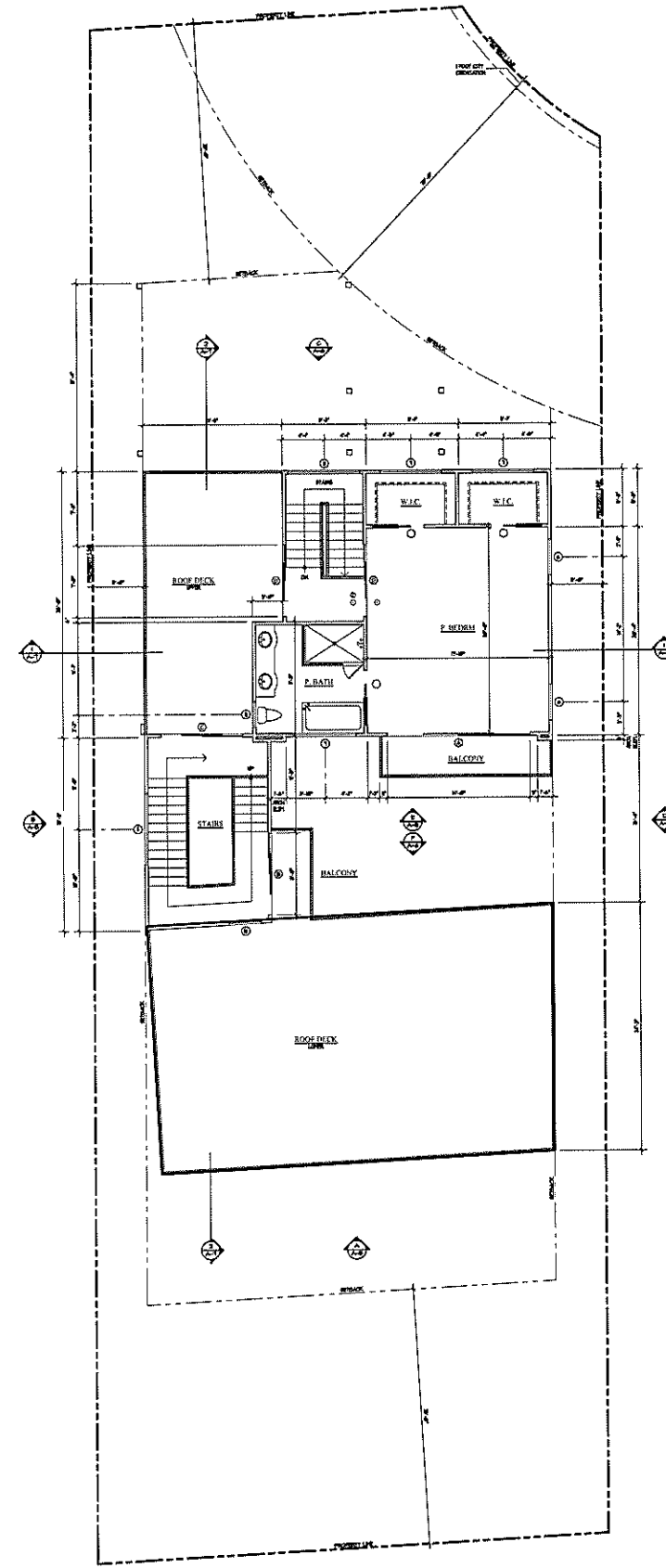
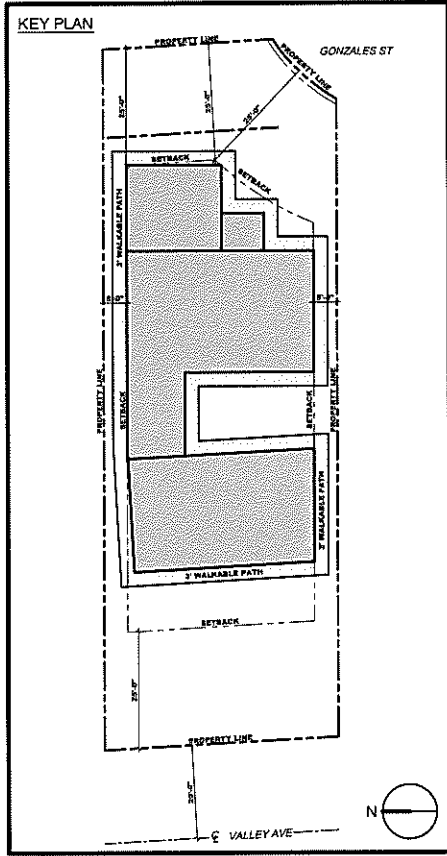
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DOOR SCHEDULE

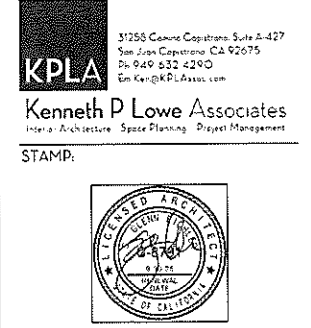
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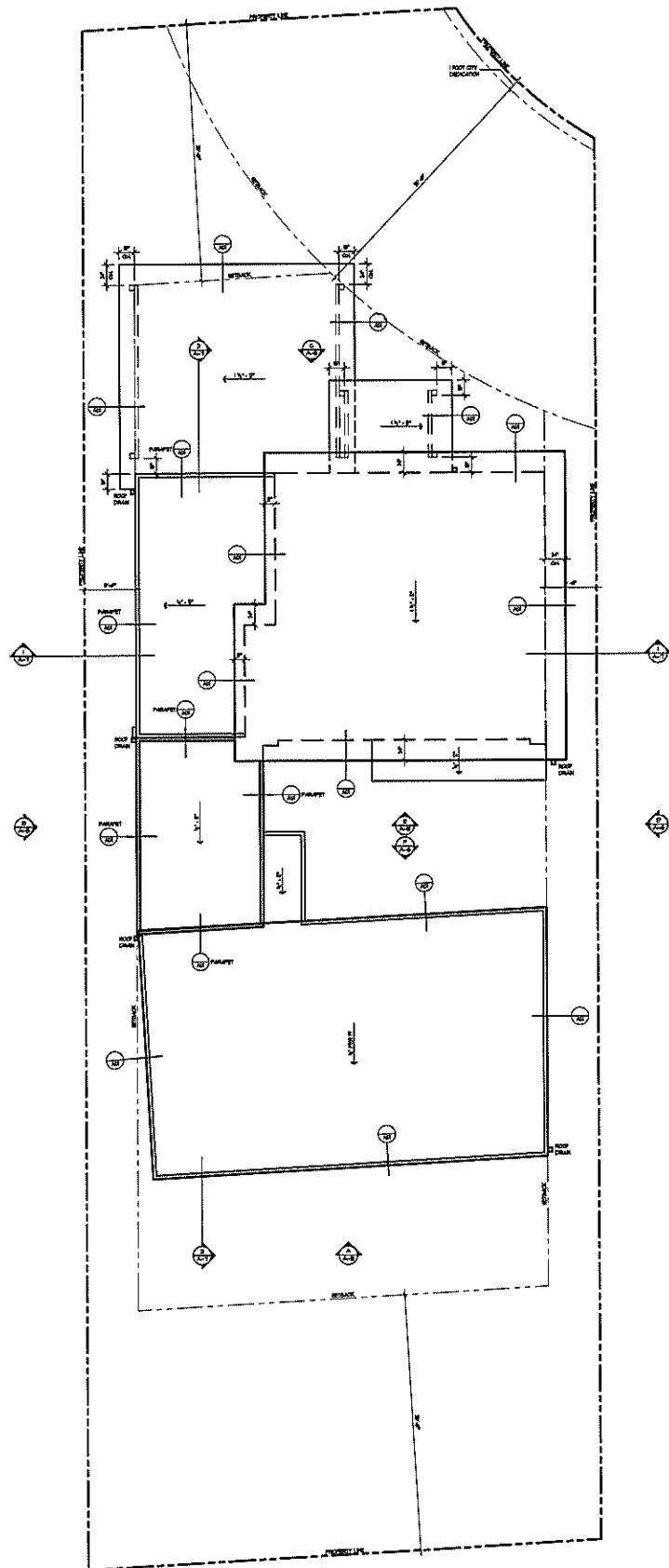
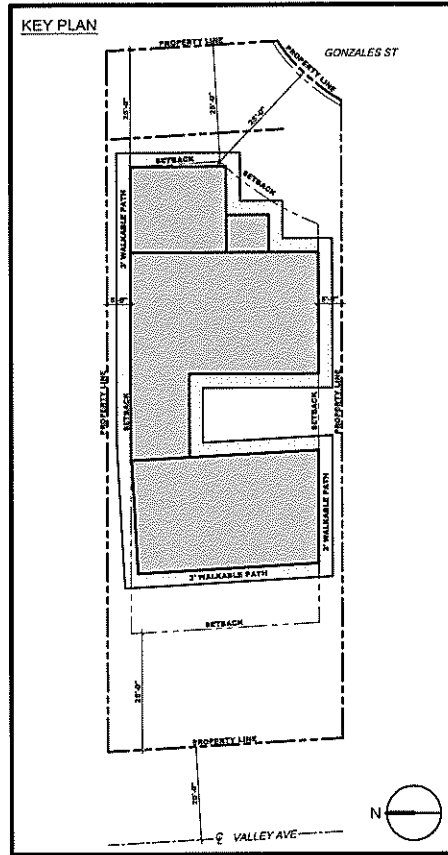
PROJECT:

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 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075

REVISIONS:

NO.	DATE	DESCRIPTION	BY

DATE: 09 . 26 . 24
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 SHEET TITLE:



DIMENSION NOTE
 VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

ROOF NOTES

1. ALL ROOFS COVERINGS SHALL BE CLASS A TO THE SATISFACTION OF THE FIRE DEPT. AND THE 2019 CBC SECT. 1505 CHAPTER 15.
2. PROVIDE G.I. VALLEY FLASHING WHERE ROOF PITCHES CHANGE.
3. PROVIDE G.I. FLASHING AT ALL ROOF TO WALL INTERSECTIONS.
4. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION IN ACCORDANCE WITH THE ATTIC CALCULATIONS HEREIN.
5. GUTTERS AND DIVERTERS ARE TO BE PROVIDED BY CONTRACTOR, AS REQUIRED.
6. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
7. CONTRACTOR SHALL INSPECT ENTIRE ROOF, BOTH EXISTING & NEW. PRIOR TO INSTALLATION OR REPAIR OF ANY ROOFING MATERIALS, ALL EXISTING AREAS SHALL BE REPAIRED AS REQUIRED.
8. TYPE 'B' OR 'BW' GAS VENTS WITH LISTED VENT CAPS 12" IN SIZE OR SMALLER SHALL BE PERMITTED TO BE TERMINATED IN ACCORDANCE WITH TABLE 6-A, PROVIDED THEY ARE LOCATED AT LEAST 8' FROM A VERTICAL WALL OR SIMILAR OBSTRUCTION. ALL OTHER TYPE 'B' GAS VENTS SHALL TERMINATE NOT LESS THAN 2' ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' PER CMC SEC. 808.4 (REFER TO TABLE 6-A FOR REQUIRED CLEARANCES AT DIFFERENT ROOF SLOPES FOR VENTS MEETING THE SECOND CRITERIA).

CLASS A ROOFING

CLASS 'A' ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS 'A' ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2019 CALIFORNIA BUILDING CODE CHAPTER 15 SECTION 1505.

BUILT-UP ROOFING

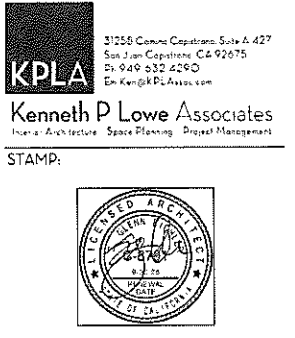
1. MANVILLE THREE PLY GRAVEL SURFACE FIBERGLASS BUILT-UP ROOF SPECIFICATION NUMBER 3 GNG OR APPROVED EQUAL. U.L. CLASS A BONDABLE FOR 20 YEARS. MATERIALS PER 100 SQ. FT.
- SHEATHING PAPER - 1 LAYER FELTS.
- GLASSPLY PREMIER OR GLASSPLY IV - 1 LAYER
- GLASSPLY PREMIER OR GLASSPLY IV - 2 PLYS
- BITUMEN - 25 LBS./PYSQUARE SURFACING - 400 LBS.
- GRAVEL/SQUARE OVER 60 LBS/SQUARE ASPHALT

VENTILATION NOTES

1. ALL REQUIRED VENTS SHALL BE INSTALLED IN ACCORDANCE WITH WRITTEN INSTRUCTIONS PROVIDED IN EACH CARTON OF VENTS.
2. TO ENSURE PROPER INSTALLATION, VENTS TO BE INSTALLED DURING LAY UP OF THE ROOFING TO INSURE PROPER PLACEMENT AND FIT IN THE ROOF TILE COURSE.
3. VENTS REQUIRED AT THE HIGH ROOF AREA SHALL BE UNIFORMLY PLACED NOT LOWER THAN ONE FULL ROOFING COURSE BELOW THE RIDGE ASSEMBLY.
4. ALL VENTS REQUIRED AT THE ROOF AREA SHALL BE PLACED AS CLOSE TO THE UPPER SIDE AT THE FREEZE BLOCKING ABOVE THE PERIMETER PLATE LINE. ATTENTION SHALL BE GIVEN TO THE WIDTH OF ANY EAVE OVERHANGS AND INSULATION THICKNESS.
5. POWER TOOLS TO CUT THE REQUIRED OPENINGS IN THE ROOF SHEATHING SHALL BE CAREFULLY SET TO THE APPROPRIATE SHEATHING THICKNESS TO AVOID CUTTING INTO ANY STRUCTURAL (RAFTERS) MEMBERS OF THE ROOF ASSEMBLY.
6. ALL GALVANIZED SURFACE AREAS OF VENTS TO BE PAINTED SHALL BE PROPERLY PREPARED TO RECEIVE PAINT WITH GALVANIZED PRIME OR LIBERALLY WIPED DOWN WITH ASCETIC ACID ALLOWED TO DRY AND UNIFORMLY PAINTED WITH A QUALITY MATTE FINISH METAL PAINT ONE SHADE DARKER THAN THE ROOFING COLOR OR AS SELECTED BY OWNERS. SAME PAINT SHALL BE USED TO PAINT ALL EXPOSED METAL ROOF FLASHING AND PLUMBING VENTS.
7. INSULATION Baffles TO BE PROVIDED AT ALL EAVE VENT RAFTER/TRUSS BAYS FOR REQUIRED AIRFLOW.
8. OPENING SHALL BE PROVIDED AT ALL CA ROOF FILLFRAME SECTIONS FOR REQUIRED ACCESS AND AIR FLOW MOVEMENT. WHERE FILLFRAME CONDITIONS DO NOT PERMIT REQUIRED OPENINGS, A MINIMUM 12" X 12" OPENING SHALL BE PROVIDED AT THE UPPER PORTION OF THE FILLFRAME AREA.
9. PER SECTION 906.2 OF THE UNIFORM PLUMBING CODE, NO VENTS SHALL BE PLACED WITHIN 10' OF OR LESS THAN 3' ABOVE ANY PLUMBING VENTS.
10. PER SECTION 703.1 - 703.1.2.3. OF CHAPTER 7 OF THE UNIFORM MECHANICAL CODE ANY ADDITIONAL COMBUSTION AIR REQUIREMENTS FOR ATTIC MOUNTED FUEL-PLUMBING APPLIANCES TO BE VERIFIED BY TITLE 24 ENGINEER.
11. OPENINGS IN VENTS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MINIMUM AND 1/4" MAXIMUM OPENINGS.

WHOLE-BUILDING VENTILATION

PER ASHRAE STANDARD 62.2 Table 7.1, a WHOLE BUILDING VENTILATION FAN IS REQUIRED TO RUN CONTINUOUSLY. THE MINIMUM VENTILATION RATE SHALL BE CALCULATED ACCORDING TO ASHRAE STANDARD 62.2 EQUATION 4.1(a). FAN MANUFACTURER, MODEL, AND SOUND RATING TO BE DETERMINED. THE WHOLE-HOUSE VENTILATION EXHAUST FAN WILL OPERATE CONTINUOUSLY AND IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 1 SONE. THIS EXHAUST FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH BUT THE SWITCH MUST BE LABELED TO INFORM THE OCCUPANT THAT THE EXHAUST FAN IS THE WHOLE HOUSE BUILDING VENTILATION EXHAUST AND IS INTENDED TO OPERATE CONTINUOUSLY. NO SPECIFIC WORDING IS MANDATED, BUT THE WORDING NEEDS TO MAKE CLEAR WHAT THE CONTROL IS FOR AND THE IMPORTANCE OF OPERATING THE SYSTEM. THIS MAY BE AS SIMPLE AS "VENTILATION CONTROL", OR MIGHT INCLUDE WORDING SUCH AS "OPERATE WHEN HOUSE IS IN USE" OR "KEEP ON WHEN GONE MORE THAN 7 DAYS" OR "FAN TO BE LEFT ON TO ENSURE INDOOR AIR QUALITY"



CONSULTANT:

CLIENT:

SUSAN AND ALEX WARD
 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075
 734 . 276 . 3707

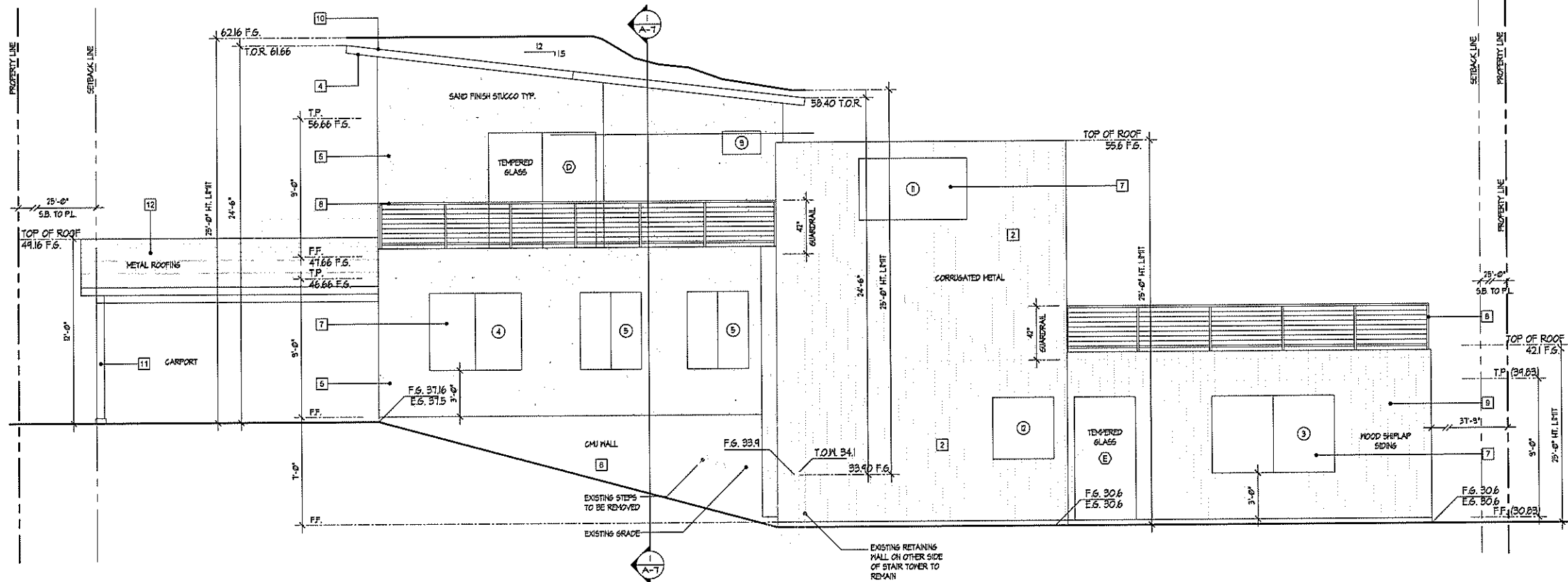
PROJECT:

MODERN INDUSTRIAL
 REMODEL AND ADDITION
 724 VALLEY AVENUE
 SOLANA BEACH, CA 92075

REVISIONS:

NO.	DATE	DESCRIPTION	BY

DATE: 09 . 26 . 24
 DESIGN: KPL
 CHECKED: KPL
 PROJECT NO.: 22-202
 SCALE: AS NOTED
 SHEET TITLE:



NORTH ELEVATION B

SCALE: 1/4" = 1'-0"

NOTES

ELEVATION KEY NOTES

- 1 HORIZONTAL METAL SIDING - WESTERN STATES METAL, WESTERN WAVE, A866-4 (AKA CORTEN), UNCOATED NATURAL FINISH
- 2 VERTICAL METAL SIDING - WESTERN STATES METAL, 7/8" CORRUGATED, A255 (AKA GALVALUME OR ZINCALUME), ACRYLIC CLEAR COATED
- 3 METAL FASCIA BOARD - WESTERN STATES METAL, T-GROOVE - NR, PAINTED MATTE BLACK
- 4 METAL EAVE TRIM BOARDS - WESTERN STATES METAL, T-GROOVE - NR, PAINTED MATTE PATINA
- 5 STUCCO - MERLEX SBF, NATURAL CEMENT COLORED, SAND FINISH
- 6 CMU BLOCK - PARGED, NATURAL CMU BLOCK CEMENT COLORED, HONED FINISH
- 7 FLEETWOOD WINDOWS - BLACK ANODIZED ALUMINUM FRAMES WITH GRAYLITE II GLASS
- 8 VIEWRAIL - ROD RAILING, ONYX ALL BLACK EVERYTHING, MATTE BLACK POWDER COATED RAILINGS, POST AND RODS
- 9 VERTICAL CHARRED WOOD SIDING - NAKAMOTO FORESTRY, 6" CYPRESS SHIPLAP, SELECT GRADE, GENDAI WITH LINSEED OIL BLACK FINISH
- 10 TORCH DOWN ROOF - GAF, RUBEROID, TORCH APP MODIFIED BITUMEN MEMBRANE, GRANULATED WHITE
- 11 CARPORT STEEL POST AND BEAMS - PAINTED MATTE BLACK
- 12 METAL ROOF COVERING - WESTERN STATES METAL, 7/8" CORRUGATED, A255 (AKA GALVALUME OR ZINCALUME), ACRYLIC CLEAR COATED

31250 Camino Capistrano, Suite A-127
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KPLA
Kenneth P Lowe Associates
Interior Architecture Space Planning Project Management

STAMP:

CONSULTANT:

CLIENT:

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734 . 276 . 3707

PROJECT:

MODERN INDUSTRIAL
REMODEL AND ADDITION
724 VALLEY AVENUE
SOLANA BEACH, CA 92075

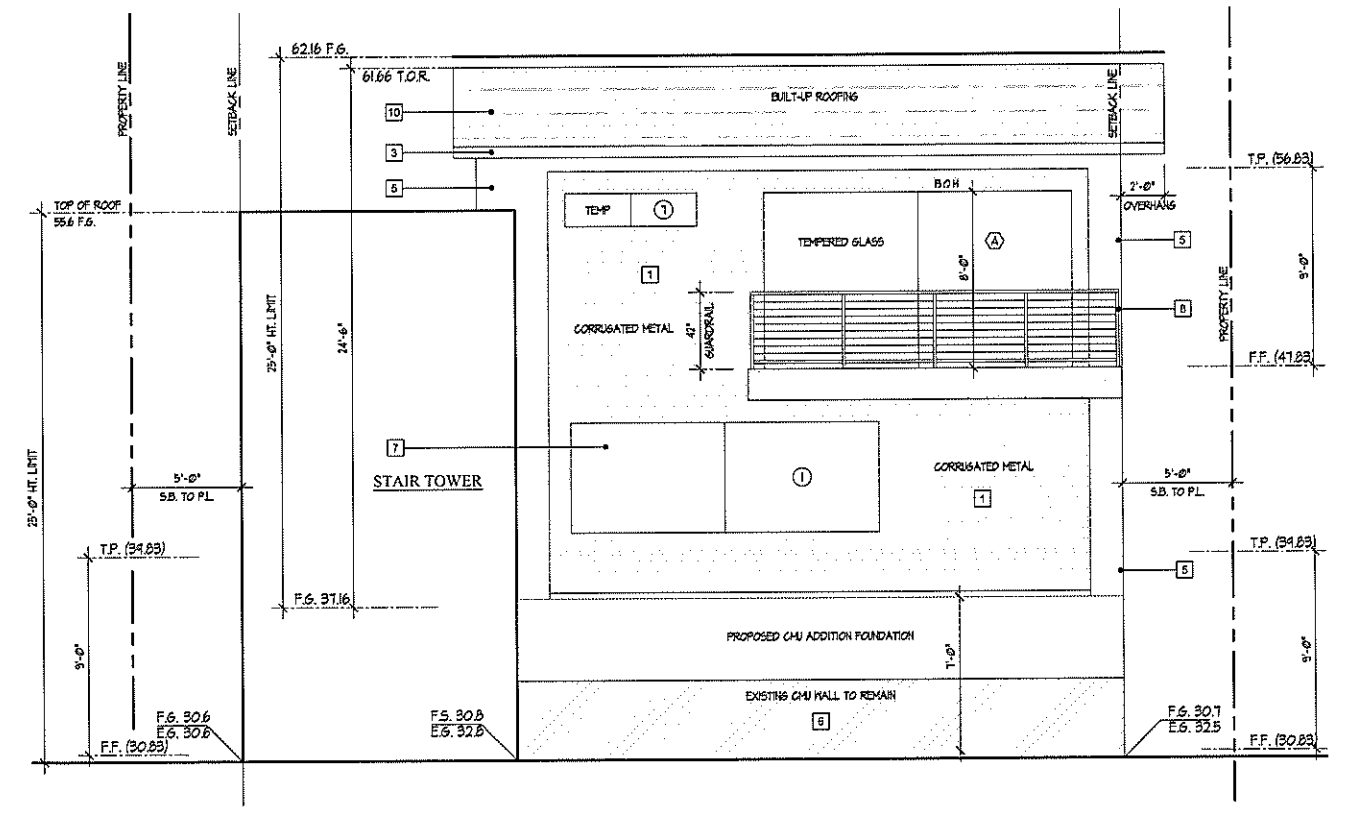
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NO.	DATE	DESCRIPTION	BY
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DATE: 09 . 26 . 24
DESIGN: KPL
CHECKED: KPL
PROJECT NO: 22-202
SCALE: AS NOTED
SHEET TITLE:

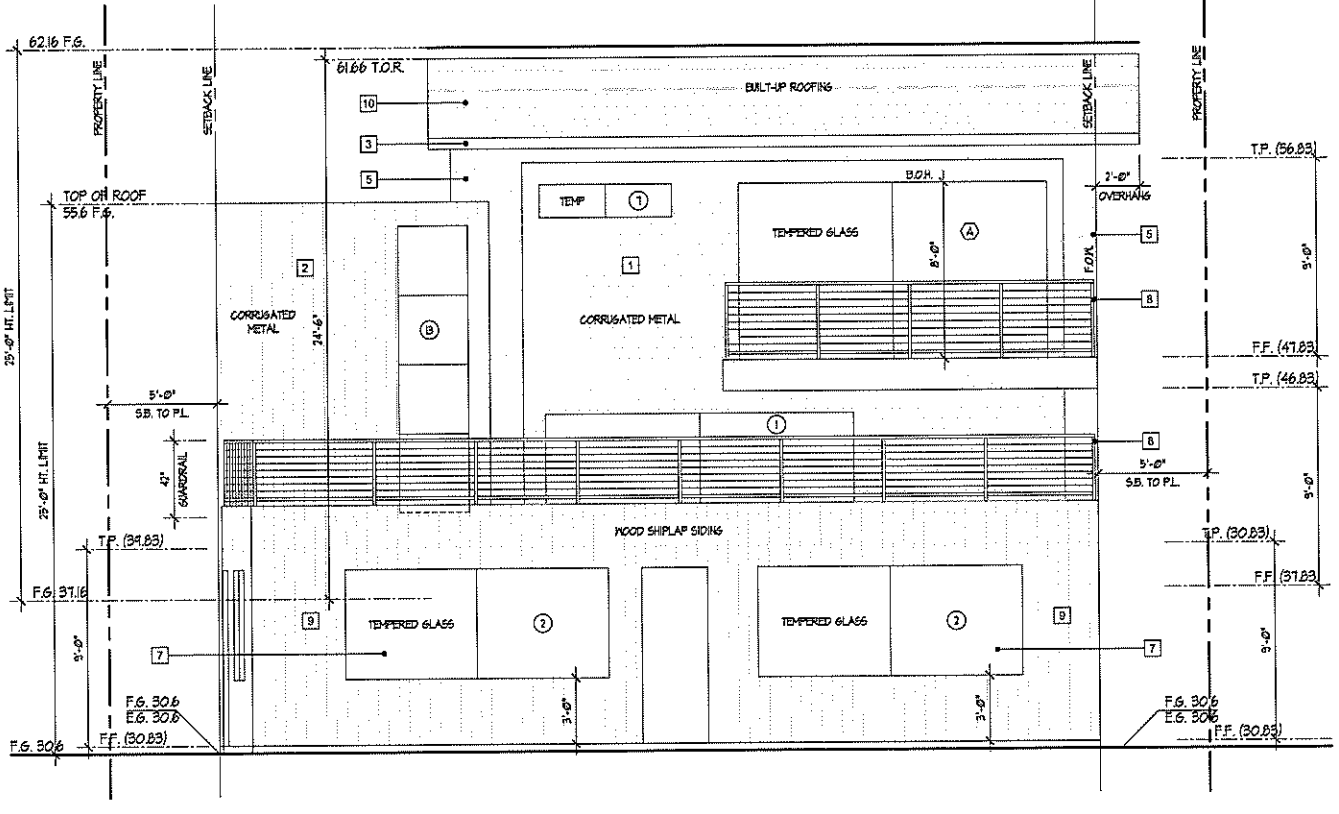
ELEVATIONS

SHEET NO: A-5



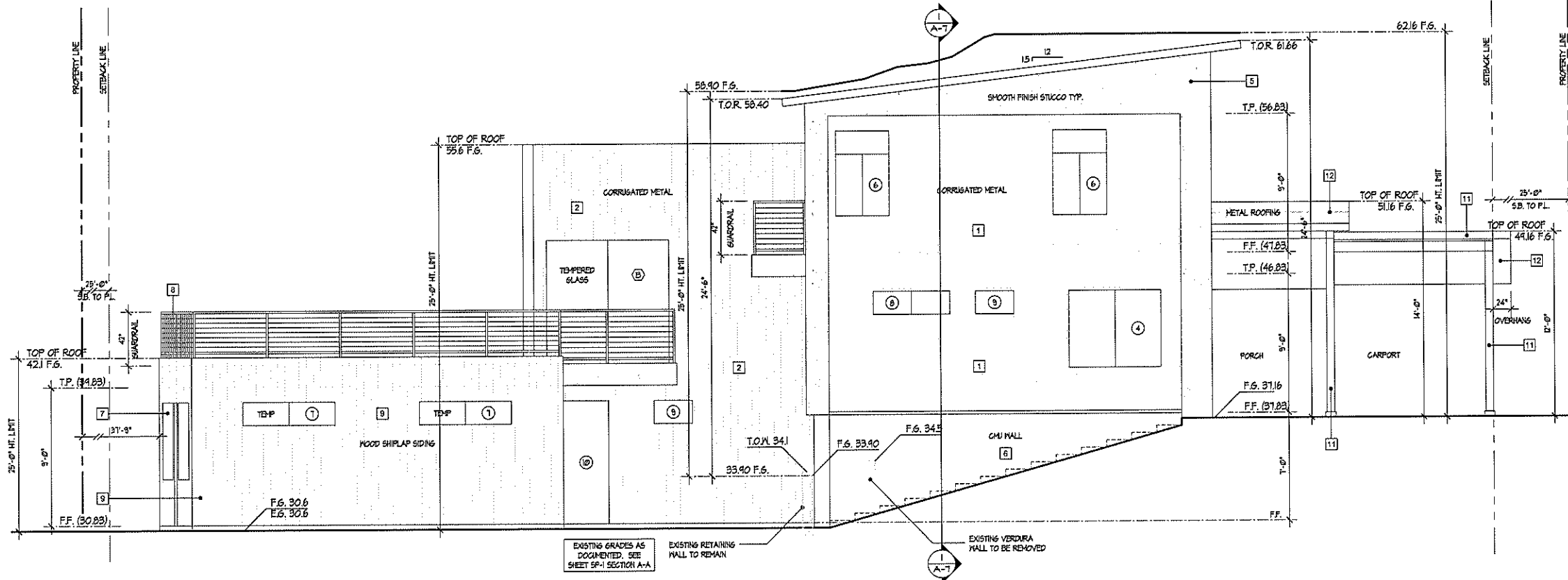
WEST ELEVATION E

SCALE: 1/4" = 1'-0"



WEST ELEVATION A

SCALE: 1/4" = 1'-0"



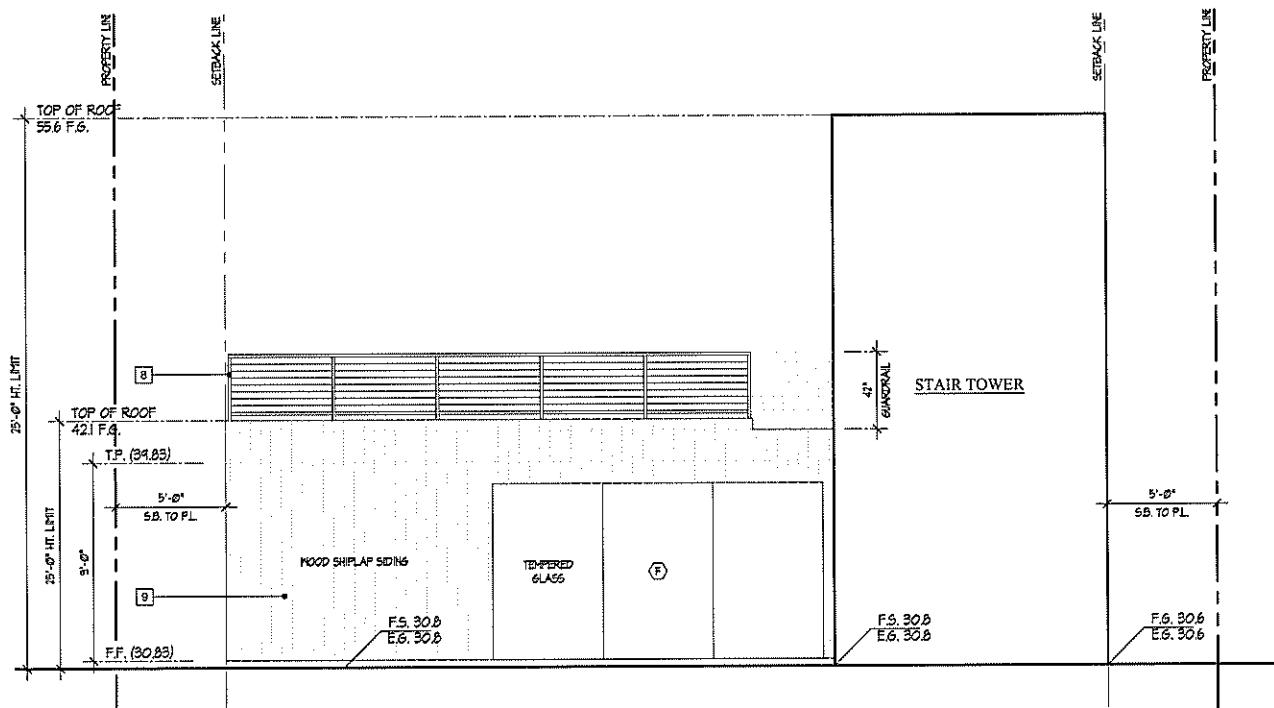
SOUTH ELEVATION D

- ELEVATION KEY NOTES**
- 1 HORIZONTAL METAL SIDING - WESTERN STATES METAL, WESTERN WAVE, A668-4 (AKA CORTEN), UNCOATED NATURAL FINISH
 - 2 VERTICAL METAL SIDING - WESTERN STATES METAL, 7/8" CORRUGATED, AZ55 (AKA GALVALUME OR ZINCALUME), ACRYLIC CLEAR COATED
 - 3 METAL FASCIA BOARD - WESTERN STATES METAL, T-GROOVE - NR, PAINTED MATTE BLACK
 - 4 METAL EAVE TRIM BOARDS - WESTERN STATES METAL, T-GROOVE - NR, PAINTED MATTE BLACK
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SCALE: 1/4" = 1'-0"

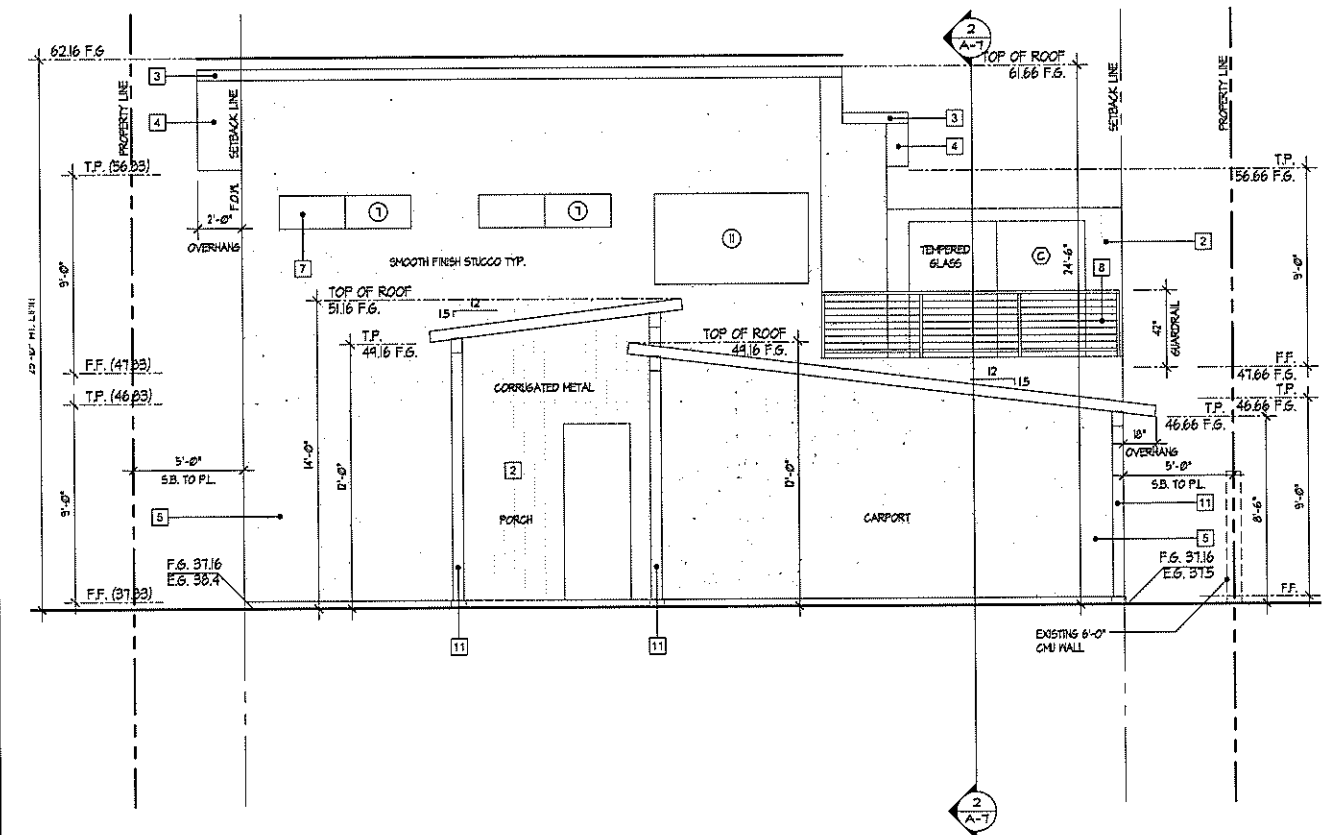
NOTES

EXISTING GRADES AS DOCUMENTED, SEE SHEET SP-1 SECTION A-A
 EXISTING RETAINING WALL TO REMAIN
 EXISTING VERDURA WALL TO BE REMOVED



EAST ELEVATION F

SCALE: 1/4" = 1'-0"



EAST ELEVATION C

SCALE: 1/4" = 1'-0"

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KPLA
 Kenneth P Lowe Associates
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PROJECT:

MODERN INDUSTRIAL
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REVISIONS:

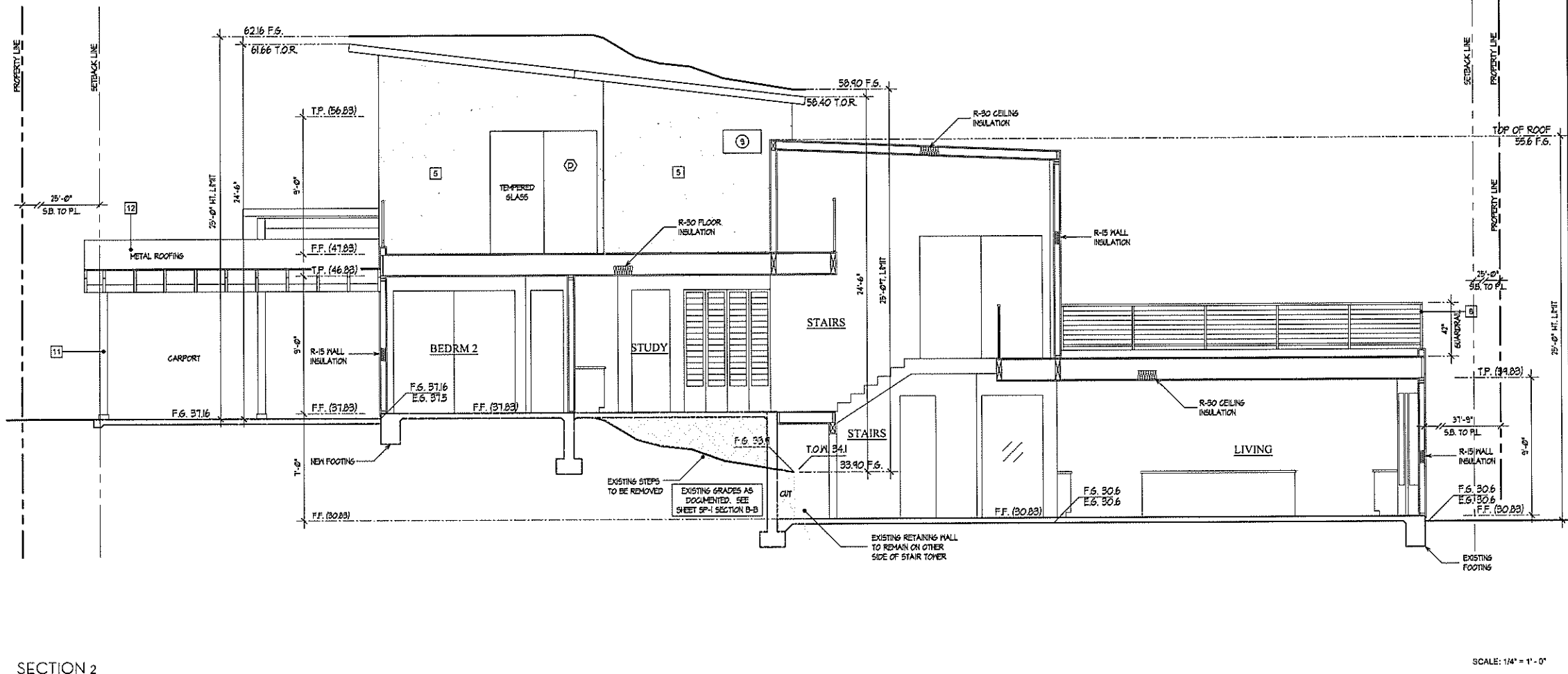
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 PROJECT NO.: 22-202
 SCALE: AS NOTED
 SHEET TITLE:

ELEVATIONS

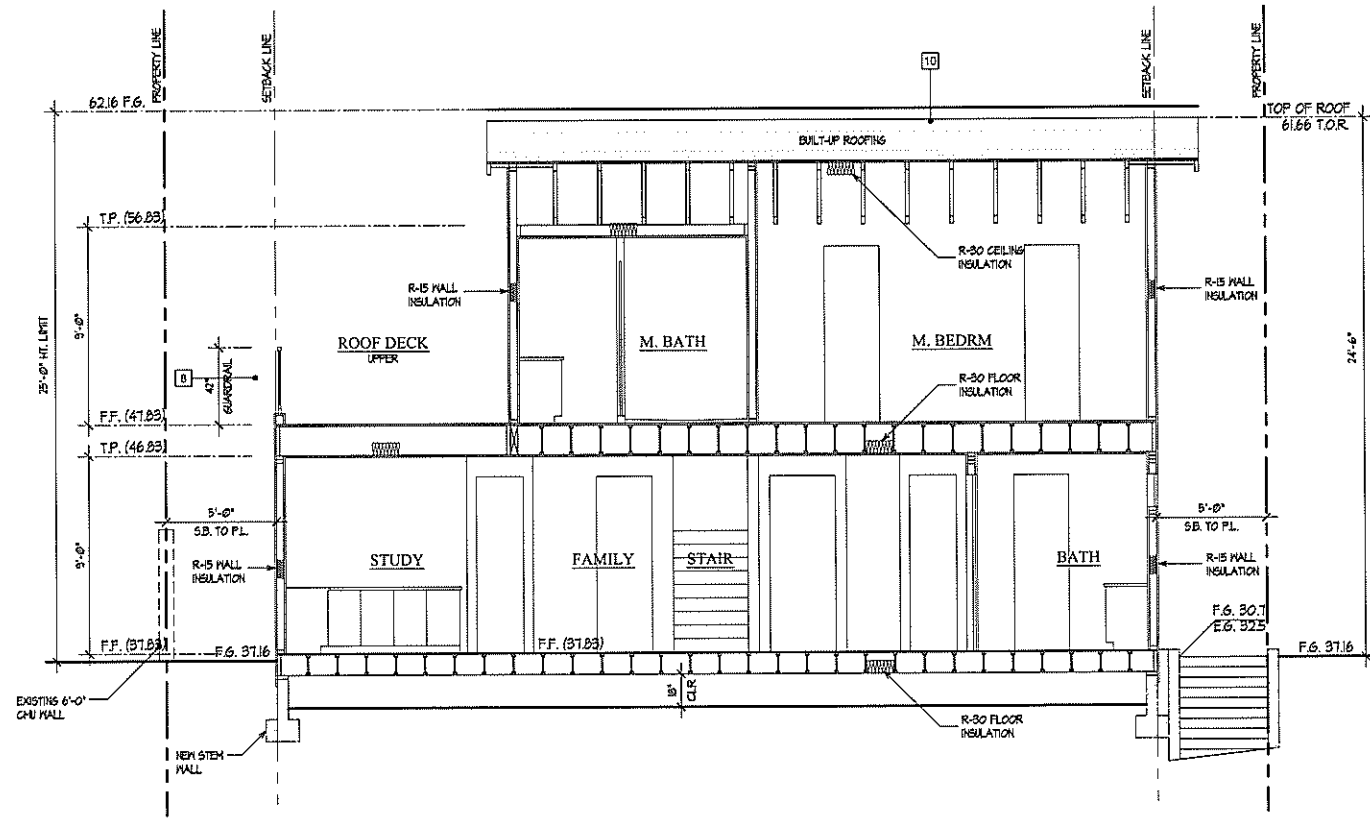
SHEET NO. A-6



SECTION 2

SCALE: 1/4" = 1' - 0"

SECTION 1



SCALE: 1/4" = 1' - 0"

ELEVATION KEY NOTES

- 1 HORIZONTAL METAL SIDING - WESTERN STATES METAL, WESTERN WAVE, A608-4 (AKA CORTEN), UNCOATED NATURAL FINISH
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KPLA
Kenneth P Lowe Associates
Inc. - Architecture - Space Planning - Project Management

STAMP:

CONSULTANT:

CLIENT:

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724 VALLEY AVENUE
SOLANA BEACH, CA 92075
734 . 276 . 3707

PROJECT:

MODERN INDUSTRIAL
REMODEL AND ADDITION
724 VALLEY AVENUE
SOLANA BEACH, CA 92075

REVISIONS:

NO.	DATE	DESCRIPTION	BY

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SCALE: AS NOTED
SHEET TITLE:

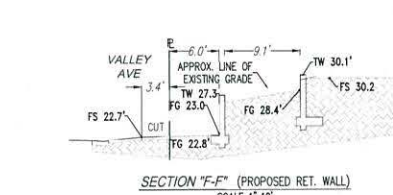
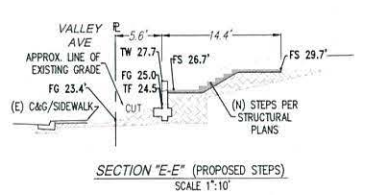
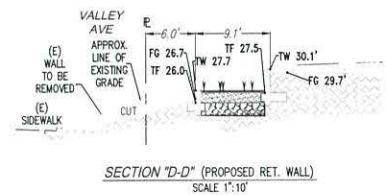
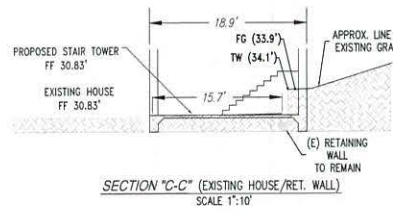
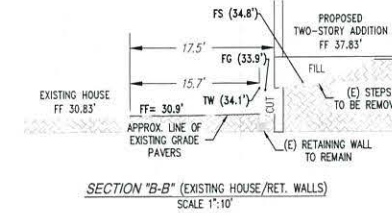
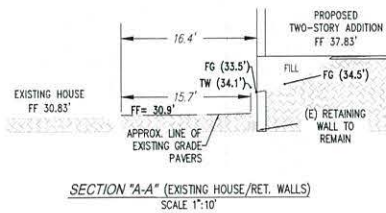
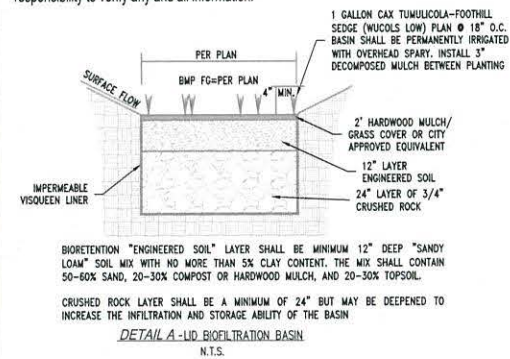
NOTES

SHEET NO:

SECTIONS

A-7

By using these standard plans, the user agrees to release the County of San Diego from any and all claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons or property, including injury or death, or economic losses, arising out of the use of these construction documents. The use of these plans does not eliminate or reduce the user's responsibility to verify any and all information.



EARTH QUANTITIES

- W: EXCAVATION FOR FOOTINGS: 10 CY
 - X: REMOVAL/RECOMPACTION FOR SLABS: 50 CY
 - Y: GRADING ASSOCIATED WITH PROJECT: 80 CY CUT & 40 CY FILL
 - Z: TOTAL ASSOCIATED: 180 CY
- * EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.
- BASEMENT EXCAVATION: N/A
- MAX CUT: 4.3 FT MAX FILL: 3.3 FT

PRE/POST IMPERVIOUS AREA

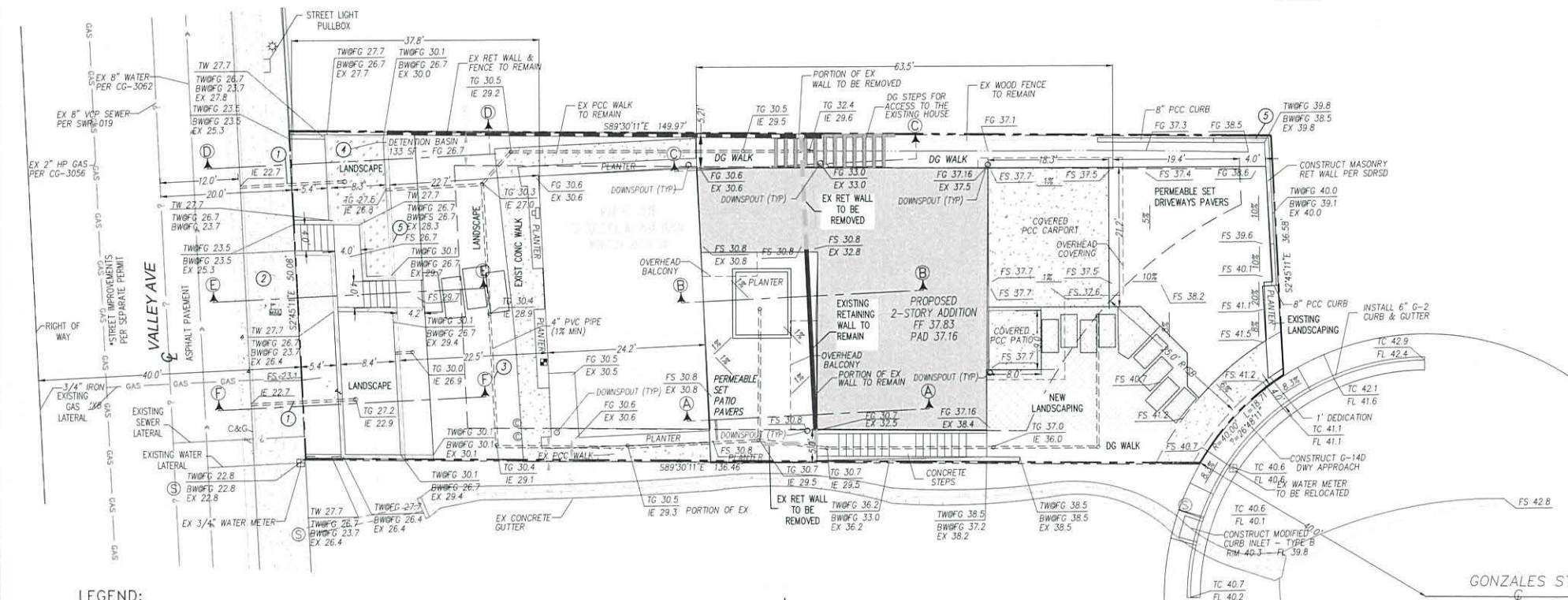
EXISTING IMPERVIOUS AREA:	3,033 SF
EXISTING PERVIOUS AREA:	4,391 SF
PROPOSED IMPERVIOUS AREA:	3,521 SF
PROPOSED PERVIOUS AREA:	1,096 SF
PROPOSED PERVIOUS AREA:	2,670 SF

LANDSCAPE AREA TOTALS	EXISTING	PROPOSED
NON-LANDSCAPED AREA	1,950 SF	5,446 SF
NON-IRRIGATED LANDSCAPE	3,397 SF	0 SF
IRRIGATED LANDSCAPE	2,032 SF	1,947 SF
WATER FEATURES	0 SF	0 SF
DECORATIVE HARDSCAPE	0 SF	0 SF
TOTAL LOT AREA	7,382 SF	7,382 SF

AGGREGATE LANDSCAPE AREA	EXISTING	PROPOSED
IRRIGATED LANDSCAPE	2,032 SF	1,947 SF
WATER FEATURES	0 SF	0 SF
DECORATIVE HARDSCAPE	0 SF	0 SF
AGGREGATE LANDSCAPE AREA	2,032 SF	0 SF

CONSTRUCTION NOTES

- CONSTRUCT SIDEWALK UNDERDRAIN PER SDRSD D-27 PER EMRA.
- REPLACE EXISTING SIDEWALK PANEL AS REQUIRED.
- INSTALL 4" DIAMETER PVC DRAIN PIPE OR APPROVED EQUAL.
- CONSTRUCT 133 SF DETENTION BASIN PER PLANS DETAILS.
- CONSTRUCT 147 LF MASONRY RETAINING WALL PER SDRSD C-02.



LEGEND:

---	PROPERTY LINE	FG	FINISHED GRADE
---	SETBACK	FS	FINISHED SURFACE
---	EXISTING WOOD FENCE	TG	TOP OF GRADE
---	PROPOSED RETAINING BLOCK WALL PER SDRSD C-02	IE	INVERT ELEVATION
●	FOUND MONUMENT	TW	TOP OF WALL
⊕	WATER METER		
⊕	ELECTRIC METER		
⊕	GAS METER		
⊕	SEWER MANHOLE		
⊕	STORMDRAIN MANHOLE		
⊕	C&G CURB & GUTTER		
⊕	SEWER CLEAN OUT		
⊕	WATER VALVE		
⊕	STREET SIGN		
---	CONCRETE WALKWAY		
---	DG PATH		
---	DETENTION BASIN		
---	EXISTING LANDSCAPE TO REMAIN		
---	NEW LANDSCAPING		
---	EXISTING RETAINING WALL TO REMAIN		
---	EXISTING RETAINING WALL TO BE REMOVED		

OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT SCOPE	ENGINEER INFORMATION	SHEET TITLE
NAME: SUSAN AND ALEX WARD ADDRESS: 724 VALLEY AVE, SOLANA BEACH, CA 92075 PHONE: (734) 276-3707	NAME: KENNETH P. LOWE ASSOCIATES ADDRESS: 32158 CAMINO CAPISTRANO SUITE A427, SAN JUAN CAPISTRANO, CA 92675 PHONE: (949) 292-9992 EMAIL: Ken@kplassoc.com	APN: 298-161-17-00 SITE ADDRESS: 724 VALLEY AVE SOLANA BEACH, CA 92075 ZONING: MEDIUM RESIDENTIAL 5-7 DU/ACRE (MR) SPECIAL ZONE OVERLAY: SCALED RESIDENTIAL OVERLAY PROPERTY CONNECTED TO THE ELECTRICAL GRID (Y or N) PROPERTY SERVICED BY NATURAL GAS (Y or N)	PROPOSED 2 STORY ADDITION IMPERVIOUS AREA INFORMATION LAND DISTURBANCE: 3,418.77 SF PERVIOUS AREA INFORMATION PERVIOUS ELEMENT MANUFACTURER: _____ PERVIOUS ELEMENT SLOPE AND DIRECTION OF SLOPE: _____ MAINTENANCE PROGRAM: _____ PERVIOUS ELEMENT CROSS SECTION LOCATED IN SHEET: _____ CONSTRUCTED PERVIOUS SURFACES SHALL NOT BE SEALED	 ROD POSADA R.C.E. NO. 54504 DATE: 02/03/2025 	SITE PLAN SHEET NUMBER SP-1

SHEET INDEX

SP-1 SITE PLAN
DP-1 DEMO PLAN
BMP EROSION CONTROL PLAN

FOR GRADING INFORMATION SEE SHEET PGP-1.
FOR LANDSCAPE AREAS INFORMATION SEE SHEET A-0.
FOR F.A.R. AND LAND USE AREAS INFORMATION SEE SHEET A-0.

GENERAL CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED COUNTY OF SAN DIEGO AMENDMENTS:

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

DESIGN BASIS

CONVENTIONAL LIGHT FRAME CONSTRUCTION

ROOF LIVE LOAD: 20 PSF
ULTIMATE WIND SPEED: 110 MPH
EXPOSURE CATEGORY: C
SITE CLASS: D
RISK CATEGORY: II
Slope: 1:25
SEISMO DESIGN CATEGORY: D₁
ALLOW SOIL VERTICAL BEARING PRESSURE: 1500 PSF
ALLOW SOIL LATERAL BEARING PRESSURE: 100 PSF/FT

ENERGY EFFICIENCY SPECIAL FEATURES

SPECIFY AS INDICATED IN CFIR FORM (TITLE 24):

-
-
-

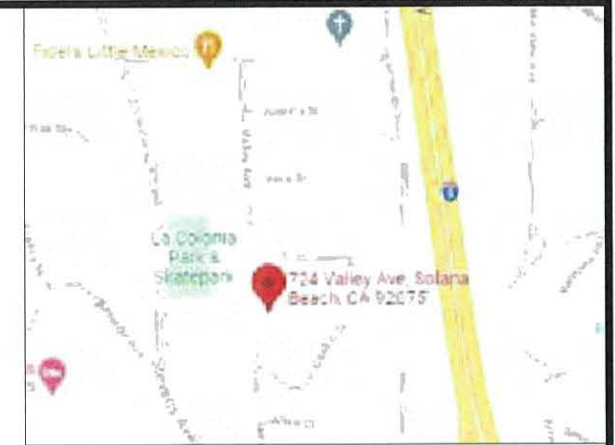
ENERGY EFFICIENCY HERS VERIFICATION

SPECIFY AS INDICATED IN CFIR FORM (TITLE 24):

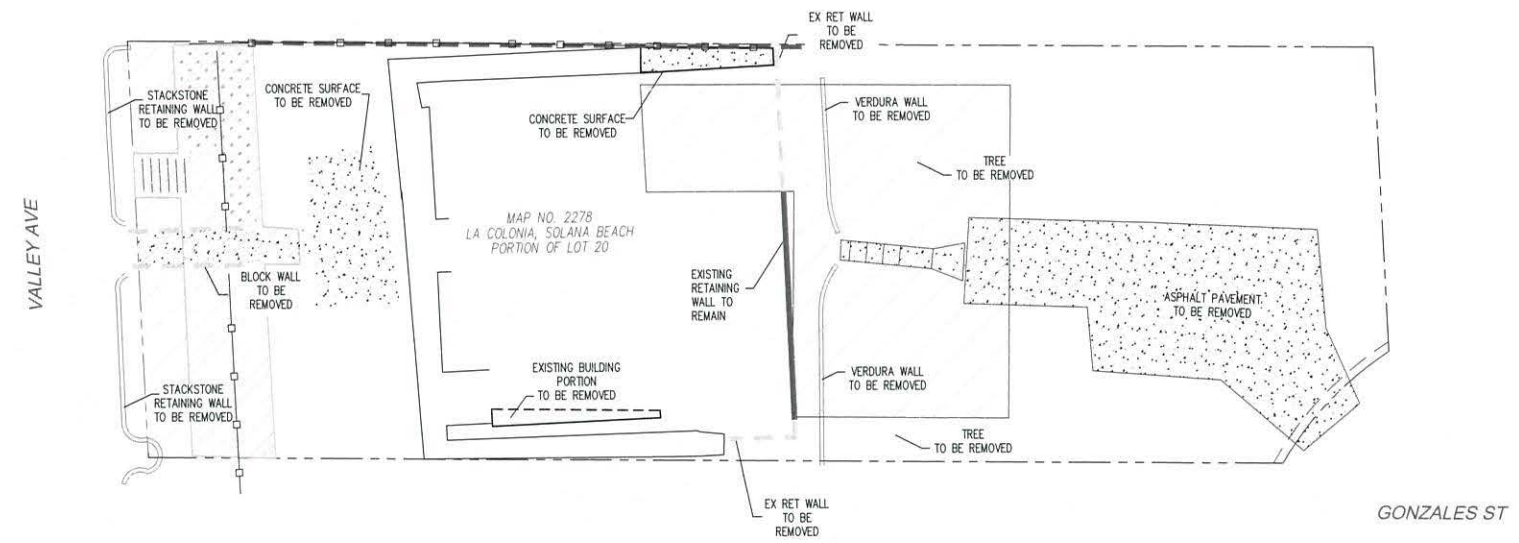
- DUCT SEALING (Y or N)
- REFRIGERANT CHARGE (Y or N)
- COOLING SYSTEM AIRFLOW (Y or N)
- COOLING SYSTEM UNIT FAN EFFICACY (Y or N)
- COOLING SYSTEM SEER AND/OR EER ABOVE MIN. (Y or N)
- WHOLE-BUILDING VENTILATION AIRFLOW (Y or N)
- BUILDING ENVELOPE AIR LEAKAGE (Y or N)
- QUALITY INSULATION INSTALLATION (Y or N)
- OTHER (SPECIFY BELOW)

PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CFIR FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CFIR FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CFIR FORMS ARE AVAILABLE AT [HTTP://WWW.SDCOCOUNTY.CA.GOV/PDS/BLDG/ENERGY-STDs.HTML](http://www.sdcocounty.ca.gov/PDS/BLDG/ENERGY-STDs.HTML) (CBEES 10-103)

PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF3R FORMS ARE AVAILABLE AT [HTTP://WWW.SDCOCOUNTY.CA.GOV/PDS/BLDG/ENERGY-STDs.HTML](http://www.sdcocounty.ca.gov/PDS/BLDG/ENERGY-STDs.HTML) (CBEES 10-103)



VICINITY MAP
N.T.S.



ENGINEERING SCALE: 1" = 10'

DEMO LEGEND

TO BE REMOVED:

- EXISTING BUILDING
- WOOD FENCE
- VERDURA WALL
- CONCRETE
- PROPOSED BUILDING
- EXISTING RETAINING WALL

TO REMAIN:

- ITEMS TO REMAIN
- EXISTING RETAINING WALL

ENGINEER INFORMATION	SHEET TITLE
	DEMOLITION PLAN
ROD POSADA R.C.E. NO. 54504 02/03/2025 DATE	SHEET NUMBER
 <p>HACIENDA DEVELOPMENT SOLUTIONS, INC. 106 5TH AVENUE, CHULA VISTA, CA. 91910 BUS: (760) 566-2740 info@haciendads.com</p>	DP-1

**STORMWATER POLLUTION CONTROL BMP NOTES
RELATIVE TO CONSTRUCTION ACTIVITIES**

CONCRETE WASHOUT
- CONTRACTOR SHALL ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS ILLEGAL TO WASH CONCRETE SLURRY, MORTAR, STUCCO, PLASTER AND THE LIKE INTO THE STORMWATER CONVEYANCE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION.

CONSTRUCTION SITE ACCESS
- A STABILIZED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES EGRESS AND INGRESS TO PREVENT TRACKING DIRT OFF SITE. THIS SHALL INCLUDE USING MATERIAL SUCH AS GRAVEL AND/OR CORRUGATED STEEL PANELS/PLATES.

CONSTRUCTION VEHICLES
- A SPECIFIC AREA AWAY FROM GUTTERS AND STORMDRAIN SHALL BE DESIGNATED FOR CONSTRUCTION VEHICLES PARKING, VEHICLE REFUELING, AND ROUTINE EQUIPMENT MAINTENANCE. ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.

EROSION CONTROL
- EROSION CONTROL MUST BE PROVIDED FOR ALL EROSION SURFACES. SLOPED SURFACES ESPECIALLY SHALL BE PROTECTED AGAINST EROSION BY INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ADEQUATE GROUND COVER VEGETATION, AND BONDED FIBER MATRIX.
- NO EXCAVATION AND GRADING ACTIVITIES ARE ALLOWED DURING WET WEATHER.
- DIVERSION DIKES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION SITE. CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES.
- REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE AREAS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GROUND COVER.
- DO NOT REMOVE TREES OR SHRUBS UNNECESSARILY; THEY HELP DECREASE EROSION.
- TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL PURPOSES. EROSION SHALL BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES TO SHIELD AND BIND THE SOIL.
- PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE, ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE.
- WATER USAGE FOR DUST CONTROL SHALL BE MINIMIZED.

ON-SITE CONSTRUCTION MATERIAL STORAGE
- STORED MATERIALS SHALL BE CONTAINED IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT FOR ALL FUEL STORED ON-SITE.
- ELIMINATE OR REDUCE POLLUTION OF STORMWATER FROM STOCKPILES KEPT ON-SITE. STOCKPILES MAY INCLUDE SOIL, PAINTING MATERIALS, ASPHALT, CONCRETE, AGGREGATE BASE, ETC. STOCKPILES SHALL BE LOCATED AWAY FROM CONCENTRATED STORMWATER FLOWS AND STORMDRAIN INLETS. STOCKPILES SHALL BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND PROVIDED WITH A TEMPORARY SEDIMENT BARRIER AROUND THE PERIMETER AT ALL TIMES.

TRAINING
- CONTRACTORS' EMPLOYEES WHO PERFORM CONSTRUCTION IN THE CITY OF SOLANA BEACH SHALL BE TRAINED TO BE FAMILIAR WITH THE CITY OF SOLANA BEACH STORMWATER POLLUTION CONTROL REQUIREMENTS. THESE BMP NOTES SHALL BE AVAILABLE TO EVERYONE WORKING ON SITE. THE PROPERTY OWNER(S) AND THE PRIME CONTRACTOR MUST INFORM SUBCONTRACTORS ABOUT STORMWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.

WASTE MANAGEMENT
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY DISPOSING OF ALL WASTE AND UNUSED CONSTRUCTION MATERIALS. DUMPING OF UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM INTO THE CONVEYANCE SYSTEM IS STRICTLY PROHIBITED.
- NO SEEPAGE FROM DUMPSTERS SHALL BE DISCHARGED INTO STORMWATER. BERMS/DIKES SHALL BE PLACED AROUND DUMPSTERS TO DIVERT THE NATURAL STORM RUNOFF. DUMPSTERS SHALL BE CHECKED FREQUENTLY FOR LEAKS. DUMPSTER LIDS SHALL REMAIN CLOSED AT ALL TIMES. DUMPSTERS WITHOUT LIDS SHALL BE PLACED WITHIN STRUCTURES WITH IMPERVIOUS ROOFING OR COVERED WITH TARPS IN ORDER TO AVOID RAIN CONTACT WITH ANY TRASH MATERIAL.
- MANY CONSTRUCTION MATERIALS, INCLUDING SOLVENTS, WATER-BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEARED VEGETATION CAN BE RECYCLED. NON-RECYCLABLE MATERIALS MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. FOR INFORMATION ON DISPOSAL OF HAZARDOUS MATERIAL, CALL THE HAZARDOUS WASTE HOTLINE TOLL FREE AT (800) 714-1195, FOR INFORMATION ON LANDFILLS AND TO ORDER DUMPSTERS CALL EDCO AT (760) 435-4151.
- POLLUTANTS SHALL BE KEPT OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE.
- PORTABLE TOILETS MUST BE IN GOOD WORKING ORDER AND CHECKED FREQUENTLY FOR LEAKS. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT AND LOCATE PORTABLE TOILETS AWAY FROM STORMDRAIN INLETS ON PERVIOUS SURFACES.
- ALL CONSTRUCTION DEBRIS SHALL BE KEPT AWAY FROM THE STREET, GUTTER, AND STORMDRAIN. CONTRACTOR MUST ROUTINELY CHECK AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM CONSTRUCTION SITE.

EROSION CONTROL NOTES

1. STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.

2. EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.

3. EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:

NON-IRRIGATED HYDROSEED MIX WITH A BONDED FIBER MATRIX APPLIED AT 4,000 LB/ACRE.

LBS./ACRE	% PURITY/ACRE	SEED SPECIES
20	70% PLUS	ATRIPLEX GLAUCA
50		PLANTAGE INSULARIS
8		ENCELIS FARINOSA
6	SCARIFIED	LOTUS SCOPARIUS
7	50% PLUS	EXCHSCHOLZIA CALIFORNIA
TOTAL 91 LBS.		

4. THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE ODKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.

5. CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.

6. SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2% AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.

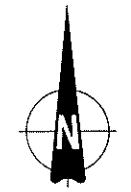
7. SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.

8. THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.

9. THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.

10. THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.

11. IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE AT THE DEVELOPER'S EXPENSE.

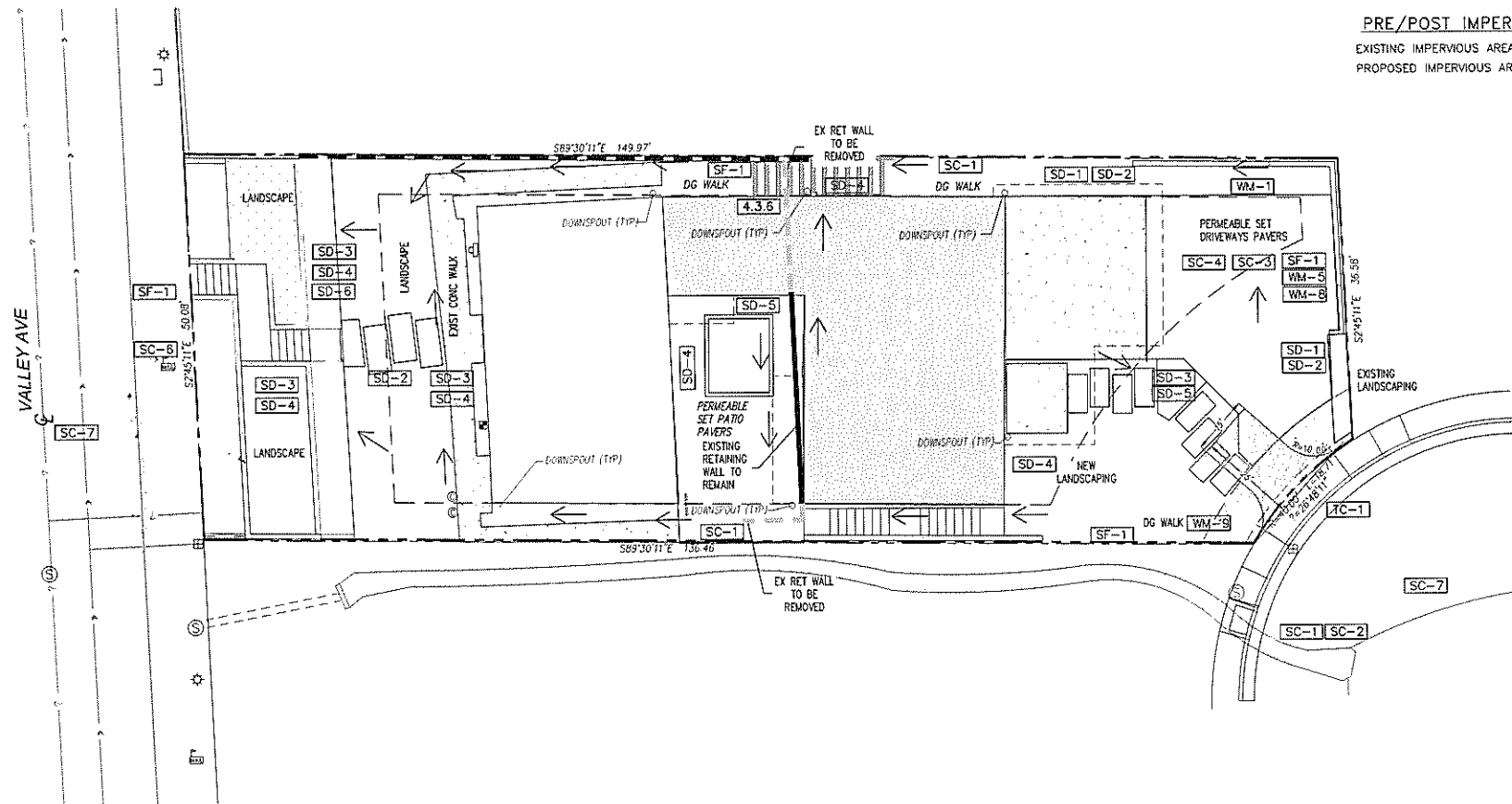


ENGINEERING SCALE: 1" = 10'

BMP LEGEND

- DIRECTION OF LOT DRAINAGE → →
- MATERIALS & WASTE MANAGEMENT BMP's:**
- WM-1 MATERIAL DELIVERY & STORAGE
 - WM-8 CONCRETE WASTE MANAGEMENT
 - WM-9 SOLID WASTE MANAGEMENT
 - WM-9 SANITARY WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMP's:**
- SF-1 SILT FENCE
 - SC-6 GRAVEL BAGS
 - SC-7 STREET SWEEPING AND VACUUMING
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
- POST-CONSTRUCTION SITE DESIGN BMP's:**
- SD-1 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
 - SD-2 PRESERVATION OF EXISTING VEGETATION
 - SD-3 MINIMIZE IMPERVIOUS AREA
 - SD-4 MINIMIZE SOIL COMPACTION
 - SD-5 IMPERVIOUS AREA DISPERSION
 - SD-6 RUNOFF COLLECTION
 - SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES
- POST-CONSTRUCTION SOURCE CONTROL BMP's:**
- SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
 - SC-2 STORM DRAIN SYSTEM STENCILING OR SIGNAGE
 - SC-3 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS
 - SC-4 PROTECT TRASH STORAGE FROM RAINFALL, RUN-ON, WIND DISPERSAL

PRE/POST IMPERVIOUS AREA
EXISTING IMPERVIOUS AREA: 3,033 SF
PROPOSED IMPERVIOUS AREA: 3,521 SF



ROD POSADA R.C.E. NO. 54504 02/03/2025 DATE

COASTAL COMMISSION PERMIT NO. _____

<p>HACIENDA DEVELOPMENT SOLUTIONS, INC.</p>	SOLANA BEACH FIRE DEPARTMENT	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
	By: _____ Date: _____ Fire Chief			By: _____ Date: _____	By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/23	DESCRIPTION: L1-87 STD DISK IN CONC MON NW SIDE CASTRO ST 170 FT SW GONZALES ST, STAMPED SO CITY ENG. STATION 447 ELEV.: 57.574' DATUM: NAVD88	GRADING PLANS FOR: 724 VALLEY AVE, SOLANA BEACH, CA 92075 WARD RESIDENCE		BMP

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
UNDERGROUND S.A. 811
- THE SOILS REPORTS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTIGUOUS TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL FACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL BE THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 2:1 FILL 2:1
CUT: 80 CY FILL 40 CY EXPORT 40 CY
REMEDIAL GRADING: 50 CY REMOVAL/RECOMPACTION
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)

** THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.

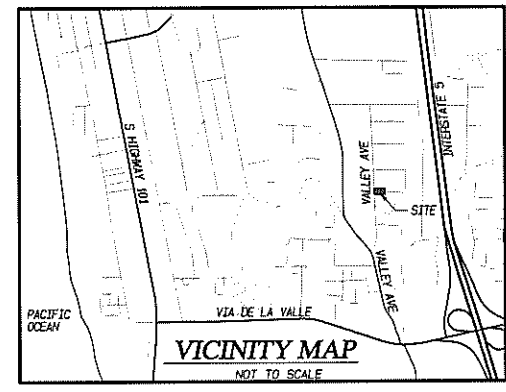
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS SHALL IMMEDIATELY CEASE AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES, SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY. A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 859.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1, PRIOR TO ANY PLANTING. ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, A 15' AS-GRADED DRIVEWAY SHALL BE PROVIDED STATING THE GRADING UNDER PERMIT NO. SBGR-216 HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN. THIS STATEMENT SHALL BE SIGNED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.

LBS/ACRE	% PURITY/ACRE	SEED SPECIES
20	70% PLUS	ATRIPLEX GLAUCA
50		PLANTAGE INSULARIS
6		EXCELIS FARMINGSA
7	SCARIFIED	LOTUS SCOPARIUS
91	50% PLUS	EXCHSCHOLTZIA CALIF.

- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 5% AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.



PRELIMINARY GRADING PLAN

LEGAL DESCRIPTION

THE SOUTHERLY 50.00 FEET (BEING MEASURED ALONG THE WESTERLY LINE) OF LOT 20 OF LA COLONIA, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2278, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 15, 1943.

A.P.N. 298-161-17
SITE ADDRESS 724 VALLEY AVENUE, SOLANA BEACH, CA 92075
OWNER/PERMITTEE SUSAN & ALEX HARD, 724 VALLEY AVENUE, SOLANA BEACH, CA 92075

TOPOGRAPHIC SURVEY HACTENDA DEVELOPMENT SOLUTIONS, 106 5TH AVENUE, CHULA VISTA, CA 91910, 760.566.2740

IMPERVIOUS AREA QUANTITIES

EXISTING IMPERVIOUS AREA: 3003 SF
EXISTING PERVIOUS AREA: 4,391 SF
PROPOSED IMPERVIOUS AREA: 3521 SF
PROPOSED PERVIOUS PAYER AREA: 1096 SF
PROPOSED PERVIOUS AREA: 2,777 SF

OWNER'S CERTIFICATE

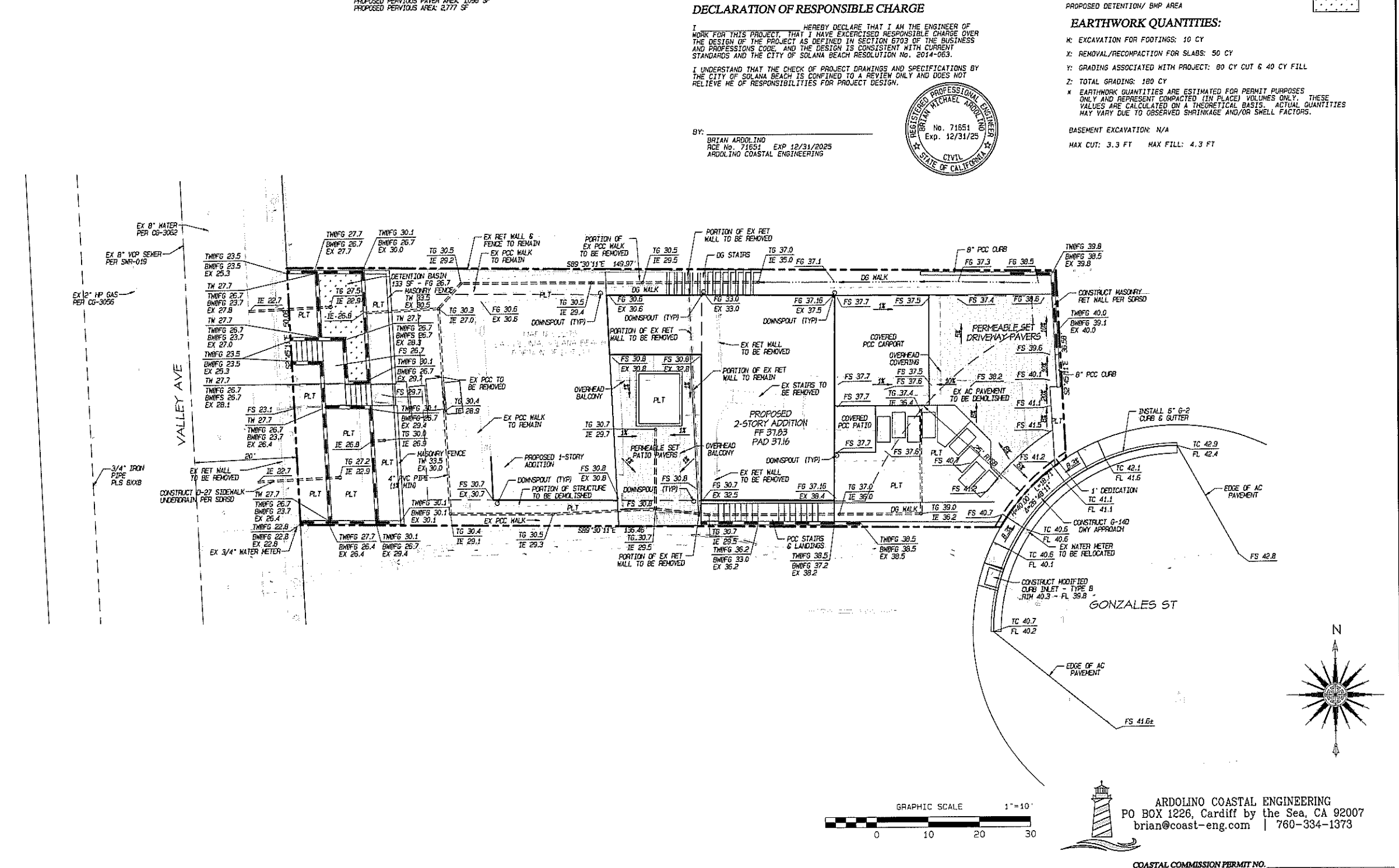
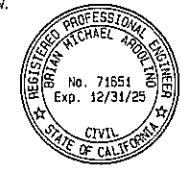
I, AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE TO THIS GRADING PLAN.
IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.
IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.
I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

SUSAN & ALEX HARD, 724 VALLEY AVENUE, SOLANA BEACH, CA 92075
DATE

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2014-063.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

BY: BRIAN ARDOLINO, RCE No. 71651, EXP 12/31/2025, ARDOLINO COASTAL ENGINEERING

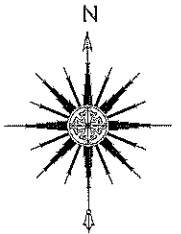
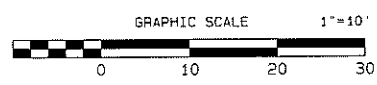


WORK TO BE DONE

- THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:
STANDARD SPECIFICATIONS
(1) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
(2) CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROL" FOR CONSTRUCTION AND MAINTENANCE WORK ZONES.
(3) STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS
- STANDARD DRAWINGS**
(1) SAN DIEGO REGIONAL STANDARD DRAWINGS
(2) STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

No.	ITEM DESCRIPTION	STD. DNG.	SYMBOL
1.	MASONRY RETAINING WALL	C-1	

- LEGEND**
- ITEM DESCRIPTION SYMBOL
- PROPERTY BOUNDARY
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED LIMIT OF GRADING
 - FLOWLINE DIRECTION
 - SETBACK LINE
 - PROPOSED RETAINING WALL
 - PROPOSED DETENTION/ BMP AREA
- EARTHWORK QUANTITIES:**
- M: EXCAVATION FOR FOOTINGS: 10 CY
 - X: REMOVAL/RECOMPACTION FOR SLABS: 80 CY
 - Y: GRADING ASSOCIATED WITH PROJECT: 50 CY CUT & 40 CY FILL
 - Z: TOTAL GRADING: 180 CY
 - * EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.
- BASEMENT EXCAVATION: N/A
MAX CUT: 3.3 FT MAX FILL: 4.3 FT



ARDOLINO COASTAL ENGINEERING
PO BOX 1226, Cardiff by the Sea, CA 92007
brian@coast-eng.com | 760-334-1373

ENGINEER OF WORK		CITY APPROVED CHANGES		APPD DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
By: <u>BRIAN ARDOLINO</u>	Date: <u>12/31/25</u>				By: _____	By: _____	DESCRIPTION: 3.5" NGS DISK IN HEADWALL LOCATION: 0.2 MI NORTH OF SOLANA VISTA DRIVE ON EAST SIDE OF HWY 101, OFF SHOULDER. RECORD FROM: 54,670 SOLANA SURVEY CONTROL BLVD. DATUM: NAVD-88	PRELIMINARY GRADING PLAN FOR: 724 VALLEY AVENUE	PGP-1 SHEET 1 OF 1

Ward/Chang Residence

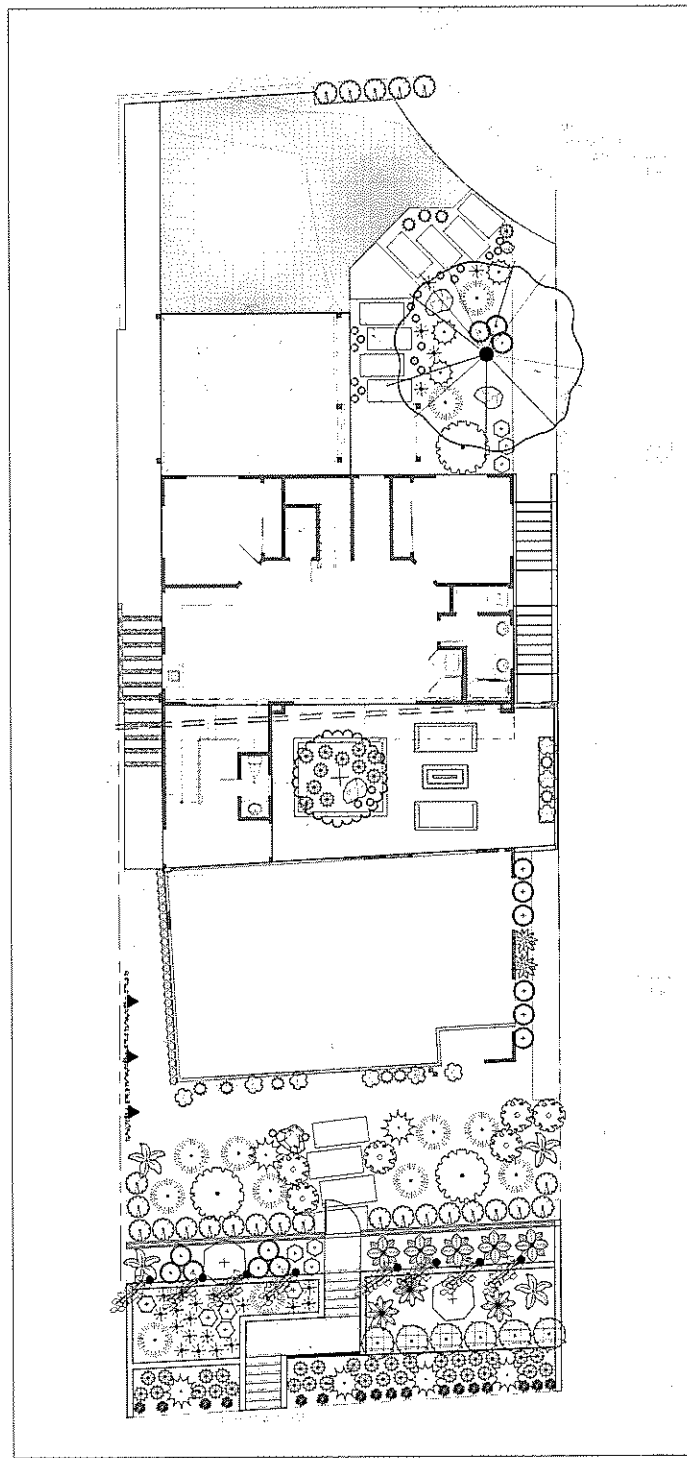
724 Valley Ave. Solana Beach, CA 92075

LANDSCAPE PACKAGE

FALLING
WATERS
LANDSCAPE,
INC.
4322 Encinitas Blvd. Suite 200
Encinitas, CA 92024
(858) 541-9125

SIGNATURE
DAN S. DRANGE
CA LIC #915224

Title Sheet



SITE PLAN

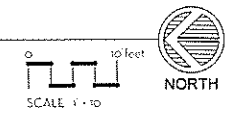


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- L-1 LANDSCAPE AREA PLAN
- L-2 CONCEPTUAL PLANTING PLAN
- L-3 IRRIGATION PLAN, SCHEDULES AND NOTES
- L-4 IRRIGATION DETAILS
- L-5 IRRIGATION DETAILS
- L-6 HYDROZONE PLAN & MAWA / ETWU
- L-7 GRADING PLAN

CONTACT INFORMATION

- LANDSCAPE ARCHITECTURE**
- FALLING WATERS LANDSCAPE, INC.
 - 2235 ENCINITAS BLVD. SUITE 200 ENCINITAS, CA 92024
 - (858)-847-2525
- ARCHITECTURE**
- KENNETH P. LOWE ASSOCIATES
 - 31258 CAMINO CAPISTRANO, STE. A-427 SAN JUAN CAPISTRANO, CA 92675
 - (949)-632-4290
- CIVIL ENGINEERING**
- ARDILINO COASTAL ENGINEERING
 - PO BOX 1226 CARDIFF BY THE SEA, CA 92007
 - (760)-334-31373

"I am familiar with the requirements for landscape and irrigation plans contained in the City of Solana Beach Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water. Under penalty of perjury, I affirm that the foregoing is true and correct."

Garrett Prange, LA #7064 *Garrett Prange* 04/21/2025

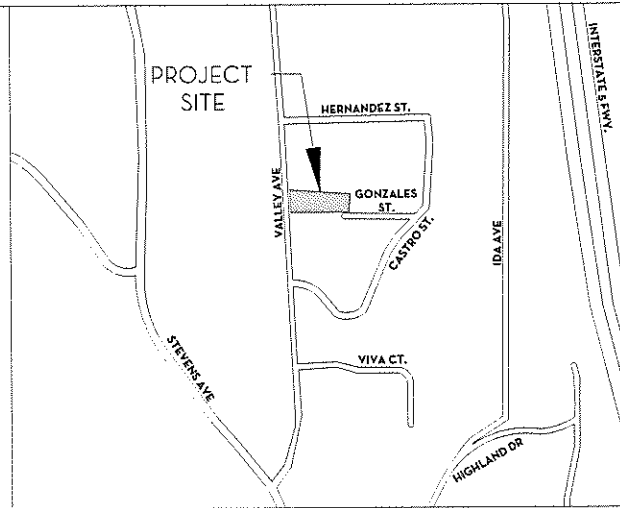
PROPERTY INFORMATION

OWNER(S): Alex Ward and Susan Chang

LOT SIZE: 7,382 SF (0.17 ACRES)

APN: 298-161-17-00

ZONING: MR



AREA MAP
NOT TO SCALE

WARD RESIDENCE
724 VALLEY AVE. SOLANA BEACH, CA
92075
APN: 2981611700

NORTH

DATE DESCRIPTION

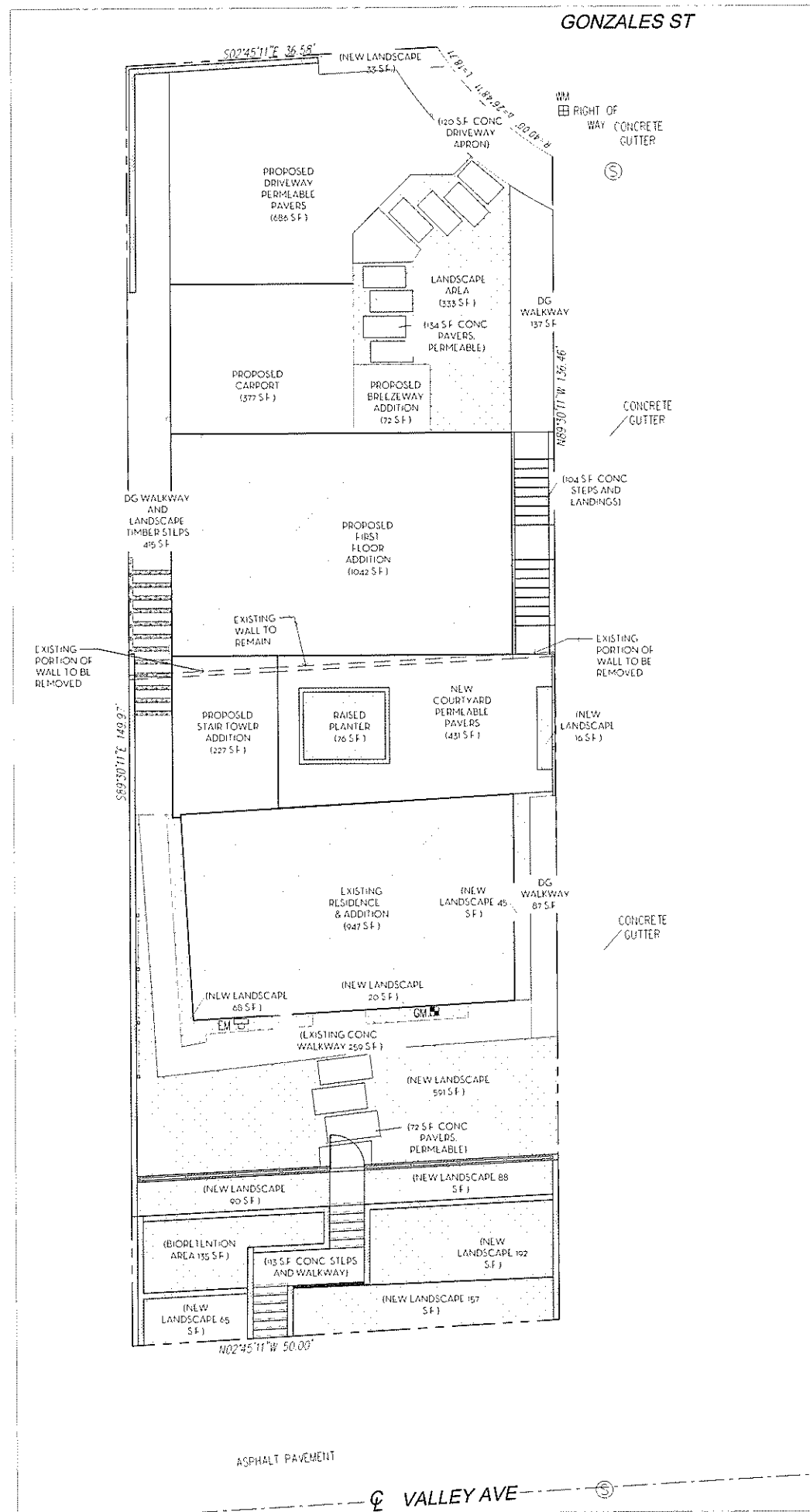
SHEET 1 OF 9

L1.0



REVISIONS
 DATE DESCRIPTION

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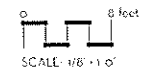


PRE / POST IMPERVIOUS AREA	
EXISTING IMPERVIOUS AREA	3,023 SQ FT
EXISTING PERVIOUS AREA	4,391 SQ FT
PROPOSED IMPERVIOUS AREA	3,521 SQ FT
PROPOSED PERVIOUS PAVEMENT AREA	1,323 SQ FT
PROPOSED PERVIOUS AREA	2,538 SQ FT

LANDSCAPE AREA TOTALS		
	EXISTING	PROPOSED
NON-LANDSCAPE AREA	1,950 SQ FT	3,521 SQ FT
NON-IRRIGATED LANDSCAPE	3,599 SQ FT	1,952 SQ FT
IRRIGATED LANDSCAPE	2,032 SQ FT	1,009 SQ FT
WATER FEATURES	0 SQ FT	0 SQ FT
DECORATIVE HARDSCAPE	0 SQ FT	0 SQ FT
TOTAL LOT AREA	7,382 SQ FT	7,382 SQ FT

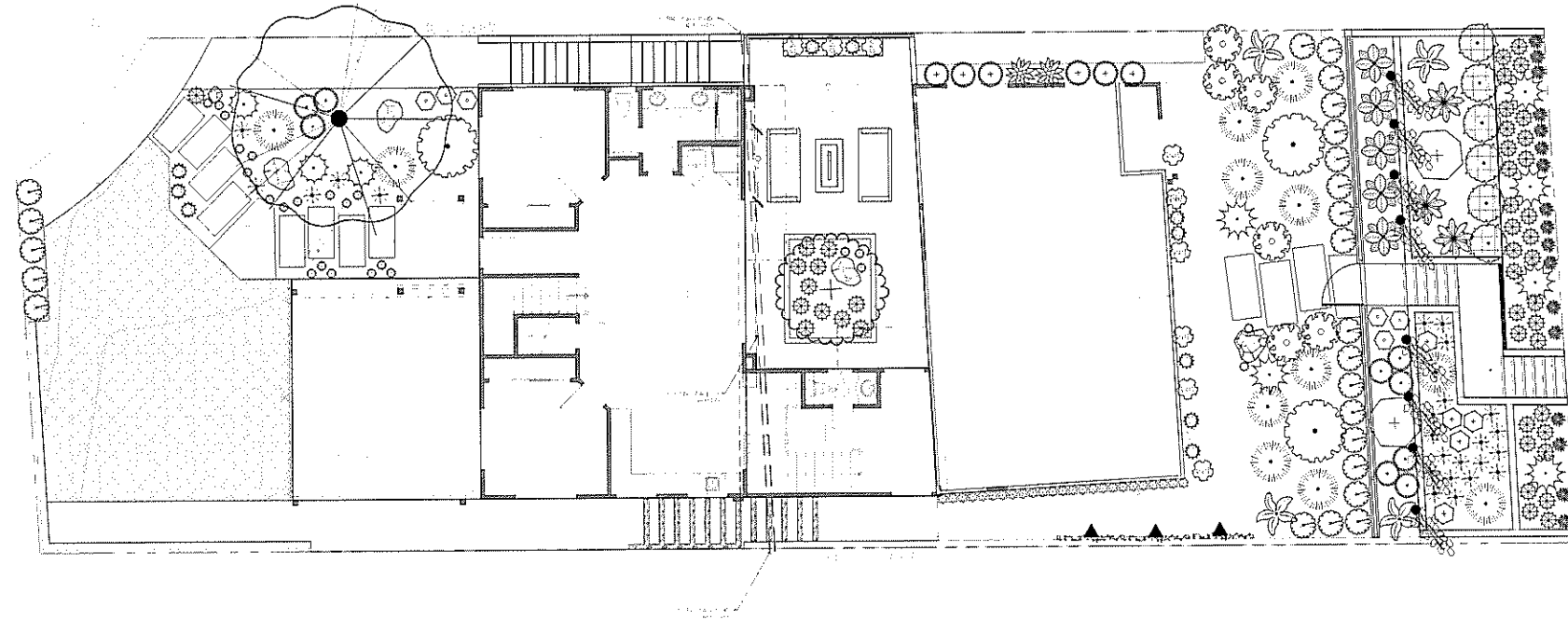
AGGREGATE LANDSCAPE AREA TOTALS		
	EXISTING	PROPOSED
IRRIGATED LANDSCAPE	2,032 SQ FT	1,009 SQ FT
WATER FEATURES	0 SQ FT	0 SQ FT
DECORATIVE HARDSCAPE	0 SQ FT	0 SQ FT
TOTAL AGGREGATE LANDSCAPE AREAS	2,032 SQ FT	1,009 SQ FT

LANDSCAPE AREA TOTALS	
117 SQ FT	NEW PERMEABLE PAVERS
629 SQ FT	LANDSCAPE TIMBER STEPS AND DECOMPOSED GRANITE TO BE COMPACTED OVER EXISTING NON-IRRIGATED LANDSCAPING DIRT. PERMEABLE
1,045 SQ FT	NEW AND/OR EXISTING CONCRETE STEPS, SIDEWALKS, WALKWAYS, AND DRIVEWAY APRON IMPERVIOUS
208 SQ FT	NEW CONCRETE PAVERS W/ GAPS PERMEABLE
2,216 SQ FT	EXISTING AND ADDED NEW HOUSE CONCRETE FOUNDATION. IMPERVIOUS
1,909 SQ FT	NEW ADDED LANDSCAPE PLANTINGS, TREES AND SHRUBS. PERMEABLE
260 SQ FT	NEW AND EXISTING RETAINING WALLS, RAISED PLANTER IMPERVIOUS



SCALE: 1/8" = 1'-0"

GONZAL



VALLEY AVE

FALLING WATERS LANDSCAPE, INC.

12155 E. 15th Ave. Suite 100
Denver, Colorado 80231
303.751.1133

Signature
RYAN S. PRANGE
CALIC #913474

Conceptual Landscape Plan

PLANT SCHEDULE LANDSCAPE PLAN

SYMBOL	BOTANICAL / COMMON NAME	SIZE	WUCOLS	MATURE HEIGHT X WIDTH	QTY	SYMBOL	BOTANICAL / COMMON NAME	SIZE	WUCOLS
TREES						SHRUBS			
	GLEDISIA PARVIFLORA / AUSTRALIAN WILLOW	24' BOX	L	25' 35'H X 20'W	1		ACACIA COGNATA ACCOG01 / COUSIN ITT LITTLE RIVER WATTLE	5' GAL	M
	PROSOPIS CHILENSIS THORNLESS / THORNLESS CHILEAN MESQUITE	24' BOX	L	30'H X 30'W	1		AGAVE ATTENUATA / FOXTAIL AGAVE	EXISTING TO BE RELOCATED	L
							AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE	5' GAL	L
							AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE	5' GAL	L
							ALOE FEROX / BITTER TREE ALOE	5' GAL	L
							ALOE RUFOKOPPEL 'LITTLE GEM' / LITTLE GEM RED RIDING HOOD ALOE	1' GAL	L
							ALOE X RED HOT CHILI PEPPER / RED HOT CHILI PEPPER ALOE	1' GAL	L
							CAREX PANSA / MEADOW SEDGE	1' GAL	M
							CAREX TUMULICOLA / FOOTHILL SEDGE	1' GAL	L
							CHONDROPETALUM TECTORUM 'EL CAMPO' / EL CAMPO CAPE RUSH	1' GAL	L
							CLEISTOCACTUS STRAUSSII / SILVER TORCH	5' GAL	L
							COTYLEDON X 'CHALK FINGERS' / CHALK FINGERS COTYLEDON	1' GAL	L
							ECHINOCACTUS GRUSONII / GOLDEN BARREL CACTUS	5' GAL	L
							EUPHORBIA INGENS / CANDELABRA TREE	EXISTING TO BE RELOCATED	L
							FESTUCA GLAUCA 'LUJAH BLUE' / LUJAH BLUE FESCUE	1' GAL	L
							HARDENBERGIA VIOLACEA ALBA / WHITE LILAC VINE	5' GAL	L
							JUNCUS PATENS 'LILK BLUE' / SPREADING RUSH	1' GAL	L
							KALANCHOE BEHARENSIS / FELT PLANT	5' GAL	L
							LEUCOSPERMUM X 'SUNRISE' / SUNRISE SALMON PINCUSHION	5' GAL	L
							MUHLENBERGIA RIGENS / DEER GRASS	5' GAL	L
							PACHYCLEREUS MARGINATUS / MEXICAN FENCE POST CACTUS	5' GAL	L
							PEDILANTHUS BRACATEATUS / SLIPPER	5' GAL	L
							SALVIA ROSMARINUS HUNTINGTON CARPET / HUNTINGTON CARPET ROSEMARY	5' GAL	L
							SANSEVIERIA BACULARIS / SNAKE PLANT	1' GAL	L
							WESTRINGIA FRUTICOSA WES04 / GREY BOX™ COAST ROSEMARY	5' GAL	L

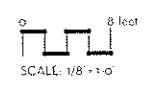
WARD RESIDENCE
724 VALLEY AVE. SOLANA BEACH, CA
92075
APN: 298161700



REVISIONS

DATE	DESCRIPTION

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SCALE: 1/8" = 1'-0"

SHEET 3 OF 3

L1.2



FALLING WATERS LANDSCAPE, INC.

2335 Encinitas Blvd, Suite 200
Encinitas, CA 92024
(858) 747-7955

SIGNATURE
RYAN S. PRANGE
CA LIC #915424



Irrigation Plan

WARD RESIDENCE
724 VALLEY AVE, SOLANA BEACH, CA
92075
APH: 298161700



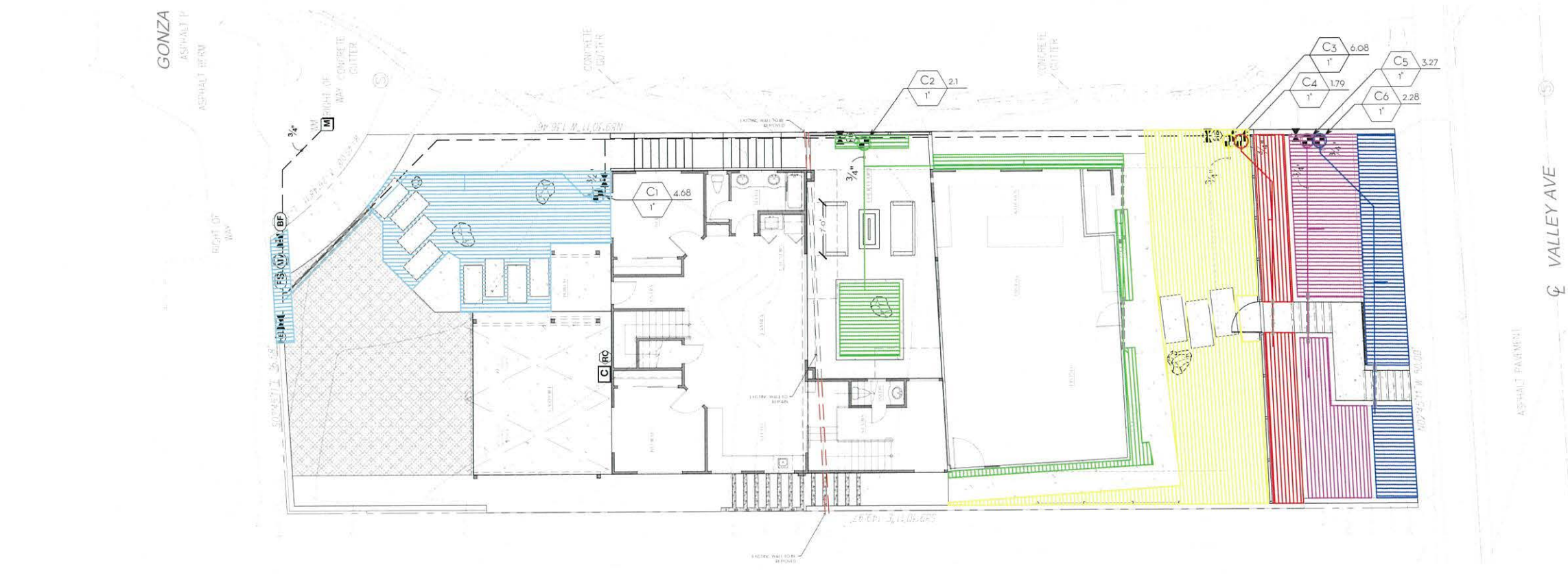
REVISIONS

DATE	DESCRIPTION

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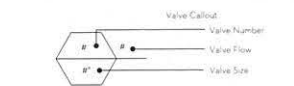
SHEET 2 OF 9

L1.3



IRRIGATION SCHEDULE IRRIGATION

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	HUNTER ICZ-101-40 1" DRIP CONTROL ZONE KIT. 1IN ICV GLOBE VALVE WITH 1IN HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	6
[Hatched Box]	AREA TO RECEIVE DRIPLINE NETAFIM TLCV-06-12 TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE. 0.6 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.	2,018 LF.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	SUPERIOR B401 BENT NOSE GARDEN VALVE. 3/4IN X 3/4IN. FEMALE NPT HOSE BIBB, RED BRASS.	3
⊗	LANDSCAPE PRODUCTS INC. CWV SLIP SOCKET 1/2IN. 3/4IN. 1IN. 1-1/2IN. 2IN. SLIP SOCKET PLASTIC BALL VALVE. QUARTER-TURN SHUTOFF DESIGNED FOR IRRIGATION, SPAS, POOLS AND OTHER GENERAL COLD WATER APPLICATIONS. 125 PSI RATING. SAME SIZE AS MAINLINE.	6
Ⓜ	HUNTER ICV-G 1" 1IN, 1-1/2IN, 2IN, AND 3IN. PLASTIC ELECTRIC MASTER VALVE. GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1
Ⓟ	FEBCO LF825VA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER, 1" LEAD FREE	1
Ⓢ	HUNTER HCC-800-M 8 STATION OUTDOOR WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, COMMERCIAL USE. METAL CABINET.	1
Ⓡ	HUNTER RAIN-CLIK RAIN SENSOR, WITH CONDUIT INSTALLATION, MOUNT AS NOTED, NORMALLY CLOSED SWITCH.	1
Ⓣ	HUNTER HC-100 FLOW 1IN. FLOW METER FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.	1
Ⓜ	WATER METER 3/4" CITY OF SOLANA BEACH	1
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4"	2400 LF.
---	IRRIGATION MAINLINE: PVC SCHEDULE 40 3/4"	1890 LF.



CRITICAL ANALYSIS

Generated: 2024-11-07 12:39
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 Water Source Information: City of Solana Beach
 FLOW AVAILABLE
 Water Meter Size: 3/4"
 Flow Available: 22.5 GPM
 PRESSURE AVAILABLE
 Static Pressure at POC: 76 PSI
 Elevation Change: 0.00 ft
 Service Line Size: 3"
 Length of Service Line: 20 ft
 Pressure Available: 76 PSI
 DESIGN ANALYSIS
 Maximum Station Flow: 6.08 GPM
 Flow Available at POC: 22.5 GPM
 Residual Flow Available: 16.42 GPM
 Critical Station: C3
 Design Pressure: 40 PSI
 Friction Loss: 0.13 PSI
 Fittings Loss: 0.01 PSI
 Elevation Loss: 0 PSI
 Loss through Valve: 5.65 PSI
 Pressure Req. at Critical Station: 45.8 PSI
 Loss for Fittings: 0.53 PSI
 Loss for Main Line: 5.35 PSI
 Loss for POC to Valve Elevation: -4.33 PSI
 Loss for Backflow: 11.2 PSI
 Loss for Master Valve: 2.61 PSI
 Loss for Water Meter: 0.76 PSI
 Critical Station Pressure at POC: 61.9 PSI
 Pressure Available: 76 PSI
 Residual Pressure Available: 14.1 PSI

VALVE SCHEDULE IRRIGATION

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PRECIP
C1	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	4.68	24.5	46.6	0.97 in/h
C2	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	2.1	67.1	43.1	0.97 in/h
C3	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	6.08	115.5	45.8	0.96 in/h
C4	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	1.79	117.1	43.1	0.96 in/h
C5	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	3.27	125.9	45.3	0.96 in/h
C6	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	2.28	127.4	44.2	0.96 in/h
	Common Wire				180.0		

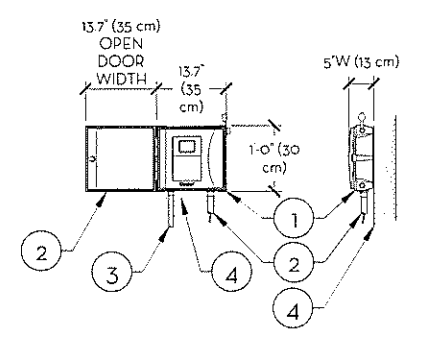
WATERING SCHEDULE IRRIGATION

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
C1	HUNTER ICZ-101-40	AREA FOR DRIPLINE	0.97 in/h	0.32	20	93.6	31.2
C2	HUNTER ICZ-101-40	AREA FOR DRIPLINE	0.97 in/h	0.32	20	42	14.0
C3	HUNTER ICZ-101-40	AREA FOR DRIPLINE	0.96 in/h	0.32	20	122	40.5
C4	HUNTER ICZ-101-40	AREA FOR DRIPLINE	0.96 in/h	0.32	20	35.8	11.9
C5	HUNTER ICZ-101-40	AREA FOR DRIPLINE	0.96 in/h	0.32	20	65.4	21.8
C6	HUNTER ICZ-101-40	AREA FOR DRIPLINE	0.96 in/h	0.32	20	45.6	15.2
	TOTALS:				120	404	134.7

IRRIGATION NOTES

- NO OVERHEAD IRRIGATION WITHIN 24" OF AN IMPERMEABLE SURFACE, OR IN AREAS LESS THAN 10' WIDE IN ANY DIRECTION.
- FIELD ADJUST ALL SPRINKLERS TO ELIMINATE OVERSPRAY ON TO SIDEWALKS AND DRIVEWAYS.
- MAINLINE AND VALVE LOCATIONS SHOWN ON PLAN ARE DIAGRAMMATIC.
- PIPE SIZING CHART:
 - 0-8 GPM = 3/8" SCH. 40 PVC
 - 8-12 GPM = 1/2" SCH. 40 PVC
 - 12-22 GPM = 3/4" SCH. 40 PVC
 - 22-30 GPM = 1-1/2" SCH. 40 PVC



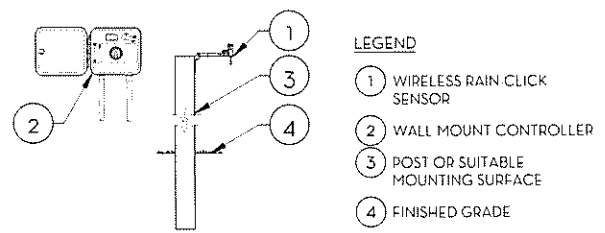


HUNTER INDUSTRIES
 1940 Diamond Street
 San Marcos, CA 92078
 Main: 760-744-5240
 Technical Support: 760-591-7383
 www.hunterindustries.com

- LEGEND**
- IRRIGATION CONTROLLER (HCC-800-M) PER PLAN
 - IRRIGATION CONTROL WIRE IN CONDUIT - SIZE AND TYPE PER LOCAL CODES
 - ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J BOX INSIDE CONTROLLER
 - ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

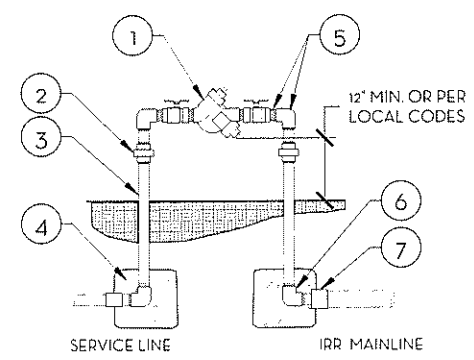
- NOTES**
1. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 250 VOLTS A.C. (INTERNATIONAL MODEL). MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND TO 110 VAC POWER SOURCE.
 3. REFER TO THE HUNTER HCC INSTALLATION GUIDE FOR FURTHER INSTRUCTIONS.

1 HUNTER HCC-800-M IRRIGATION CONTROLLER
 NOT TO SCALE



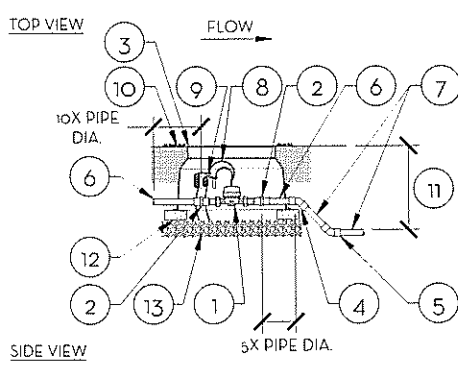
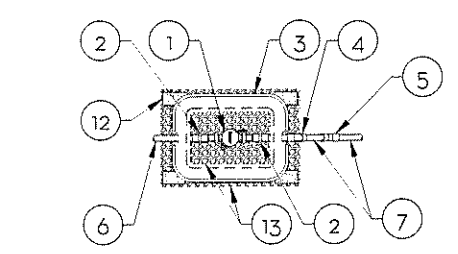
- LEGEND**
- 1 WIRELESS RAIN CLICK SENSOR
 - 2 WALL MOUNT CONTROLLER
 - 3 POST OR SUITABLE MOUNTING SURFACE
 - 4 FINISHED GRADE

2 HUNTER RAIN-CLICK
 NOT TO SCALE



- LEGEND**
- 1 REDUCED PRESSURE BACKFLOW DEVICE AS SPECIFIED
 - 2 GALVANIZED UNIONS AT EACH SIDE
 - 3 GALVANIZED RISERS
 - 4 CONCRETE THRUST BLOCKS, 90 LBS OF CONCRETE EACH
 - 5 GALVANIZED NIPPLES AND ELL AS REQUIRED
 - 6 GALVANIZED ELL AND NIPPLE, TYPICAL EACH SIDE
 - 7 PVC COUPLER AND SCH 80 TOE NIPPLE, TYPICAL EACH SIDE

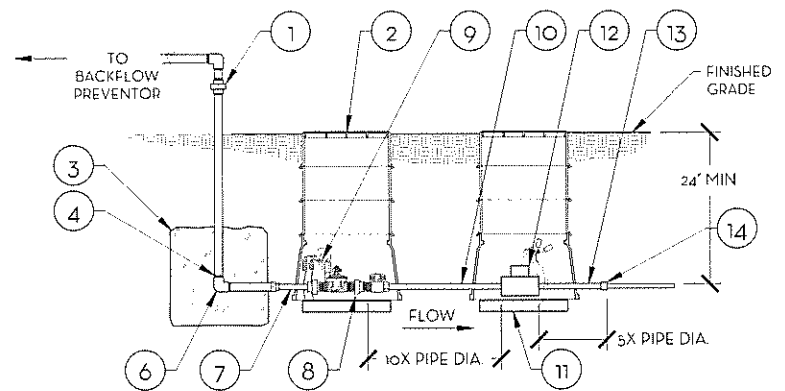
3 REDUCED PRESSURE BACKFLOW DEVICE
 NOT TO SCALE



- LEGEND**
- 1 HUNTER HC FLOW METER HC-100 FLOW WITH UNION CONNECTIONS
 - 2 SCH 80 PVC FEMALE ADAPTER (S X T)
 - 3 1/2\"/>
 - 4 SCH 80 PVC 45 DEGREE ELBOW (S X S) TO LOWER MAIN LINE TO PROPER DEPTH (SIZE FOR LARGER MAIN LINE AS NEEDED)
 - 5 SCH 80 PVC 45 DEGREE ELBOW (S X S) TO LOWER MAIN LINE TO PROPER DEPTH
 - 6 1\"/>
 - 7 MAIN LINE TO SYSTEM (SEE LEGEND AND PLANS FOR TYPE AND SIZE)
 - 8 TWO WIRES TO FLOW SENSOR TERMINALS AT CONTROLLER. MIN 18 AWG UF (2.08 mm²) SHIELDED WIRE WITH DIFFERENT COLOR FROM CONTROL/Common WIRE
 - 9 WEATHERPROOF WIRE CONNECTOR
 - 10 FINISH GRADE
 - 11 SPECIFIED SOIL COVER (SEE LEGEND)
 - 12 COMMON BRICK
 - 13 GRAVEL BASE, 6\"/>

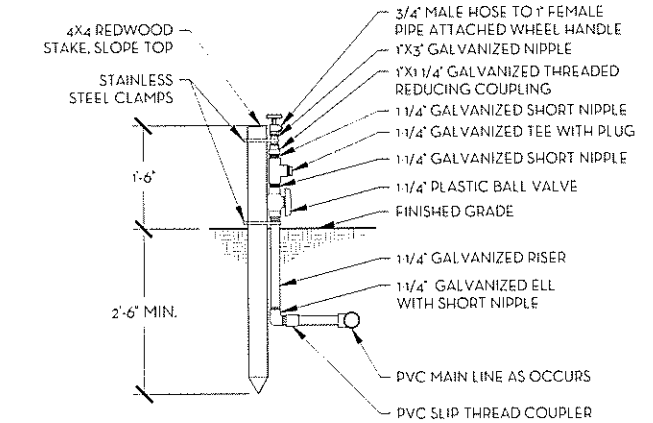
- NOTES**
1. INLET PIPE ENTERING METER. LENGTH MUST BE A MIN OF 10 X PIPE DIA.
 2. OUTLET PIPE LEAVING METER. LENGTH MUST BE MIN. OF 5 X PIPE DIA.
 3. INLET AND OUTLET PIPE MUST BE STRAIGHT PIPE WITH NO FITTINGS OR TURNS UNTIL AFTER THESE SPECIFIED LENGTHS. PIPE AND FITTINGS MAY BE SCH 80 PVC SOLVENT WELD, THREADED SCH 80 PVC OR BRASS, AS REQUIRED FOR PROJECT.

**4 HUNTER HC-100 1\"/>
 NOT TO SCALE**

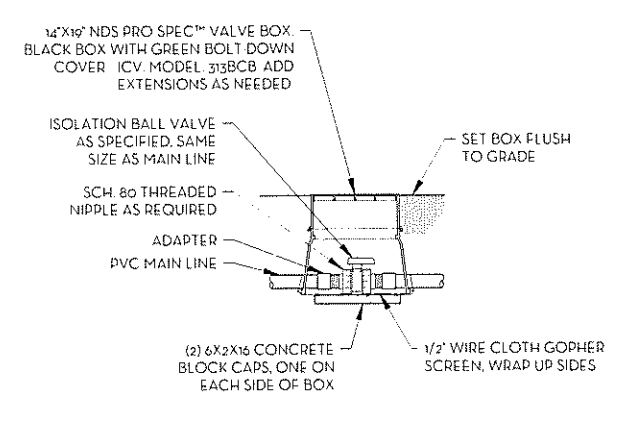


- LEGEND**
- 1 GALVANIZED UNION
 - 2 1/2\"/>
 - 3 18\"/>
 - 4 GALVANIZED RISER
 - 5 2\"/>
 - 6 GALVANIZED ELL
 - 7 PVC SCH 80 1\"/>
 - 8 MASTER VALVE AS SPECIFIED
 - 9 WATERPROOF CONNECTORS
 - 10 1\"/>
 - 11 2\"/>
 - 12 FLOW METER AS SPECIFIED (2 WIRES TO CONTROLLER)
 - 13 1\"/>
 - 14 1\"/>

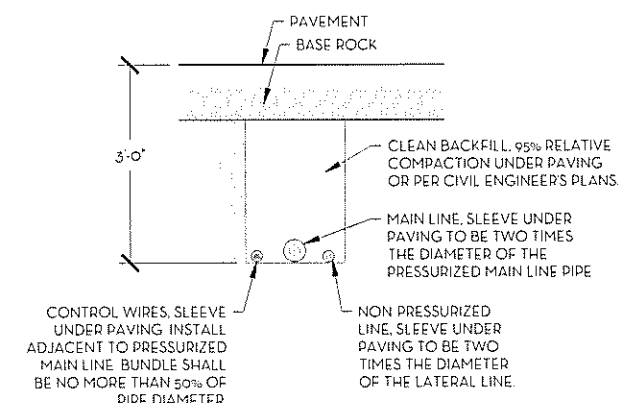
5 MASTER CONTROL VALVE AND FLOW SENSOR ASSEMBLY
 NOT TO SCALE



6 HOSE BIBB
 NOT TO SCALE

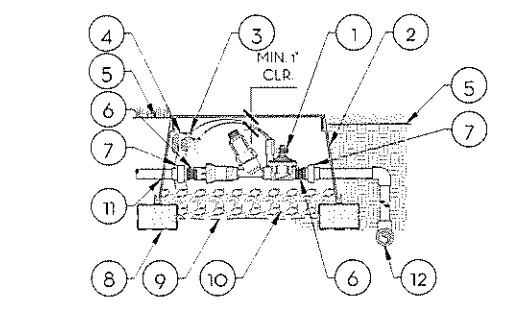


7 TRUE UNION BALL ISOLATION VALVE
 NOT TO SCALE



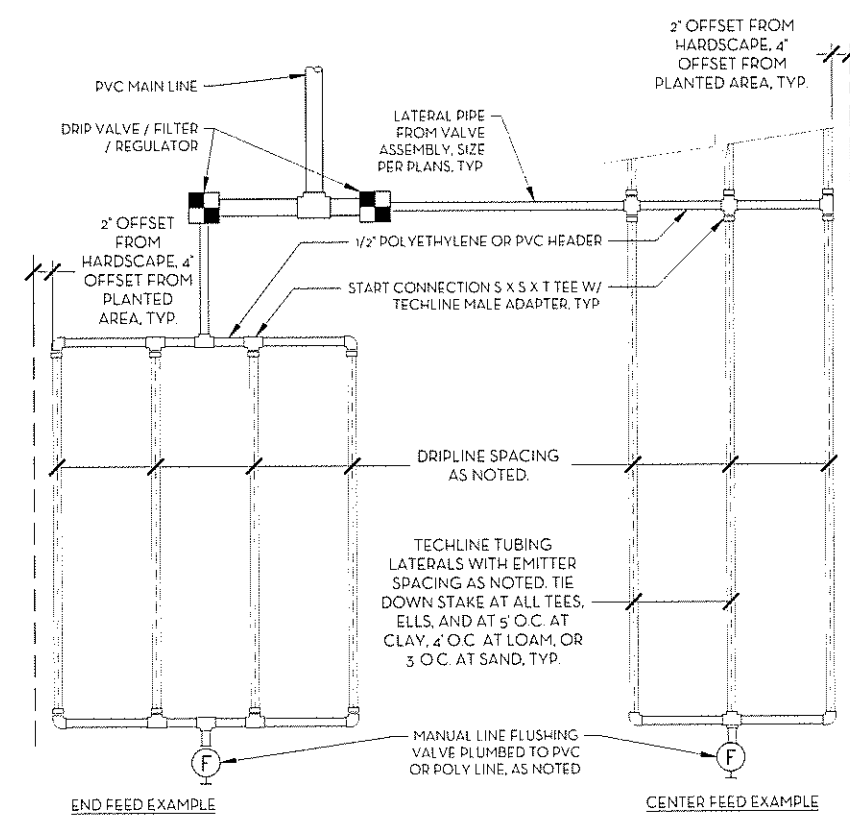
- NOTES**
1. SEE IRRIGATION LEGEND FOR MAIN LINE SIZE AND TYPE.
 2. ALL SLEEVES SHALL BE SCH 40 PVC PIPE.
 3. ALL SLEEVES SHALL EXTEND 12\"/>
 - 4. END OF SLEEVES SHALL BE LOCATED WITH A WOODEN STAKE OR PVC PIPE. LOCATORS SHALL RUN CONTINUOUSLY FROM THE END OF THE SLEEVE TO FINISHED GRADE.

8 PIPE BENEATH PAVEMENT
 NOT TO SCALE



- LEGEND**
- 1 HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
 - 2 1/2\"/>
 - 3 WATERPROOF CONNECTORS (2)
 - 4 18\"/>
 - 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
 - 6 SCH 80 CLOSE NIPPLE. MATCH SIZE TO VALVE
 - 7 PVC SLIP X FPT UNION
 - 8 BRICK SUPPORTS (2)
 - 9 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
 - 10 3/4\"/>
 - 11 IRRIGATION LATERAL
 - 12 MAINLINE LATERAL AND FITTINGS

9 HUNTER DRIP CONTROL ZONE KIT (ICZ 101) W/ UNIONS
 NOT TO SCALE

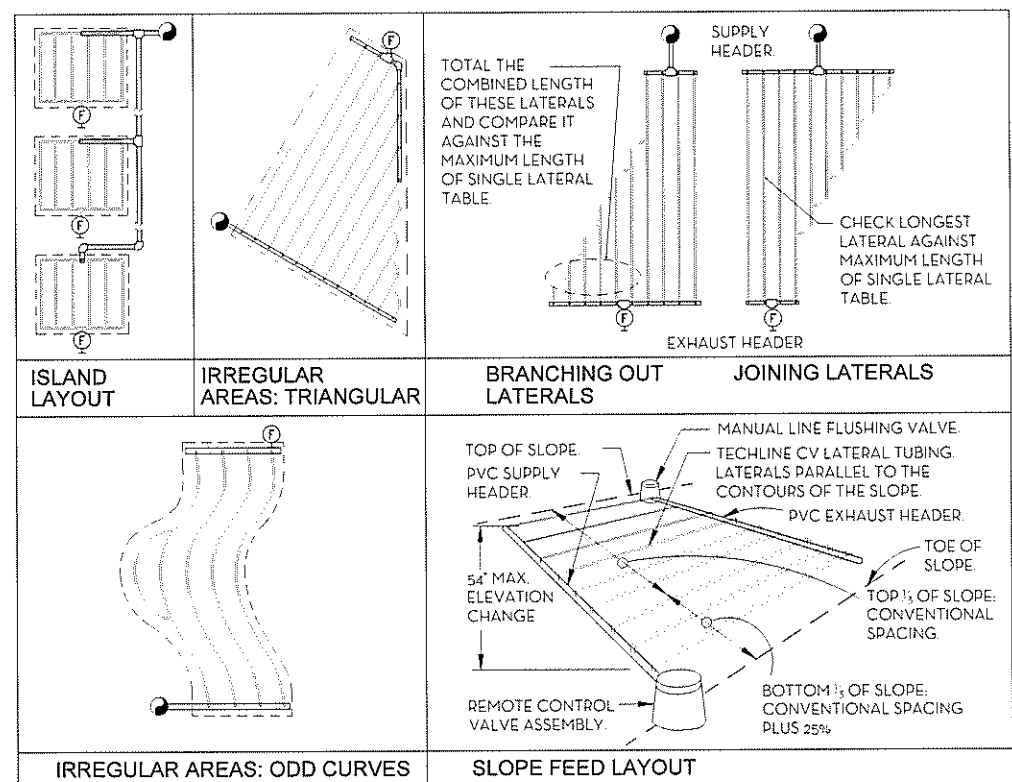
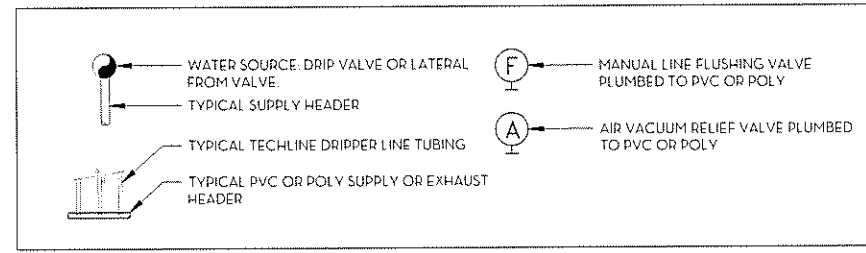


TECHLINE CV MAXIMUM LENGTH OF SINGLE LATERAL (FEET)

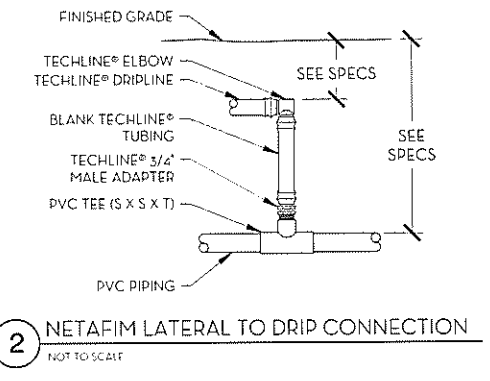
DRIPPER SPACING	12"				18"				24"		
	0.26	0.4	0.6	0.9	0.26	0.4	0.6	0.9	0.6	0.9	
INLET PRESSURE (PSI)	15	127	109	86	65	177	151	120	91	152	116
	25	427	325	256	194	604	459	361	274	458	348
	35	539	409	322	244	763	579	456	346	580	440
	45	618	469	369	280	877	664	523	397	666	506

TECHLINE CV FLOW PER 100 FEET

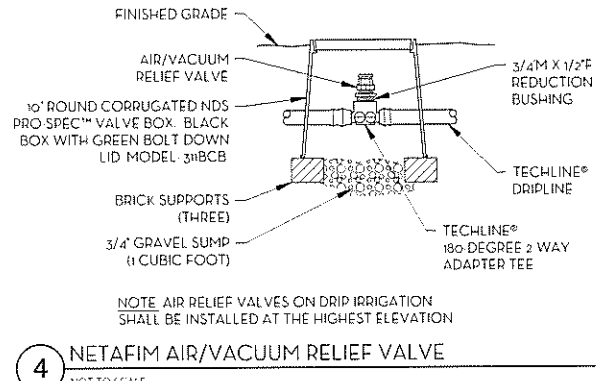
DRIPPER SPACING	0.26 GPH DRIPPER		0.4 GPH DRIPPER		0.6 GPH DRIPPER		0.9 GPH DRIPPER	
	GPH	GPM	GPH	GPM	GPH	GPM	GPH	GPM
12"	26.40	0.44	40.00	0.67	61.00	1.02	92.00	1.53
18"	17.58	0.29	26.67	0.44	41.00	0.68	61.00	1.02
24"	N/A	N/A	N/A	N/A	31.00	0.51	46.00	0.77



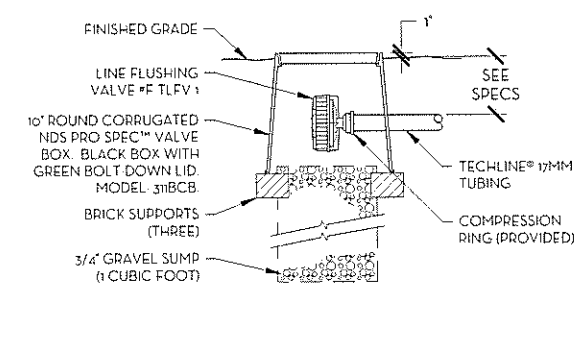
NOTES
 1. A MINIMUM OF 3" SHREDDED BARK MULCH SHALL BE PROVIDED ON TOP OF FINISH SOIL GRADE OF THE DRIP IRRIGATION SYSTEM
 2. ALL DRIPPER TUBING SHALL BE INSTALLED 3 TO 4" BELOW GRADE TO PREVENT TRIP HAZARD.



2 NETAFIM LATERAL TO DRIP CONNECTION
 NOT TO SCALE



4 NETAFIM AIR/VACUUM RELIEF VALVE
 NOT TO SCALE



3 NETAFIM LINE FLUSHING VALVE
 NOT TO SCALE

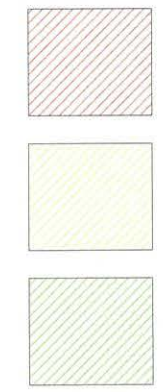
1 TYPICAL NETAFIM TECHLINE CV REQUIREMENTS
 NOT TO SCALE

DATE	REVISIONS	DESCRIPTION

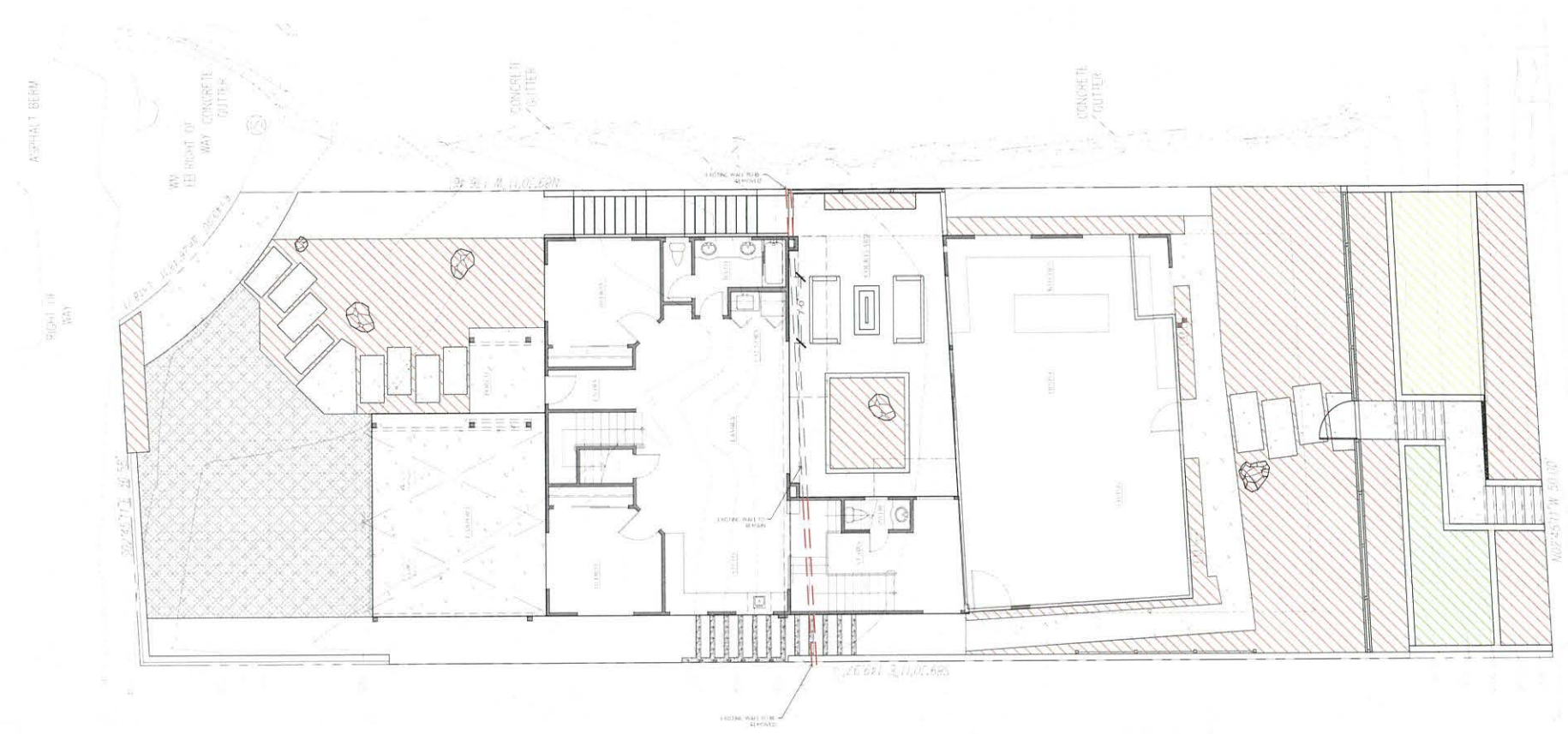
All drawings and written materials prepared by or for the undersigned shall remain the property of Falling Waters Landscape, Inc. Owner agrees to hold Falling Waters Landscape, Inc. harmless from and against all damages, claims and losses, including professional fees, arising out of any written changes and/or use of these drawings and written materials by others acting through the Owner.

HYDROZONE LEGEND

- Zone #1: Drip Irrigation, Low water Use
1,582 SF (82.9% of irrigated landscape area)
- Zone #2: Drip Irrigation, Medium Water Use
192 SF (10.0% of irrigated landscape)
- Zone #3: BMP, Drip Irrigation, Medium Water Use
135 SF (7.1% of irrigated landscape)



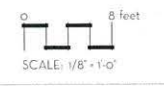
TOTAL IRRIGATED LANDSCAPE AREA: 1,909 SF



DRP22-027 SDP22-024 724 VALLEY AVE.

0.3	0.6	0.6
1,582	194	133
474.6	116.4	79.8
0.81	0.81	0.81
585.9	143.7	98.5
828.1		
25.42 x 828.1 = 21,050.3		

25.42 .55 1,909 .55 0 26,689.7 GALLONS/YR.



REPORT TO: 11112
 SITEONE LANDSCAPE
 750 SOUTH COAST HWY 101
 ENCINITAS, CA 92024

TURF AND ORNAMENTAL SOIL TEST AND RECOMMENDATION REPORT

SUBMITTED BY/FOR: FALLING WATERS
 129099
 11/11/2024

Spectrum Analytic
 1087 Jamison Road NW
 Washington Court House, OH 43160-8748
 www.spectrumanalytic.com

FALLING
 WATERS
 LANDSCAPE,
 INC.
2235 Encinitas Blvd, Suite 200
 Encinitas, CA 92024
 (858) 447-1225

SIGNATURE
 RYAN S. PRANGE
 CA LIC. #915424

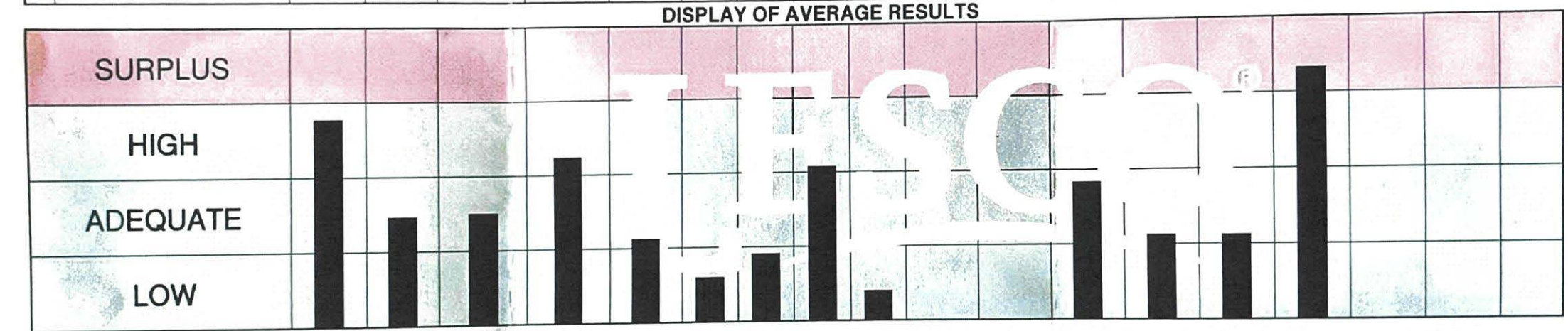

Soil Report

WARD RESIDENCE
 724 VALLEY AVE. SOLANA BEACH, CA
 92075
 APN: 2998101700



REVISIONS	
DATE	DESCRIPTION

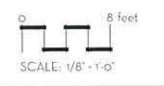
Line Number	RESULTS OF ANALYSIS							CALCULATED VALUES					RESULTS OF ANALYSIS						Soluble Salts mmhos/cm	O.M. %		
	LAB NO	Soil pH	Buffer pH	Pounds per Acre Available Nutrient				CEC	% Base Saturation				Pounds per Acre Available Nutrient									
				P	K	Ca	Mg		K	Ca	Mg	Na	S	B	Cu	Fe	Mn	Zn			Na	
1	E39637	6.7	7.2	176	218	3502	672	11.5	2.0	57	22	1.2			5.0	162	60	40.2	62			
2																						
3																						
4																						
5																						
6																						
7																						
8																						
9																						
10																						
11	AVERAGE RESULTS																					



Line Number	SAMPLE INFORMATION				FERTILIZER RECOMMENDATIONS IN LBS PER 1000 SQ FT										
	SAMPLE IDENTIFICATION	PLANT TYPE	AREA TYPE	MAINT LEVEL	LIME	Type	NITROGEN	Freq	P2O5	K2O	Mg	Fe	Mn	Zn	
1	WARD	BERMUDAGRASS	LAWN	EST.	0		1.00 - 1.50	M	0.50	1.00	0.00	0.10	0.02	0.00	
2															
3															
4															
5															
6															
7															
8															
9															
10															
11	RECOMMENDATIONS FOR AVERAGE RESULTS														

Analyzed by Spectrum Analytic, Inc.

For help understanding your tests, go to <https://spectrumanalytic.com/help/>



INSTALLATION:

Prior to erecting the story poles, the applicant and/or representative must contact the Community Development Department to discuss the story polling process and procedures, and to review and approve the story pole plot plan prior to construction.

The story poles must be constructed as per an approved and certified story pole plan.

Story poles shall be erected of white PVC pipe in combination with wire or line to show roof lines. A similar white material may be approved by the Community Development Director and shall be requested before the poles are erected. Small pieces of brightly colored cloth or tape should be affixed to the wire or line to facilitate accurate viewing of the outline of the proposed structure. Eaves that extend beyond two feet should be shown with different colored cloth or tape.

Story poles shall be marked at every foot.

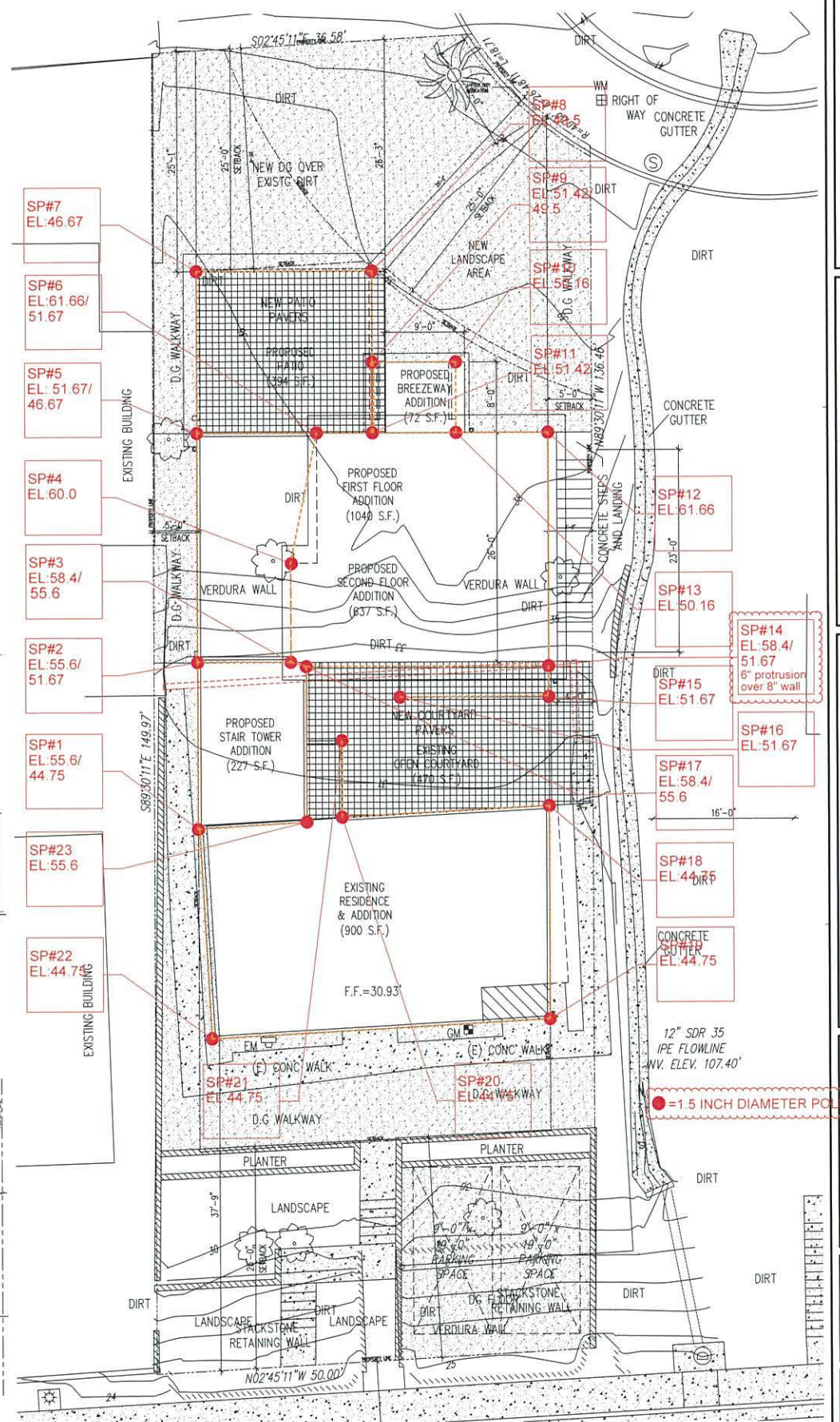
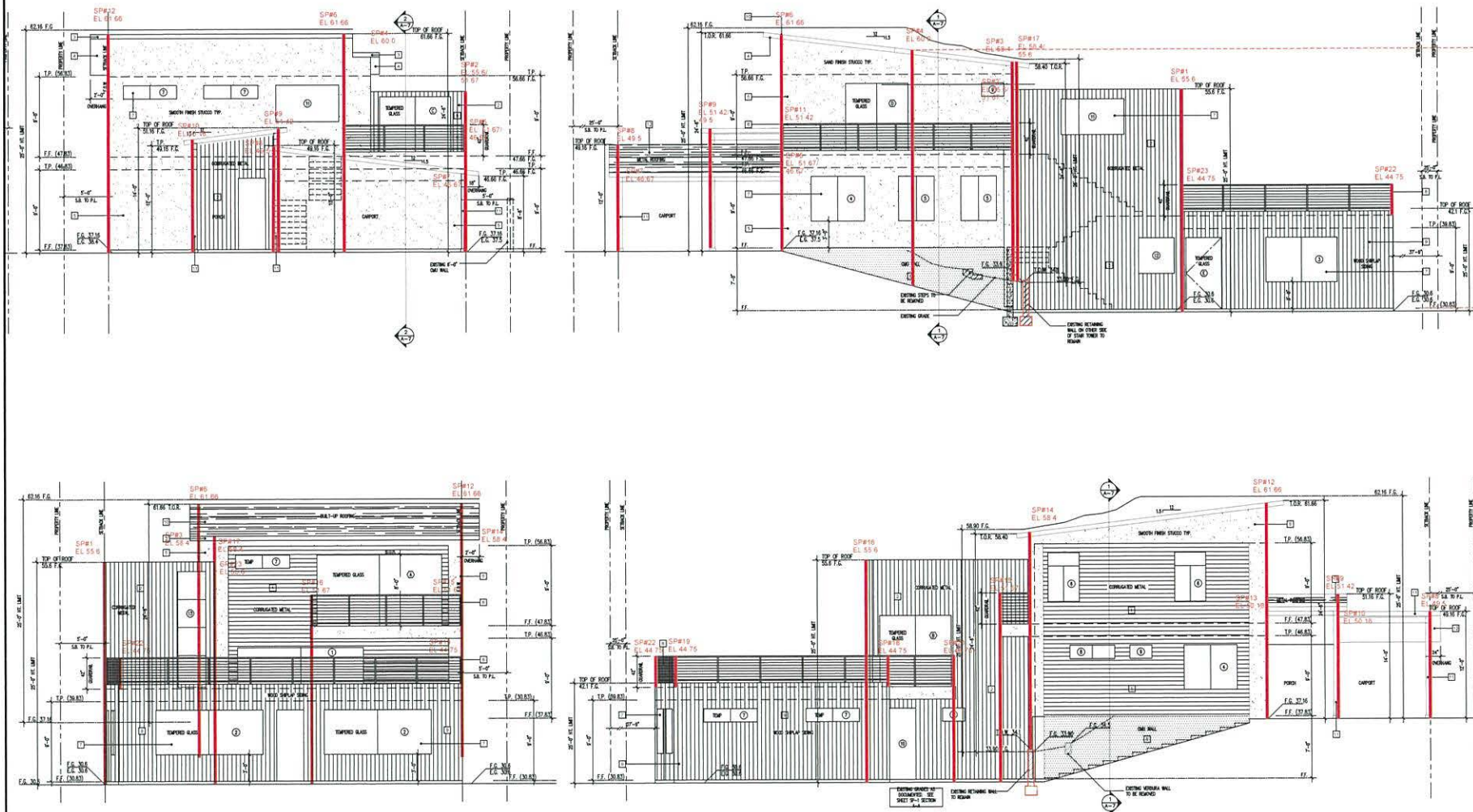
Each story pole shall be numbered and shall correspond with the numbering on the approved and certified story pole plot plan. Each number on the story pole must be a minimum size of two (2) inches by three (3) inches, must be placed one (1) foot below the top and four (4) feet above the bottom of the pole, and must remain legible throughout the entire process. The use of black vinyl self-stick numbers is highly recommended.

CERTIFICATION/INSPECTION

The accuracy of the structural outline established by the story poles shall be verified by a signed statement of a licensed surveyor or civil engineer on a story pole plot plan.

Prior to the View Assessment Commission's first duly noticed public hearing date, City Staff may make an on-site inspection to verify compliance with the approved story pole plan.

In the event that the required story poles are not erected according to the approved story pole plan, an application may be continued from its scheduled hearing date to a subsequent meeting for that the story poles may be corrected.



724 VALLEY AVE
SOLANA BEACH, CA

STORY POLE PLAN

02/22/2025

A-SP



CITY OF SOLANA BEACH

635 SOUTH HIGHWAY 101 • SOLANA BEACH • CALIFORNIA 92075 • (858) 720-2400 • FAX (858) 755-4782

RECEIVED
MAY - 7 2025
Development Dept
CITY OF SOLANA BEACH

STORY POLE HEIGHT CERTIFICATION

Date: 05/06/25

Assessor's Parcel No.: _____

Site Address: 724 Valley Ave

Owner's Name: _____

This is to certify that on 04/18/25 the story poles located on the above referenced site were surveyed by the undersigned, and found to be in conformance with the attached story pole plot plan. In addition, the following measurements were found:

Highest point of the story poles:	<u>61.66</u>	(M.S.L.)*
Pre-existing grade:	<u>38.07</u>	(M.S.L.)*
Finished grade elevation:	<u>37.16</u>	(M.S.L.)*
Finished floor elevation:	<u>37.83</u>	(M.S.L.)*
TOTAL MAXIMUM HEIGHT:	<u>24.50</u>	

PLEASE NOTE: The story poles must show and include the total height must include roofing materials. At framing inspection, a Height Certification will be required which must be in exact conformance with the maximum height shown on Story Pole Height Certification.

For additional information, please contact me at (925)457-1734 (phone number)

Kevin Nickolas
Licensed Land Surveyor

Seal of Registration:



*Mean Sea Level (MSL) — all measurements must utilize an established benchmark that will not change over the course of the project.



The Wards

734-276-3707 ward9139@gmail.com 724 Valley Ave, Solana Beach, CA

July 9, 2025

Dear Solana Beach City Council:

Thank you for giving us the opportunity to introduce ourselves: Alex, 52 year old father, Susan, 48 year old mother, Gabriela, 15 year old daughter and soon to be high school junior, Logan, 12 year old son and soon to be 8th grader. We also have two dogs Cleo and Merle. This illustrates our family composition today in 2025. However, when we purchased 724 VALLEY AVE in 2019, the parents felt a decade younger, the children were in elementary school, and we had one Russian Blue kitty Heather.

In 2019, when we purchased our 800 square feet bungalow, we fell in love with the Eden Gardens neighborhood with La Colonia park. The community is charmingly urban and warmly nurturing.

When the Covid pandemic hit, we were virtually on top of each other in our small home, growing children, and additional pets. We needed more space. A family friend introduced us to Mr. Ken Lowe, now our architect, and together we designed a property development plan that we felt was at once relatively modest (the proposed property is ~2500 square feet) and was an economic and efficient use of our lot. The plan creates two children's bedrooms, a master bedroom, and leaves the original structure as an open kitchen and living room. The property will now have two structures, separated by a stair tower, and an interior courtyard that offers a mix of indoor and outdoor space.

Our design is respectful of our neighborhood and just enough to accommodate our family in a modular manner. Indeed, many of the exterior aesthetic design choices were made with Baker Iron Works and other buildings along Valley Avenue in mind. We hope you agree with us.

Sincerely yours,

Alex and Susan



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Community Development Department
PROJECT PLANNER: Corey Andrews, Principal Planner
SUBJECT: **Public Hearing: Request for Development Review Permit and Structure Development Permit for an Interior Remodel and Square Footage Addition and to Perform Associated Site Improvements at 534 N. Cedros Ave. (Case #: DRP24-017, SDP24-012; Applicant: John Murphy; APN: 263-062-28; Resolution 2025-086)**

BACKGROUND:

The Applicant, John Murphy, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish the existing garage and construct a new 637 square foot attached garage and a 269 square foot addition to the first floor living area which includes the entry area and a covered and enclosed area. The Applicant is also proposing an Accessory Dwelling Unit (ADU) above the garage. The ADU is not subject to discretionary review and required to be ministerial by State Law, the increased deck area and elongated eave on the second floor, that has been illustrated by the story poles, is subject to discretionary review. The project would require grading in the amount of 10 cubic yards of excavation for footings and 54 cubic yards of removal and recompaction. The 13,610 square-foot lot is located within the Medium Residential (MR) Zone and Scaled Residential Overlay Zone (SROZ). The proposed addition would have a maximum building height at 24.57 feet or 95.97 MSL above the existing grade of 71.40 MSL.

The project requires a DRP because the construction is in excess of 60% of the maximum allowable floor area. The project requires an SDP because the proposed development exceeds 16 feet in height above existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2025- 086 (Attachment 1).

CITY COUNCIL ACTION:

DISCUSSION:

The subject property is located on the east side of N. Cedros Avenue and is relatively flat. The lot is rectangular in shape, except for a notch cut out of the southeast corner. There is 96.95 feet of frontage along N. Cedros Ave., a 144.40-foot northern property line, and a 127.06-foot southern property line. The existing driveway provides vehicular and pedestrian access to the property from the northwest corner of the lot. The existing 504 detached garage will be demolished and replaced with a new 637 square foot garage, in addition a 269 square foot addition that contains a pool bathroom, a laundry room, and a new entry way is proposed. The addition area also includes 56 square feet of enclosed outdoor area that is included in the FAR. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant's proposed design.

Table 1			
LOT INFORMATION			
Property Address:	534 N. Cedros Ave.	Zoning Designation:	MR (3 du/ac)
Lot Size (Net):	30,610 ft ²	# of Units Allowed:	1 Dwelling Unit, 1 ADU, 1 JADU
Max. Floor Area:	4,332 ft ²	# of Units Requested:	1 Dwelling Unit
Proposed Floor area:	3,376 ft ²	Setbacks:	Required Proposed
Below Max. by:	956 ft ²	Front (W)	25 ft. 27 ft.
Max. Height Allowed:	25 ft.	Interior Side (N)	10 ft. 10 ft.
Max. Height Prop. :	24.57 ft.	Interior Side (E)	10 ft. 11 ft. 2 in.
Highest Point/Ridge:	95.97 MSL	Rear (S)	25 ft. 15 ft. 5 in.
Existing Grade:	71.40 MSL		
Overlay Zone(s):	SROZ		
PROPOSED PROJECT INFORMATION			
Floor Area Breakdown:		Requested Permits:	
Proposed Garage Addition:	637 ft ²	DRP: A DRP is required for structure that exceeds 60% of the maximum allowable FAR.	
Existing Main Floor:	2,870 ft ²		
Proposed Main Floor Addition:	269 ft ²	SDP: An SDP is required for a new structure that exceeds 16 feet in height from the existing grade	
Subtotal:	3,776 ft ²		
Off-Street Parking Exemption:	- 400 ft ²		
Total Floor Area	3,376 ft²		
Proposed Grading: 10 cubic yards of excavation for footings and 54 cubic yards of removal and recompaction.			
Proposed Parking: Proposed Garage		Existing Development:	
Proposed Fences and Walls: Yes		Single-Family Residence and detached Garage, pool, spa and site improvements	
Proposed Accessory Structure: No			

The following is a discussion of the findings for a DRP and SDP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-086.

Development Review Permit (DRP) Compliance (SBMC Section 17.68.40):

A DRP is required for a structure that exceeds 60% of the maximum allowable floor area. In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all the findings listed below can be made. Resolution 2025-086 provides a full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP.

In addition to meeting zoning requirements, the project must also be found in compliance with the development review criteria. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

DRP Finding # 1

General Plan Consistency

The proposed project is found to be consistent with the General Plan, which designates the property as Medium Density Residential in the General Plan. This zone is intended to provide for residential development in areas characterized primarily by detached single-family dwellings on older subdivided lots and two-family and multiple-family

dwellings within newer, large lot, planned developments at a maximum density of 5-7 dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the MR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

The property is also located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

Minimum Yards/Setbacks:

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 10-foot interior side-yard setbacks. The entire addition area would be located within the buildable area of the lot. The northeast corner of the existing residence does encroach into the required rear yard setback approximately 11 ft. 5 inches, however, the Applicant does not intend to modify the remainder of the existing residence, therefore it is allowed to remain.

Maximum Floor Area Ratio:

The property is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for the proposed 13,610 square foot lot, pursuant to the provisions of the SROZ, is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,332 ft ²
<hr/> Maximum Allowable Floor Area:	<hr/> 4,332 ft ²

The residence consists of an existing open concept kitchen, dining room, and living room as well as a laundry room and two bedrooms with ensuite bathrooms and the primary bedroom suite that will remain. The Applicant is proposing to demolish the existing garage and construct a new 637 square foot garage, a 269 square foot addition including a new pool bathroom, laundry room, entry way, and a covered and enclosed area that is included in the FAR. The remainder of the lot is improved with a swimming pool and spa

in the front usable lot area and encroaches into the required front yard setback. The pool area is surrounded by mature landscaping that is proposed to remain except for the landscaping located in the area that is required to be dedicated as a condition of approval, which will be discussed later in this report.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 637 square-feet of garage area will provide two unobstructed parking spaces; therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the exemption for providing required parking in a garage, the total gross floor area of the project is 3,376 square feet, which is 956 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the MR Zone is 25 feet. The maximum height of the project is 24.57 feet above the existing grade. The proposed addition exceeds 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment which is discussed later in this report.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces are proposed in the new garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. A fence or wall of five feet may be permitted in the front yard setback to comply with safety requirements for a swimming pool or spa. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

Currently, there is a fence enclosing the entire perimeter of the property which ends with a gate on the north side of the existing garage and fully encloses the front yard area south of the garage and driveway. There is mature vegetation that screens the fence from view. With the required three-foot dedication, the existing vegetation and the westernmost portion of the fence would have to be removed and relocated outside of the dedication and on to the property. The fence would be allowed to be 5 feet in height within the front yard setback area in order to comply with the building and safety requirements for the pool. If the Applicant decides to modify any other portion of the existing fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they will be required to comply with the Municipal Code.

Landscape:

The proposed project includes 149 square feet of new landscaped area, therefore a water efficient landscape plan was not required. As a condition of approval, should the Applicant decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 and SBMC Section 17.68.040(F) are listed below with further discussion as to how they relate to the proposed Project:

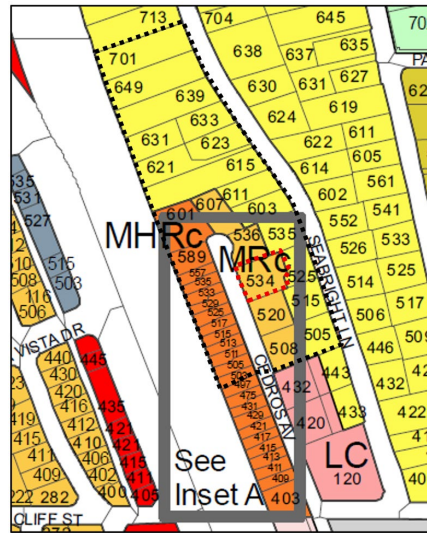
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The property is located within the MR Zone. Properties to the north and south are also within the MR Zone properties to the west are developed with the Cedros Seaside Row Homes that are within the Medium High Residential (MHR) Zone, properties to the east are located within the Low Medium Residential (LMR) Zone. Properties north, south and east are also located within the SROZ and are developed with one- and two-story, single-family residences.

Neighborhood Comparison:

Staff compared the proposed project to 31 other properties within the surrounding area. This area includes properties along both sides of N. Cedros Ave and the west side of Seabright Lane side as shown on the following map:



The properties evaluated in this comparison are located within the boundaries of the MHR, MR, and LMR zones and some are within the SROZ. The properties in the MHR Zone have a FAR of 0.75 the other properties have a tiered FAR similar to the subject property. The existing homes range in size from 888 square feet to 6,810 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage but including the basement as follows:

Project Gross Building Area:	3,776 ft ²
Delete Garage:	- 637 ft ²
Delete Covered and Enclosed Area	-56 ft ²
<u>Project Area for Comparison to Assessor's Data:</u>	<u>3,083 ft²</u>

Table 2, below, is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

#	Property Address	Lot Size in ft ² (GIS)	Existing ft ² Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	701 Seabright Ln	21,700	3,004		5,175	LMR
2	649 Seabright Ln	22,100	6,810		5,175	LMR
3	639 Seabright Ln	21,300	888		4,875	LMR
4	633 Seabright Ln	11,300	2,660		3,788	LMR
5	631 Seabright Ln	11,200	1,284		3,910	LMR
6	623 Seabright Ln	9,800	2,659		3,726	LMR
7	621 Seabright Ln	14,200	1,480		4,278	LMR

Table 2						
#	Property Address	Lot Size in ft ² (GIS)	Existing ft ² Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
8	615 Seabright Ln	24,829	2,212		5,316	LMR
9	611 Seabright Ln	10,200	2,477		3,769	LMR
10	603 Seabright Ln	10,400	2,662		3,725	LMR
11	535 Seabright Ln	10,900	3,247		3,858	LMR
12	525 Seabright Ln	7,955	3,203		3,315	LMR
13	515 Seabright Ln	10,800	2,556		3,853	LMR
14	505 Seabright Ln	10,600	984		3,805	LMR
15	607 N Cedros Ave	9,115	3,320		3,545	MR
16	536 N Cedros Ave	9,332	2,647		3,594	MR
17	534 N Cedros Ave	13,610	2,870	3,083	4,332	MR
18	520 N Cedros Ave	10,920	1,244	3,471	3,781	MR
19	508 N Cedros Ave	10,912*	1,170		3,781	MR
20	601 N Cedros Ave	15,608	1,282	5,571	11,706	MHR
21	589 N Cedros Ave	5,330	2,054		3,997	MHR
22	557 N Cedros Ave	3,042	2,292		2,281	MHR
23	535 N Cedros Ave	2,998	2,667		2,248	MHR
24	533 N Cedros Ave	3,042	2,292		2,281	MHR
25	529 N Cedros Ave	2,998	2,142		2,248	MHR
26	525 N Cedros Ave	3,042	2,292		2,281	MHR
27	517 N Cedros Ave	2,998	2,667		2,248	MHR
28	515 N Cedros Ave	3,042	2,292		2,281	MHR
29	513 N Cedros Ave	2,998	2,142		2,241	MHR
30	511 N Cedros Ave	3,042	2,292		2,281	MHR
31	505 N Cedros Ave	2,998	2,667		2,248	MHR
32	503 N Cedros Ave	3,042	2,292		2,281	MHR

Building and Structure Placement:

The 13,610 square foot lot is currently developed with an existing 2,870 square-foot single-family residence with a detached 504 square foot garage as well as site improvements including a pool, spa and landscaping. The Applicant is proposing to demolish the existing garage and construct a new 637 square foot garage, a 269 square foot addition including a new pool bathroom, laundry room, entry way, and a covered and enclosed area that is included in the FAR.

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 10-foot interior side-yard setbacks. The Applicant intends to construct a new ADU on top of the new garage which is not subject to discretionary review. The entire addition area would be located within the buildable area.

The SBMC parking regulations require two (2) off-street parking spaces, 9ft. x 19ft. clear, per single-family residence. The SBMC sections 17.48.040 and 17.20.030 indicate that when required parking spaces are provided within a garage, up to 200 square feet of floor area is exempted for each required space. The proposed 637 square foot garage provides two unobstructed garage parking spaces. Therefore, the project is afforded a 400 square-foot exemption.

Landscape:

The proposed project includes 149 SF of new landscaped area, therefore a water efficient landscape plan was not required. As a condition of approval, should the Applicant decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. Currently, the property is accessed from the northwest corner of the lot from the existing driveway. The Applicant is proposing to maintain the existing driveway, demolish the existing garage, and construct a new 637 square foot garage. The SBMC indicates that required parking within a garage up to 200 square feet per space can be exempt from the calculation of floor area. Two unobstructed parking spaces that are 9 ft. by 19 ft. would be provided in the proposed garage, therefore, a 400 square foot exemption is applied to the project.

Grading:

The project includes grading in the amount of 54 yd³ of removal and recompaction to prepare the pad for the proposed addition with an additional 10 yd³ of excavation for new footings for the new garage and proposed additional square footage. No additional site grading is proposed.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of a square footage addition to an existing single-story, single-family residence and site improvements; therefore, usable open space and recreational facilities

are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Property Frontage and Public Right-of-Way Improvements:

The existing property frontage is inadequately improved, with a rolled curb voluntarily installed by the property owner. If approved, the Applicant will be required to dedicate 8-feet of property frontage for use as public right of way. In addition, the applicant will be required to remove the existing landscaping on that dedication area and construct a 10-foot wide D.G. pathway graded at a 2% maximum slope for walking and parking purposes.

Structure Development Permit (SDP) Compliance (SBMC Section 17.63):

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite, and the Story Pole Height Certification was issued by a licensed land surveyor on April 23, 2025, which showed the highest story pole certified at 96.05 MSL (story pole #1) which is 24.85 feet above the pre-existing grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on June 9, 2025. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

It should be noted that since the June 9, 2025, View Assessment deadline, the Applicant decided to reduce the length of the westernmost eave by one foot with no change to the roof pitch. This reduction would lower the maximum building height from 24.85 feet to 24.57 feet or 95.97 MSL. This modification has been reflected on the plans provided in Attachment 2.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed residence will not exceed 24.57 feet above the existing grade or exceed a highest point at 95.97 MSL which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary findings to approve the project.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the *Union Tribune* more than 10 days prior to the Public Hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on July 3, 2025. As of the date of preparation of this Staff Report, Staff has not received any formal correspondence from neighbors or interested parties in support of, or in opposition to, the proposed project. Staff did, however, get copied on correspondence between a neighbor and the Applicant which contained questions regarding the scope of work.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-086 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in the italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines. Class 1 consists of minor alteration to existing private structures including additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition or 2,500 square feet whichever is less.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2025-086.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP cannot be made.

CITY STAFF RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and

3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-086 conditionally approving DRP and SDP to demolish the existing garage and construct a new 637 square foot attached garage and a 269 square foot addition to the first floor living area which includes the entry area and covered and enclosed area, as well as a second floor covered deck with extended eaves above the proposed garage at 534 N. Cedros Avenue, Solana Beach.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-086
2. Project Plans

RESOLUTION 2025-086

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH THE EXISTING DETACHED GARAGE AND CONSTRUCT A NEW ATTACHED GARAGE, SQUARE FOOTAGE ADDITION AND NEW ENTRY AREA, AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 534 N. RIOS AVENUE, SOLANA BEACH.

APPLICANT: John Murphy
APPLICATION: DRP24-017/SDP24-012
APN: 263-062-28

WHEREAS, John Murphy (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on July 16, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to demolish the existing garage and construct a new 637 square foot attached garage and a 269 square foot addition to the first floor living area which includes the entry area and covered and enclosed area, as well as a second floor covered deck with extended eaves above the proposed garage at 534 N. Cedros Avenue is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.63.040 (View Assessment) of the City of Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite, and the Story Pole Height Certification was issued by a licensed land surveyor on April 23, 2025, which showed the highest story pole certified at 96.05 MSL (story pole #1) which is 24.85 feet above the pre-existing grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on June 9, 2025. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

It should be noted that since the June 9, 2025, View Assessment deadline, the Applicant decided to reduce the length of the westernmost eave by one foot with no change to the roof pitch. This reduction would lower the maximum building height from 24.85 feet to 24.57 feet or 95.97 MSL.

- B. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- 1. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project is found to be consistent with the General Plan, which designates the property as Medium Density Residential in the General Plan. This zone is intended to provide for residential development in areas characterized primarily by detached single-family dwellings on older subdivided lots and two-family and multiple-family dwellings within newer, large lot, planned developments. at a maximum density of 5-7 dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is also located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and

seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the MR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 10-foot interior side-yard setbacks. The Applicant intends to construct a new ADU on top of the new garage, however, it is not subject to discretionary review. An exterior staircase is proposed between the proposed garage and the existing residence in order to provide access to the ADU. The ADU will be smaller in area than the proposed garage, additional deck area is proposed on the roof of the garage that will be covered by an extended roof and eaves. The additional deck area, roof and eaves on the second level have are subject to discretionary review because this area exceeds the minimum size necessary for the ADU and have been illustrated by the story poles.

Maximum Floor Area Ratio:

The property is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for the proposed 13,610 square foot lot, pursuant to the provisions of the SROZ, is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,332 ft ²
<u>Maximum Allowable Floor Area:</u>	<u>4,332 ft²</u>

The residence consists of an existing open concept kitchen, dining room, and living room as well as a laundry room and two bedrooms with ensuite bathrooms and the primary bedroom suite. The remainder of the existing lot is improved with an existing swimming pool and spa in the front yard area and has mature landscaping that is proposed to remain except for the landscaping in the proposed dedication area which will be removed. Applicant is proposing to demolish the existing garage

and construct a new 637 square foot garage, a 269 square foot addition including a new pool bathroom, laundry room, entry way, and a covered and enclosed area that is included in the FAR.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 637 square-feet of garage area will provide two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the exemption for providing required parking in a garage, the total gross floor area of the project is 3,376 square feet, which is 956 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the MR Zone is 25 feet. The maximum height of the project is 24.57 feet above the existing grade of 71.40 MSL. The proposed addition exceeds 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment which is discussed later in this report.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces are proposed in the new garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. A fence or wall of five feet may be permitted in the front yard setback to comply with safety requirements for a swimming pool or spa. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

Currently, there is a fence enclosing the entire perimeter of the property which ends with a gate on the north side of the existing garage and fully encloses the front yard area south of the garage and driveway. There is mature vegetation that screens the fence from view. With the required three-foot dedication, the existing vegetation and the westernmost

portion of the fence would have to be removed and relocated outside of the dedication and on to the property. The fence would be allowed to be 5 feet in height within the front yard setback area in order to comply with the building and safety requirements for the pool. If the Applicant decides to modify any other portion of the existing fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they will be required to comply with the Municipal Code.

Landscape:

The proposed project includes 149 SF of new landscaped area, therefore a water efficient landscape plan was not required. As a condition of approval, should the Applicant decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the MR Zone and SROZ as are the properties located to the north and south, properties west are developed with the Cedros Seaside Row Homes and are within the Medium High Residential (MHR) Zone, properties to the east are located within the Low Medium Residential (LMR) Zone. Properties north, south and east are also located within the SROZ and are developed with one- and two-story, single-family residences. Properties further south are in the Light Commercial (LC) Zone and are developed with a variety of commercial uses.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed residence will be located within the buildable area of the lot. The highest point of the proposed residence will be 95.97 feet MSL and 24.57 feet above the existing grade.

The existing residence consists of an existing open concept kitchen, dining room, and living room as well as a laundry room and two bedrooms with ensuite bathrooms and the primary bedroom suite. The remainder of the existing lot is improved with an existing swimming pool and spa in the front yard area and has mature landscaping that is proposed to remain except for the landscaping in the proposed dedication area that will be removed. The Applicant will demolish the existing garage and construct a new 637 square foot garage, a 269 square foot addition including a new pool bathroom, laundry room, entry way, and a covered and enclosed area that is included in the FAR.

The residence is designed to minimize adverse impacts on the surrounding properties.

- c. Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The proposed project includes 149 SF of new landscaped area, therefore a water efficient landscape plan was not required. As a condition of approval, should the Applicant decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing*

topography, by the placement of buildings and structures, or by landscaping and plantings.

The project includes a new attached two-car garage which will provide at least two required off-street parking spaces. Vehicular access to the garage and pedestrian access to the residence will be provided by the existing driveway location in the northwest corner of the lot.

- e. Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project includes grading in the amount of 54 yd³ of removal and recompaction to prepare the pad for the addition with an additional 10 yd³ of excavation for new footings for the new garage and proposed additional square footage. No additional site grading is proposed.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of a square footage addition to an existing single-story, single-family residence and site improvements; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section

17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to the issuance of Building or Grading Permits.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on July 16, 2025, and located in the project file with a submittal date of July 9, 2025.
- III. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- IV. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum height of the proposed addition will not exceed 24.50 feet above the proposed grade (or 61.66 feet above MSL) in conformance with the plans as approved by the City Council on July 16, 2025.
- V. The Applicant shall obtain required California Coastal Commission

(CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.

- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- VIII. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- IX. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- X. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. Please reference the current code cycle upon submittal for building review. 2022 California Fire Code.
- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2022 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
- III. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and

legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2022 California Fire Code Chapter 5 Section 505.1.

- IV. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed by a C-16 licensed contractor. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL).

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC 11.20 for all work performed in the public right of way, including the frontage improvements listed below, as shown in approved plans being located the public right-of-way. The frontage improvements shall be completed to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
- a. Construction of the 10-foot wide Decomposed Granite (DG) walkway, compacted and graded at a maximum 2% slope toward the flow line, for walking and parking usage to the satisfaction of the City Engineer.
 - b. Improvements shall have transitions to adjacent structures to the satisfaction of the City Engineer.
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to Final Inspection of the Building Permit. The EMRA shall be recorded against the property for all private improvements in the public right-of-way, including but not limited to:
- a. 10-foot wide DG area along the property frontage on North Cedros Avenue
 - b. Non-standard concrete driveway approach

- c. Mailbox
- d. Irrigation lines and landscaping

- III. An 8-foot width of property frontage along North Cedros Avenue shall be dedicated to the City of Solana Beach as public right of way. The Applicant shall provide the Plat and Legal Description prepared by a Registered Civil 2 of 2 Engineer. The document shall be recorded with the County of San Diego prior to Final Inspection of the Building Permit.
- IV. All site walls in excess of four feet, as measured from the bottom of the footing to the top of the wall, not included as part of the Building Permit approvals shall obtain a miscellaneous Engineering Permit prior to work being performed.
- V. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VI. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

D. The City Council Conditions:

- I. N/A.

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages,

judgments, or costs, including attorney’s fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney’s fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 16th day of July 2025, by the following vote:

- AYES: Councilmembers –
- NOES: Councilmembers –
- ABSENT: Councilmembers –
- ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

VICINITY MAP (NTS)



PROJECT TEAM

OWNER:	JOHN & HEIDI MURPHY 534 NORTH CEDROS AVE. SOLANA BEACH, CA 92075
ARCHITECT:	BRIAN CHURCH AIA, BRIAN CHURCH ARCHITECTURE 507 S. CEDROS AVE SOLANA BEACH, CA 92075 (858) 793-3437 - OFFICE PROJECT CONTACT: BRIAN CHURCH EMAIL: brian@brianchurcharchitecture.com

PROJECT INFORMATION

PROJECT NAME:	MURPHY ADDITION
PROJECT ADDRESS:	543 NORTH CEDROS AVE. SOLANA BEACH, CA 92075
A.P.N. (S)	263-062-28-00
LEGAL DESCRIPTION:	152492REC88 / SLY PAR PER ROS 2428 IN LOT 21 TR 2373

SCOPE OF WORK

1. DEMOLITION OF 504 SF DETACHED GARAGE
2. NEW ENCLOSED OUTDOOR AREA AT GARAGE (56 SF)
3. ADDITION (LIVING AREA) (213 SF)
4. NEW ATTACHED GARAGE (637 SF)
5. COVERED DECK AT SECOND FLOOR (1,047 SF)

SITE INFORMATION

ZONE:	MR
OVERLAY ZONE:	SCALED RESIDENTIAL OVERLAY ZONE
SITE AREA (GROSS):	13,610 sf
ROAD DEDICATION:	-792 sf
SITE AREA (NET)	(LESS ROAD EASEMENT) 12,818 sf
SETBACKS :	REQUIRED PROPOSED
FRONT	25' 31'-0"
REAR	25' *15'-5"
SIDE (N)	10' 10'-0"
SIDE (S)	10' 11'-2"
	*EXISTING NON-CONFORMING TO REMAIN

FLOOR AREA ALLOWED (FAR)

AREA TYPE	AREA (SF)	RATIO	ALLOWED
SITE AREA (GROSS)	13,610		
FIRST	6,000	.5	3,000 sf
NEXT	7,610	.175	1,331 sf
TOTAL ALLOWED			4,331 sf

BUILDING AREAS

FAR BUILDING AREA	EXISTING	ADD / REMOVE	PROPOSED
FIRST FLOOR LIVING AREA	2,870 sf	+213 sf	3,083 sf
OUTDOOR AREA (ENCLOSED)	0 sf	+56 sf	56 sf
EXISTING GARAGE (TO BE DEMOLISHED)	504 sf	-504	0 sf
NEW ATTACHED GARAGE	0 sf	+637	637 sf
SUB-TOTAL	3,374 sf	+402	3,776 sf
GARAGE EXEMPTION	-400 sf		-400
TOTAL PROPOSED FLOOR AREA	2,974 sf		3,376 sf

LOT COVERAGE:	
NET LOT COVERAGE ALLOWED	13,110 SF x 35% = 4,588 sf
LOT COVERAGE EXISTING	3,374 sf
LOT COVERAGE PROPOSED	3,946 sf
TOTAL LOT COVERAGE	(3,946 ÷ 13,110 = 0.30)

BUILDING HEIGHT ALLOWED:	25'-0"
BUILDING HEIGHT PROPOSED:	24'-10 1/4"
OCCUPANCY GROUP:	R-3 (SINGLE-FAMILY RESIDENCE)
TYPE OF CONSTRUCTION:	TYPE-VA
FIRE SPRINKLER REQUIRED:	YES (MAIN HOUSE ALREADY SPRINKLERED)
GRADING QUANTITIES:	SITE GRADING 0 CY EXCAVATION FOR FOOTINGS 10 CY REMOVAL AND RECOMPACTION: 54 CY TOTAL GRADING: 64 CY
IMPERMEABLE AREAS:	EXISTING 8,915 SF PROPOSED 8,876 SF NET CHANGE -39 SF

SITE AREAS	EXISTING (SF)	PROPOSED (SF)
NON-LANDSCAPED AREAS	8,844	8,752
NON-IRRIGATED LANDSCAPE	0	0
IRRIGATED LANDSCAPE	4,230	4,376
WATER FEATURES	481	481
DECORATIVE HARDSCAPE	0	0
TOTAL LOT AREA	13,609	13,609

	AREA OF WORK (SF) ¹
IRRIGATED LANDSCAPE	259
WATER FEATURES	0
DECORATIVE HARDSCAPE	0
AGGREGATE LANDSCAPE AREA	259

¹ AREA OF REPLACEMENT AND/OR NEW IRRIGATED LANDSCAPE, WATER FEATURES, AND/OR DECORATIVE HARDSCAPE ASSOCIATED WITH THE PROJECT.

SHEET INDEX

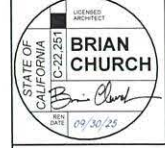
NO.	SHEET NAME
C1	SITE PLAN
C2	BMP PLAN
A0	AREA PLANS
A1	FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	ROOF PLAN
A4	ELEVATIONS - OVERALL
A5	ELEVATIONS - ADDITION
A6	SECTIONS
SP1	STORY POLE PLAN

SUBMITTALS / REVISIONS

#	Date	Revision/Submittal

Brian Church Architecture
 507 S. Cedros Ave
 Solana Beach, CA 92075
 (858) 793-3437

MURPHY ADDITION
TITLE SHEET
 NOT FOR CONSTRUCTION



SCALE: 1/2" = 1'-0"
 DATE: 04/28/25
 SHEET

T1

ATTACHMENT 2

SDP Set of Plans for Notice Mailed 5/7/25

RECEIVED SET III
 05/07/2025 candrews

4/28/2025 9:09:40 AM

SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal

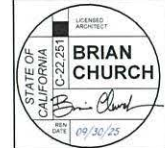
BCA

Brian Church Architecture
 507 S. Cedros Ave
 Solana Beach, CA 92075
 (858) 793-3437

MURPHY ADDITION
 534 North Cedros Avenue, Solana Beach, CA 92075

SITE PLAN

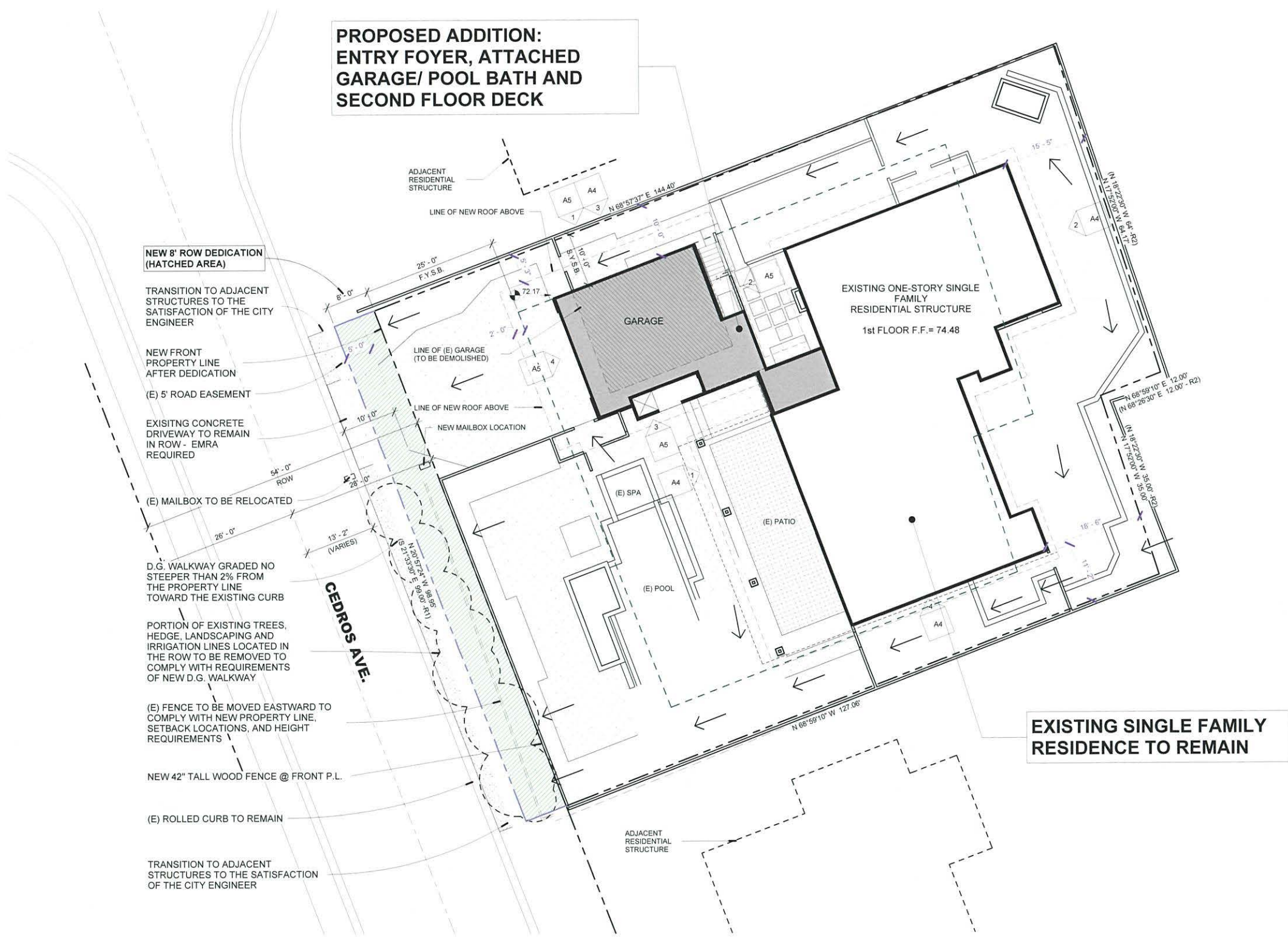
NOT FOR CONSTRUCTION



SCALE: 1" = 10'-0"
 DATE: 04/28/25
 SHEET

C1

**PROPOSED ADDITION:
 ENTRY FOYER, ATTACHED
 GARAGE/ POOL BATH AND
 SECOND FLOOR DECK**



**NEW 8' ROW DEDICATION
 (HATCHED AREA)**

TRANSITION TO ADJACENT
 STRUCTURES TO THE
 SATISFACTION OF THE CITY
 ENGINEER

NEW FRONT
 PROPERTY LINE
 AFTER DEDICATION

(E) 5' ROAD EASEMENT

EXISTING CONCRETE
 DRIVEWAY TO REMAIN
 IN ROW - EMRA
 REQUIRED

(E) MAILBOX TO BE RELOCATED

D.G. WALKWAY GRADED NO
 STEEPER THAN 2% FROM
 THE PROPERTY LINE
 TOWARD THE EXISTING CURB

PORTION OF EXISTING TREES,
 HEDGE, LANDSCAPING AND
 IRRIGATION LINES LOCATED IN
 THE ROW TO BE REMOVED TO
 COMPLY WITH REQUIREMENTS
 OF NEW D.G. WALKWAY

(E) FENCE TO BE MOVED EASTWARD TO
 COMPLY WITH NEW PROPERTY LINE,
 SETBACK LOCATIONS, AND HEIGHT
 REQUIREMENTS

NEW 42" TALL WOOD FENCE @ FRONT P.L.

(E) ROLLED CURB TO REMAIN

TRANSITION TO ADJACENT
 STRUCTURES TO THE SATISFACTION
 OF THE CITY ENGINEER

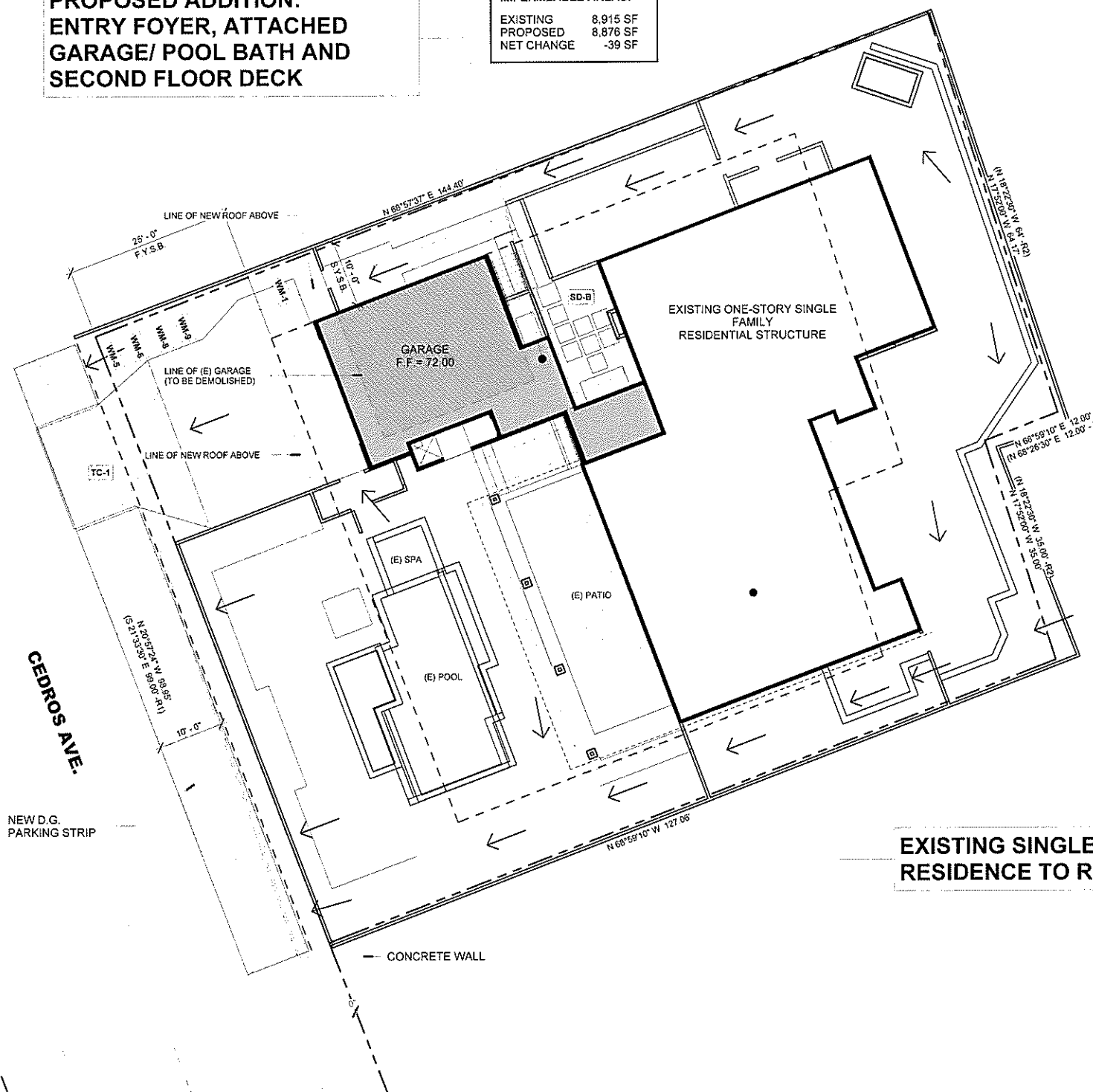
SITE PLAN

1" = 10'-0"



**PROPOSED ADDITION:
ENTRY FOYER, ATTACHED
GARAGE/ POOL BATH AND
SECOND FLOOR DECK**

IMPERMEABLE AREAS:	
EXISTING	8,915 SF
PROPOSED	8,876 SF
NET CHANGE	-39 SF



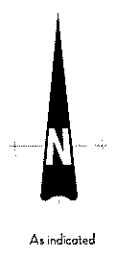
**EXISTING SINGLE FAMILY
RESIDENCE TO REMAIN**

BMP LEGEND

- PDS 659 BROW DITCH
- PDS 659 BERM
- DIRECTION OF LOT DRAINAGE
- MATERIALS & WASTE MANAGEMENT BMPs:**
 - WM-1 MATERIAL DELIVERY & STORAGE
 - WM-4 SPILL PREVENTION AND CONTROL
 - WM-5 CONCRETE WASTE MANAGEMENT
 - WM-5 SOLID WASTE MANAGEMENT
 - WM-9 SANITARY WASTE MANAGEMENT
 - WM-6 HAZARDOUS WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs:**
 - SS-2 PRESERVATION OF EXISTING VEGETATION
 - SS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)
 - SS-4 HYDROSEEDING (SUMMER)
 - SS-6 / SS-8 STRAW OR WOOD MULCH
 - SS-7 PHYSICAL STABILIZATION (WINTER)
 - SS-10 ENERGY DISSIPATOR
 - SC-1 SILT FENCE
 - SC-2 / PDS 659 SEDIMENT / DESILTING BASIN
 - SC-5 FIBER ROLLS
 - SC-6 / SC-8 GRAVEL OR SAND BAGS
 - SC-7 STREET SWEEPING AND VACUUMING
 - SC-10 STORM DRAIN INLET PROTECTION
 - NS-2 DEWATERING FILTRATION
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
 - TC-2 CONSTRUCTION ROAD STABILIZATION
 - TC-3 ENTRANCE / EXIT TIRE WASH
- BASELINE BMPs FOR EXISTING AND PROPOSED SITE FEATURES:**
 - SD-B DIRECT RUNOFF TO PERVIOUS AREAS
 - SD-C INSTALL GREEN ROOFS
 - SD-E INSTALL RAIN BARRELS
 - SD-G CONSERVE NATURAL FEATURES
 - SD-H PROVIDE BUFFERS AROUND WATER BODIES
 - SD-I CONSTRUCT SURFACES FROM PERMEABLE MATERIALS
 - SD-K SUSTAINABLE LANDSCAPING
- BASELINE BMPs FOR POLLUTANT-GENERATING SOURCES:**
 - SC-A OVERHEAD COVERING
 - SC-B SEPARATION OF FLOWS FROM ADJACENT AREAS
 - SC-C WIND PROTECTION
 - SC-D SANITARY SEWER
 - SC-E CONTAINMENT SYSTEM
- POTENTIAL RUNOFF POLLUTANTS:**
 - A TRASH & REFUSE STORAGE
 - B MATERIALS & EQUIPMENT STORAGE
 - C LOADING & UNLOADING
 - D FUELING
 - E MAINTENANCE & REPAIR
 - F VEHICLE & EQUIPMENT CLEANING
 - G OTHER

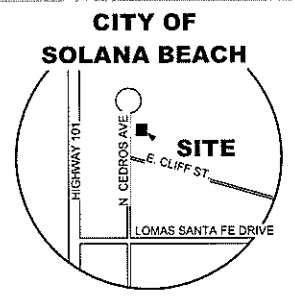
SHEET INDEX

RESERVED FOR COUNTY STAMPS



As indicated

VICINITY MAP



OWNER INFORMATION

NAME: JOHN & HEIDI MURPHY
 ADDRESS: 534 NORTH CEDROS
 CITY: SOLANA BEACH
 STATE: CA
 ZIP: 92075
 PHONE:
 FAX:
 EMAIL:

CONTACT INFORMATION

NAME: BRIAN CHURCH ARCHITECTURE
 ADDRESS: 507 S CEDROS AVENUE
 CITY: SOLANA BEACH
 STATE: CA
 ZIP: 92075
 PHONE: (858)793-3437
 FAX:
 EMAIL: brian@brianchurcharchitecture.com

PARCEL INFORMATION

APN: 263-062-28-00
 SITE ADDRESS: 534 North Cedros Avenue, Solana Beach, CA 92075
 I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.
 DESIGNER SIGNATURE REQUIRED: *Brian Church*
 DATE: 04/28/25

PROJECT SCOPE

EXISTING
 SINGLE-STORY SINGLE FAMILY RESIDENCE AND DETACHED GARAGE
 PROPOSED
 1. DEMOLITION OF 504 SF DETACHED GARAGE
 2. NEW ENCLOSED OUTDOOR AREA AT GARAGE (56 SF)
 3. ADDITION (LIVING AREA) (213 SF)
 4. ADD ATTACHED GARAGE (637 SF)
 5. COVERED DECK AT SECOND FLOOR (1,047 SF)

PLOT PLAN INFORMATION

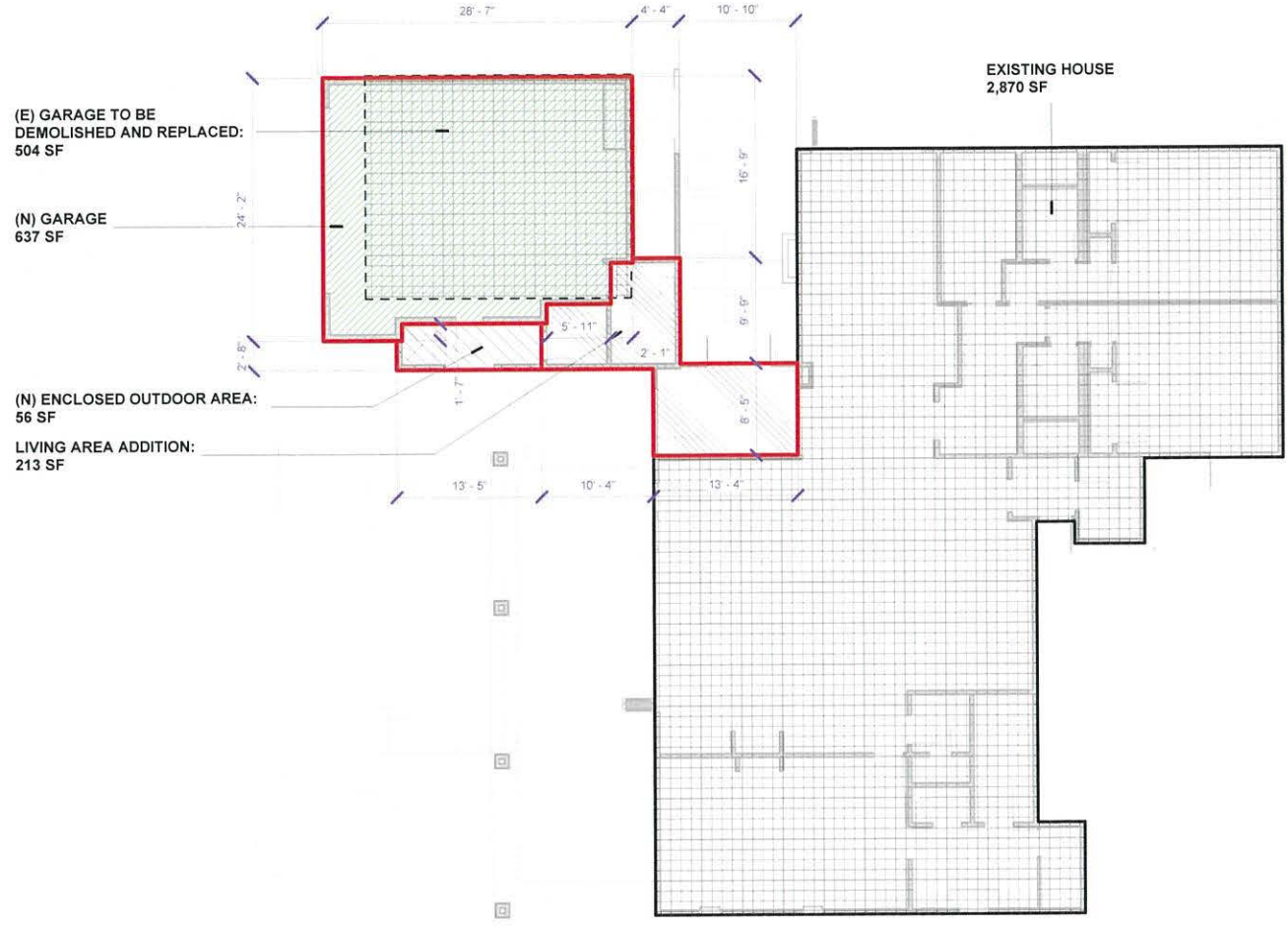
PLEASE SEE "MINIMUM PLOT PLAN INFORMATION" (FORM PDS #090) FOR COMPLETE REQUIREMENTS.
 ALL ITEMS LISTED ON THE "MINIMUM PLOT PLAN INFORMATION" MUST BE INCLUDED ON THE PLOT PLAN. IF NOT SHOWN, YOUR PLANS WILL BE REJECTED.
 PLOT PLANS MUST BE CLEAR AND LEGIBLE. INDICATE ALL PROPERTY LINES. INDICATE FOOTPRINT OF ALL EXISTING / PROPOSED STRUCTURES. INDICATE REQUIRED BUILDING SETBACKS. INDICATE "WELLS" AND LEACH LINES. INDICATE DRIVEWAY, PARKING, MATERIAL, AND SLOPE OF DRIVEWAY. INDICATE ALL EASEMENTS, ROADS, STREETS, AND ALLEYS.

SHEET TITLE

BMP PLAN

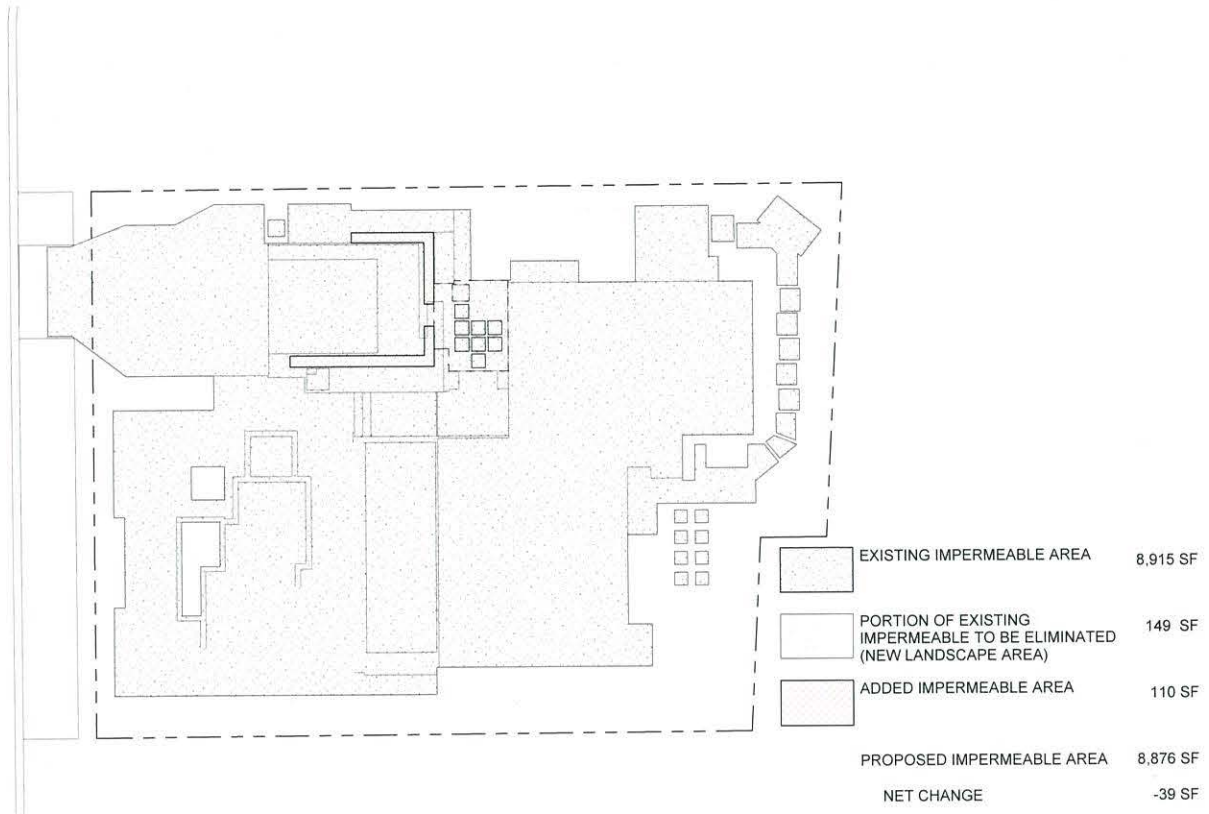
SHEET NUMBER

C2



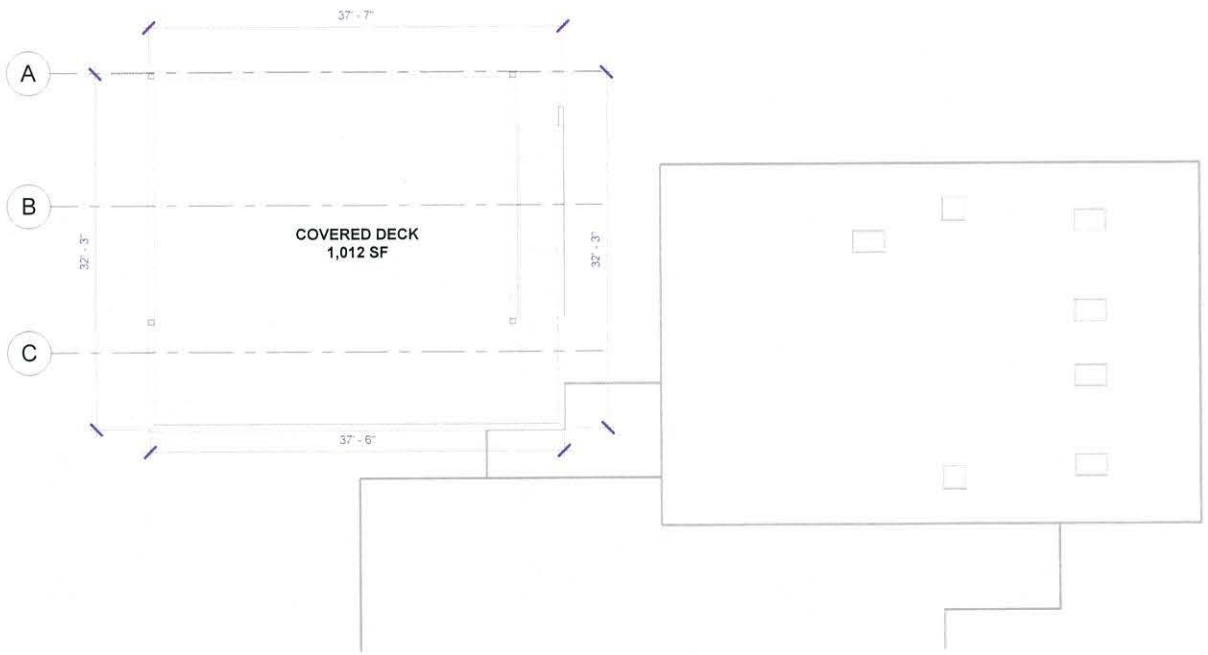
AREA PLAN - FIRST FLOOR

1/8" = 1'-0"



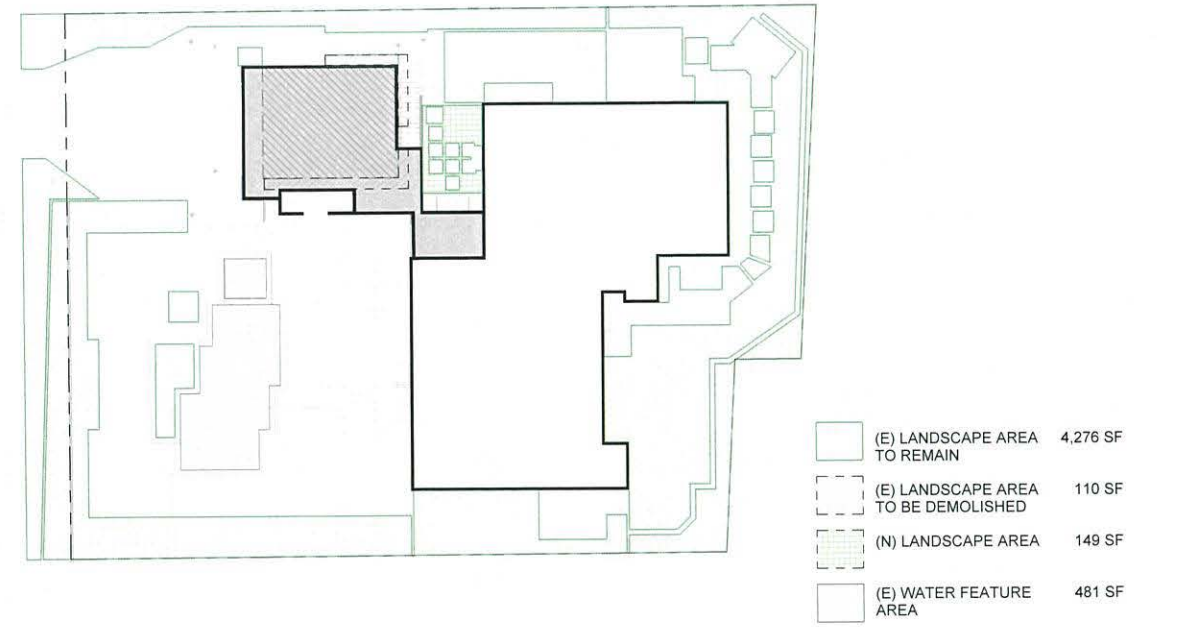
SITE PLAN IMPERMEABLE AREAS

1/16" = 1'-0"



AREA PLAN - SECOND FLOOR

1/8" = 1'-0"



LANDSCAPE AREA PLAN

1/16" = 1'-0"

4/28/2025 9:09:42 AM

SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal

BCA

Brian Church Architecture
507 S. Cedros Ave
Solana Beach, CA 92075
(858) 793-3437

MURPHY ADDITION
534 North Cedros Avenue, Solana Beach, CA 92075

AREA PLANS

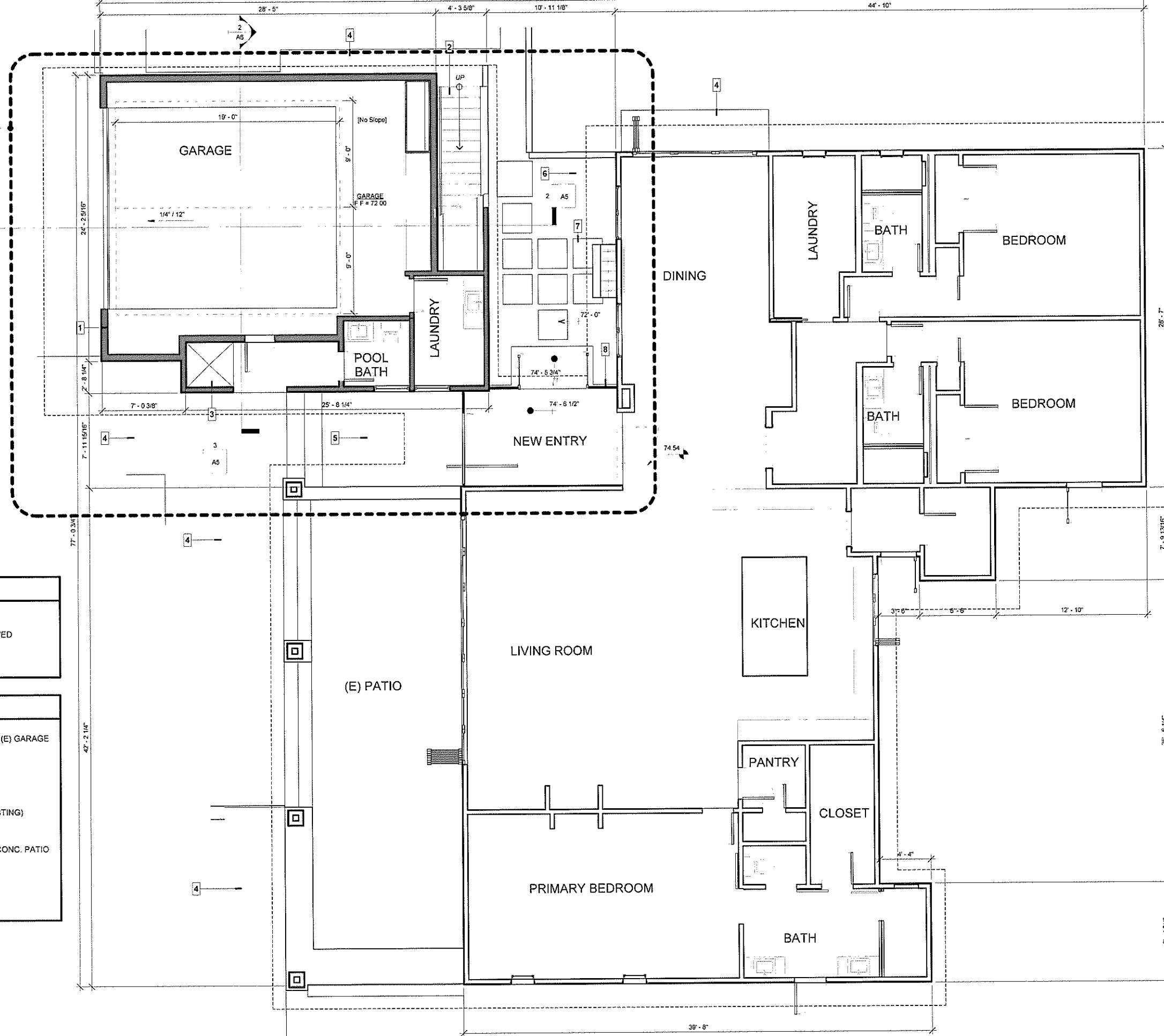
NOT FOR CONSTRUCTION



SCALE: As indicated
DATE: 04/28/25
SHEET

AO

AREA OF WORK



WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL

KEY NOTES	
1	NEW GARAGE (ATTACHED) TO REPLACE (E) GARAGE
2	STAIR UP TO DECK
3	OUTDOOR SHOWER (COVERED)
4	(E) PAVING TO REMAIN
5	NEW CONCRETE PAVING (REPLACE EXISTING)
6	NEW LANDSCAPE (PAVING REMOVED)
7	NEW CONCRETE PAVERS TO REPLACE CONC. PATIO
8	NEW GLASS WALL

FIRST FLOOR PLAN

1/4" = 1'-0"

SUBMITTALS / REVISIONS		
#	Date	Revision/Submital

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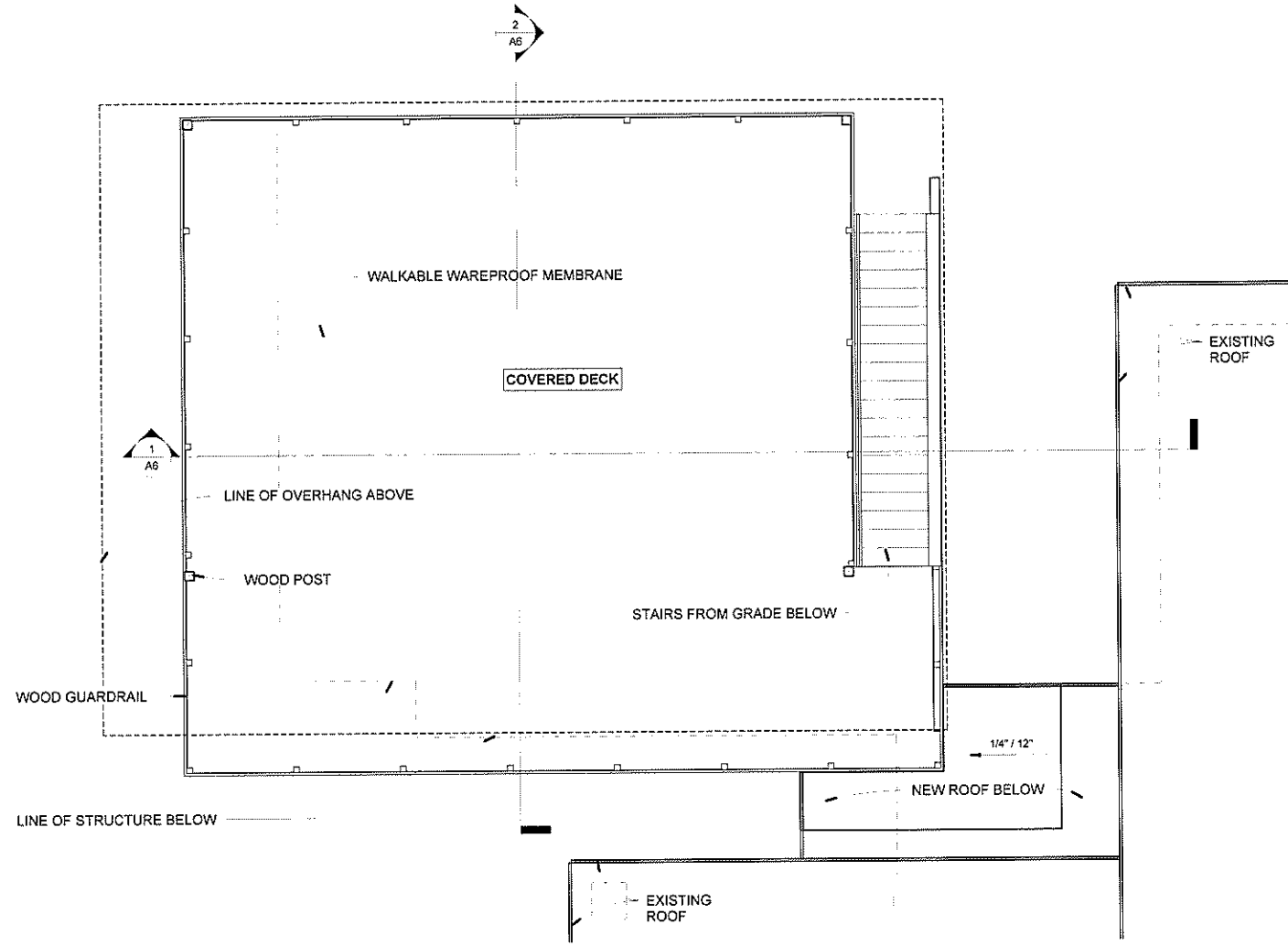
MURPHY ADDITION
 534 North Cedros Avenue, Solana Beach, CA 92075
FLOOR PLAN



SCALE: 1/4" = 1'-0"
 DATE: 04/28/25
 SHEET

A1

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SECOND FLOOR DECK

1/4" = 1'-0"

SUBMITTALS / REVISIONS		
#	Date	Revision/Submit

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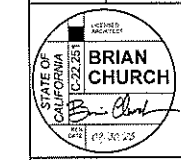
BCA

Brian Church Architecture
 507 S. Cedros Ave
 Solana Beach, CA 92075
 (858) 793-3437

MURPHY ADDITION
 534 North Cedros Avenue, Solana Beach, CA 92075

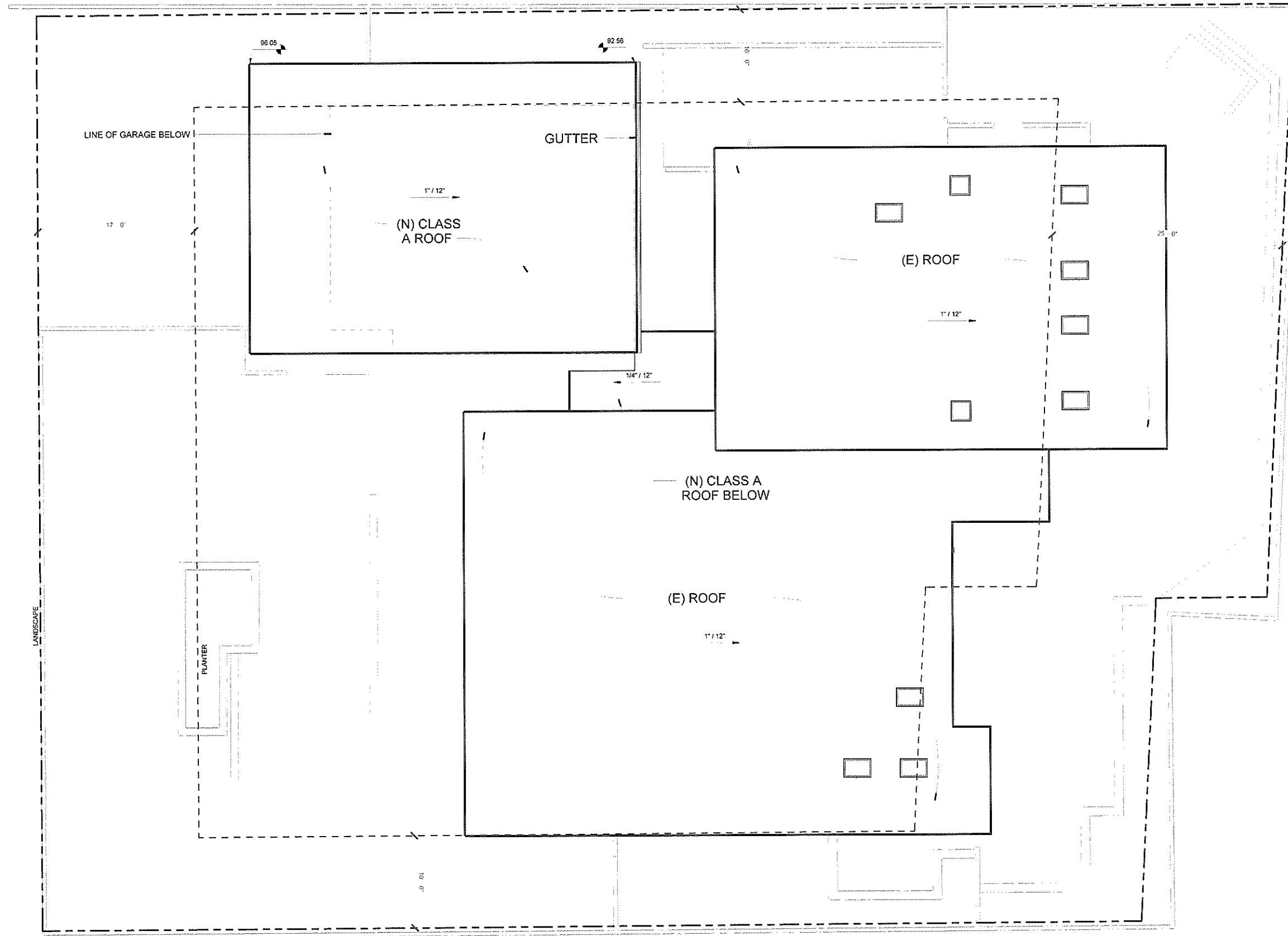
SECOND FLOOR PLAN

NOT FOR CONSTRUCTION



SCALE: 1/4" = 1'-0"
 DATE: 04/28/25

SHEET
A2



SUBMITTALS / REVISIONS		
#	Date	Revision/Submitted

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MURPHY ADDITION
 534 North Cedros Avenue, Solana Beach, CA 92075
ROOF PLAN



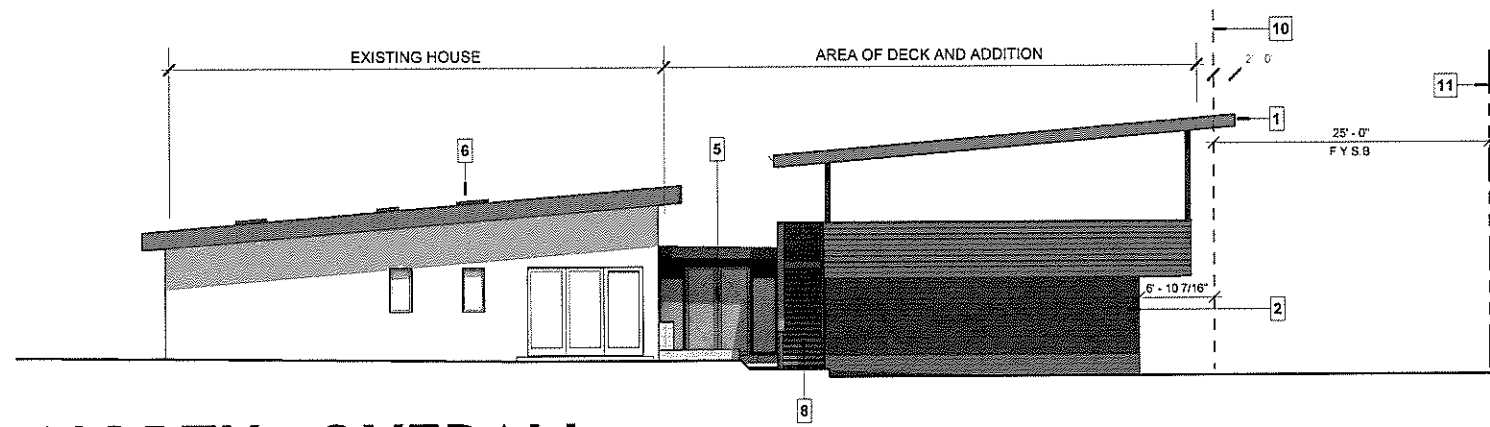
SCALE: 3/16" = 1'-0"
 DATE: 04/28/25
 SHEET

A3

1 ROOF PLAN
 3/16" = 1'-0"

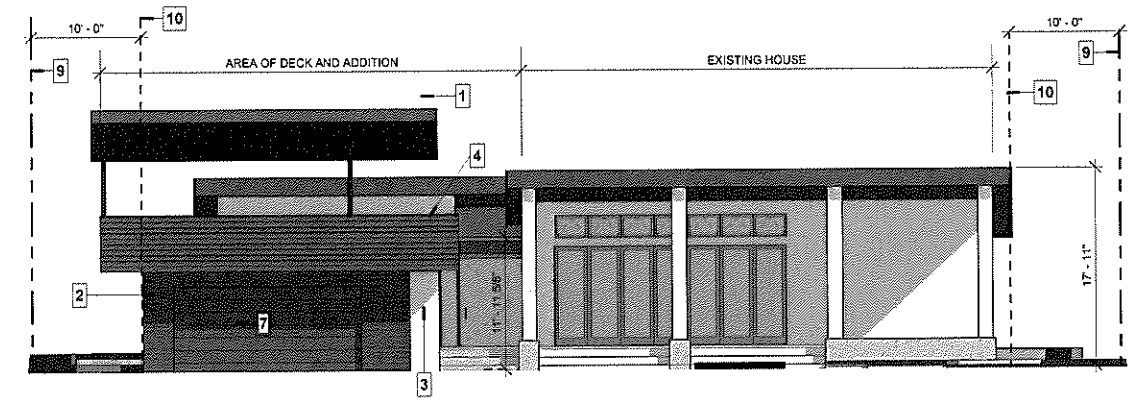
NOT FOR CONSTRUCTION

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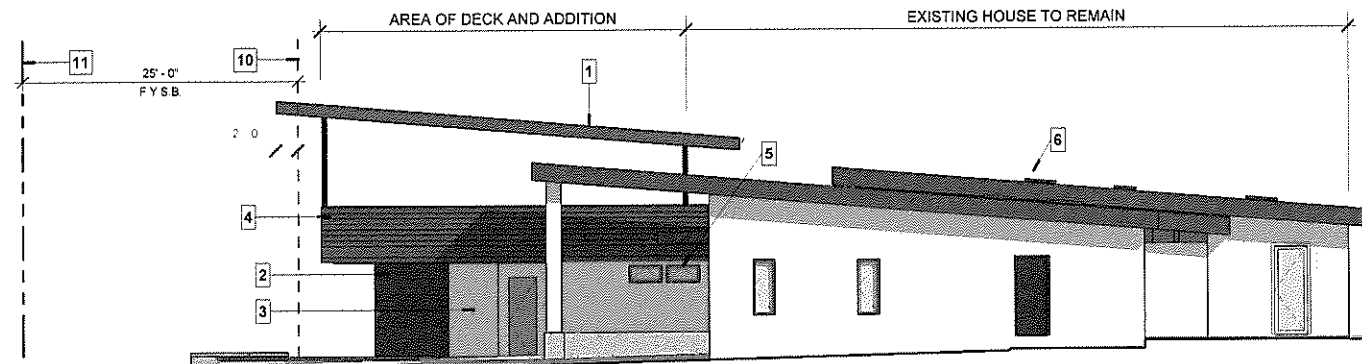
NORTH - OVERALL

1/8" = 1'-0"



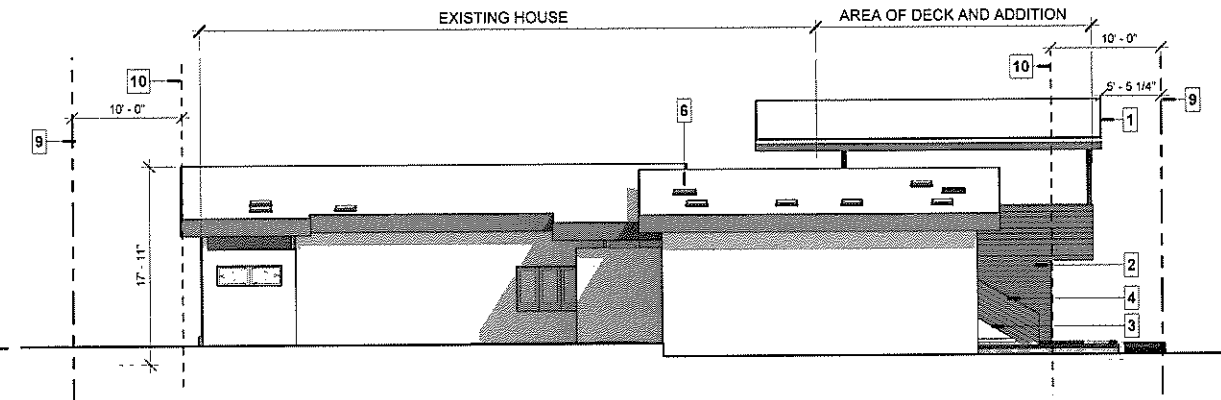
WEST - OVERALL

1/8" = 1'-0"



SOUTH - OVERALL

1/8" = 1'-0"



EAST - OVERALL

1/8" = 1'-0"

ELEVATION NOTES

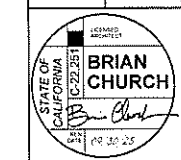
- 1 WOOD FASCIA, PAINT TO MATCH EXISTING
- 2 HORIZONTAL WOOD SIDING (STAIN)
- 3 STUCCO (WHITE) TO MATCH EXISTING
- 4 WOOD RAILING (STAIN)
- 5 ALUMINUM DOORS AND WINDOWS TO MATCH EXISTING
- 6 SKYLIGHT - EXISTING
- 7 WOOD GARAGE DOOR (STAIN)
- 8 WOOD STAIR (STAIN)
- 9 PROPERTY LINE
- 10 SETBACK LINE
- 11 PROPERTY LINE - RELOCATED DUE TO DEDICATION

SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal

BCA

Brian Church Architecture
507 S. Cedros Ave
Solana Beach, CA 92075
(858) 793-3437

MURPHY ADDITION
534 North Cedros Avenue, Solana Beach, CA 92075

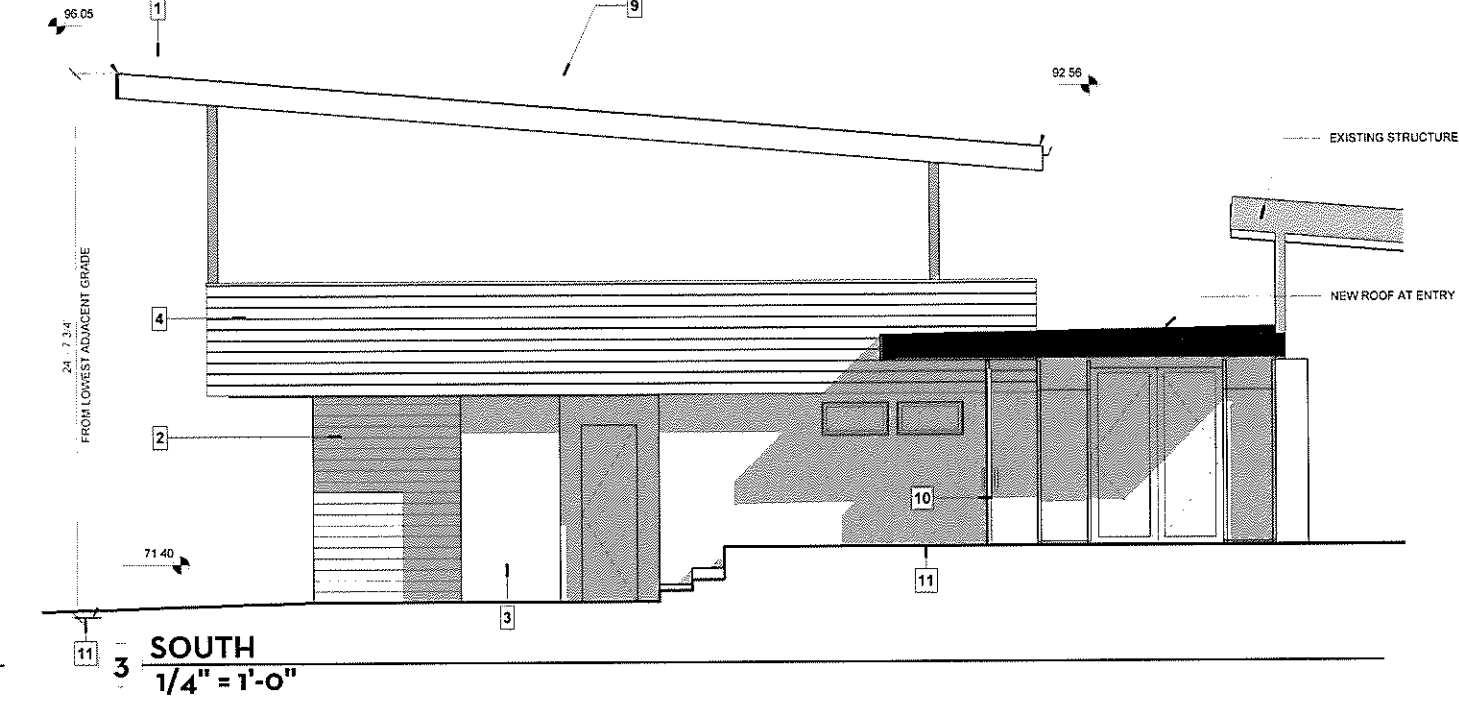
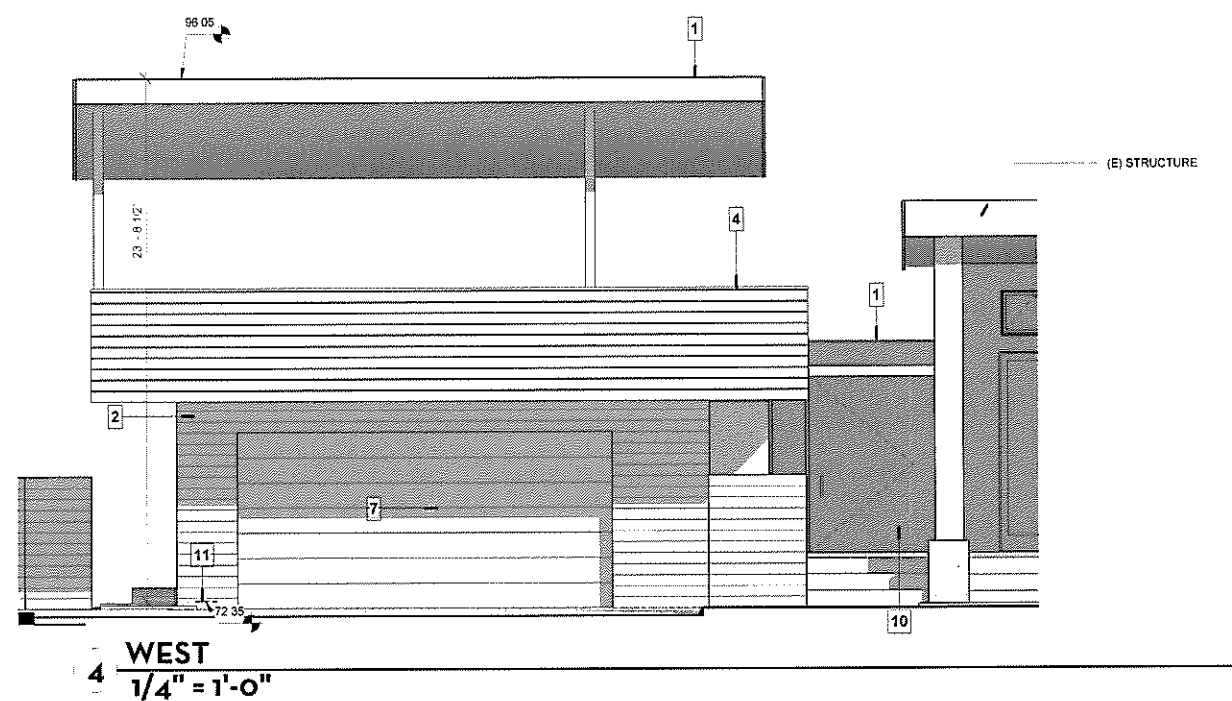
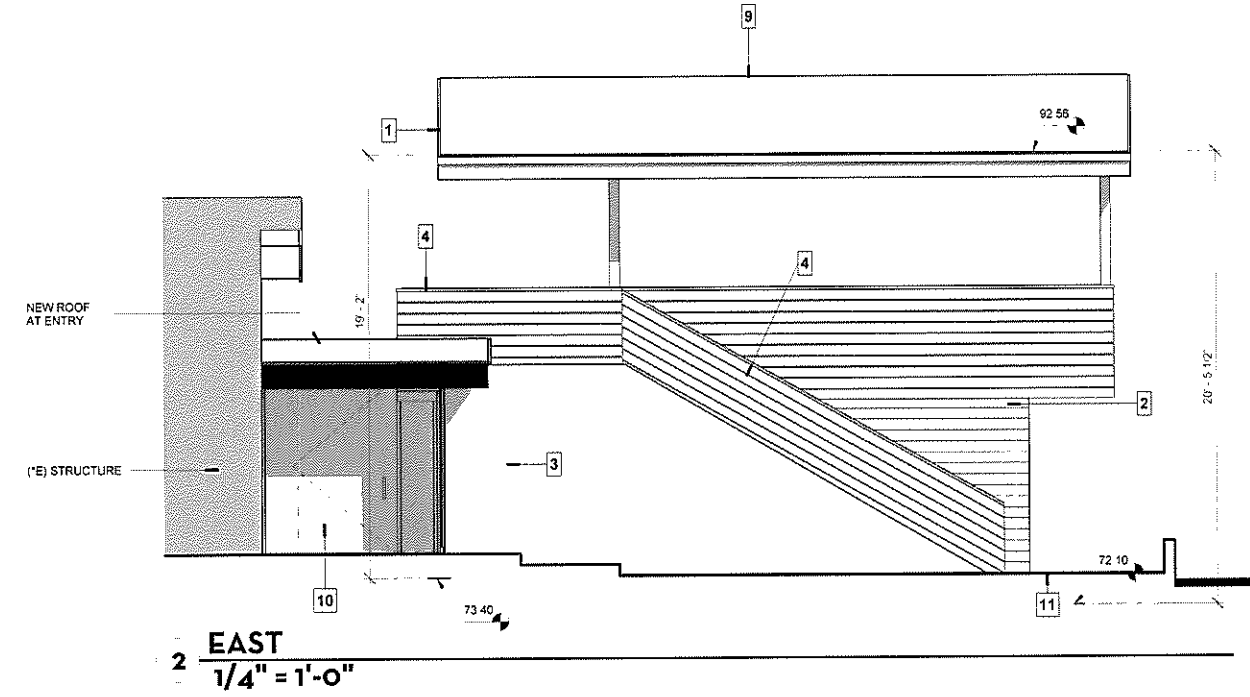
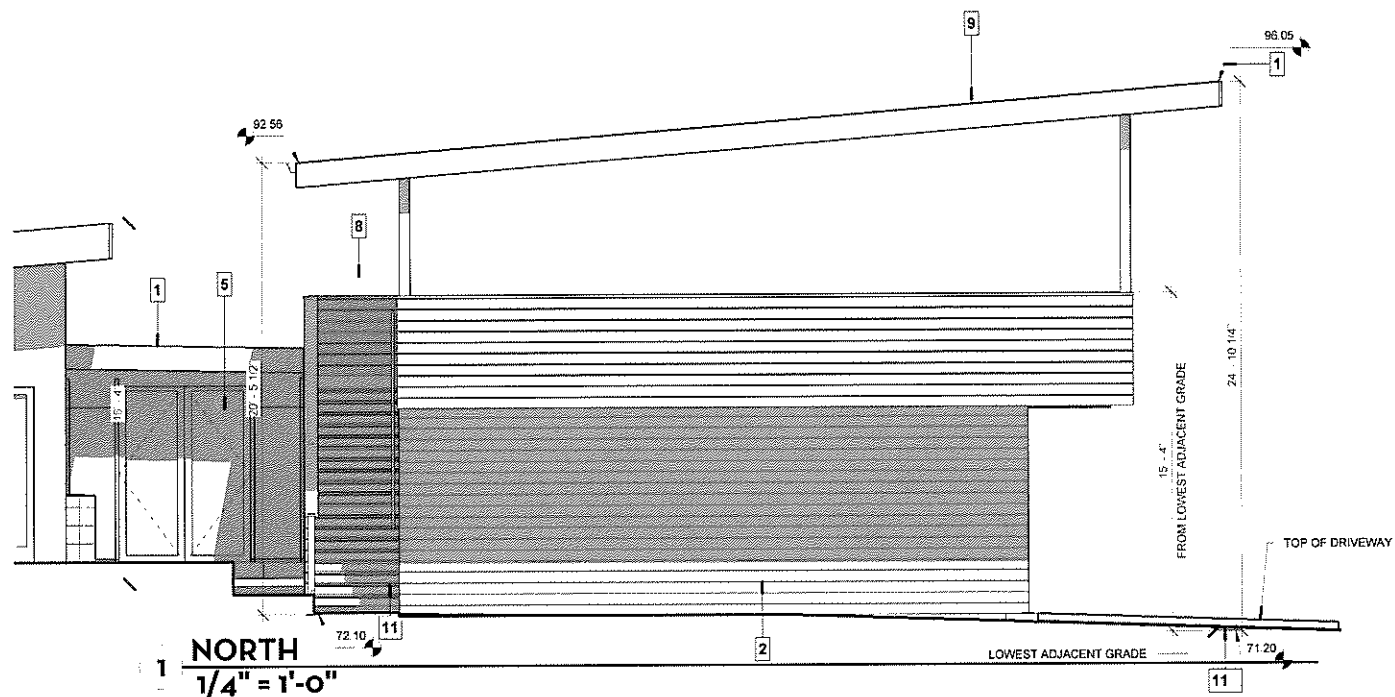


SCALE: As indicated
DATE: 04/28/25
SHEET

A4

ELEVATIONS - OVERALL

NOT FOR CONSTRUCTION



ELEVATION NOTES	
1	WOOD FASCIA, PAINT TO MATCH EXISTING
2	HORIZONTAL WOOD SIDING (STAIN)
3	STUCCO (WHITE) TO MATCH EXISTING
4	WOOD RAILING (STAIN)
5	ALUMINUM DOORS AND WINDOWS TO MATCH EXISTING
6	SKYLIGHT - EXISTING
7	WOOD GARAGE DOOR (STAIN)
8	WOOD STAIR (STAIN)
9	TPO ROOF TO MATCH EXISTING (SOLAR WHITE)
10	GLASS ENTRY DOOR
11	LINE OF EXISTING GRADE (NO CHANGE)

4/28/2025 9:09:46 AM

SUBMITTALS / REVISIONS		
Date	Revision/Submittal	

BCA

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Solana Beach, CA 92075
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MURPHY ADDITION
534 North Cedros Avenue, Solana Beach, CA 92075

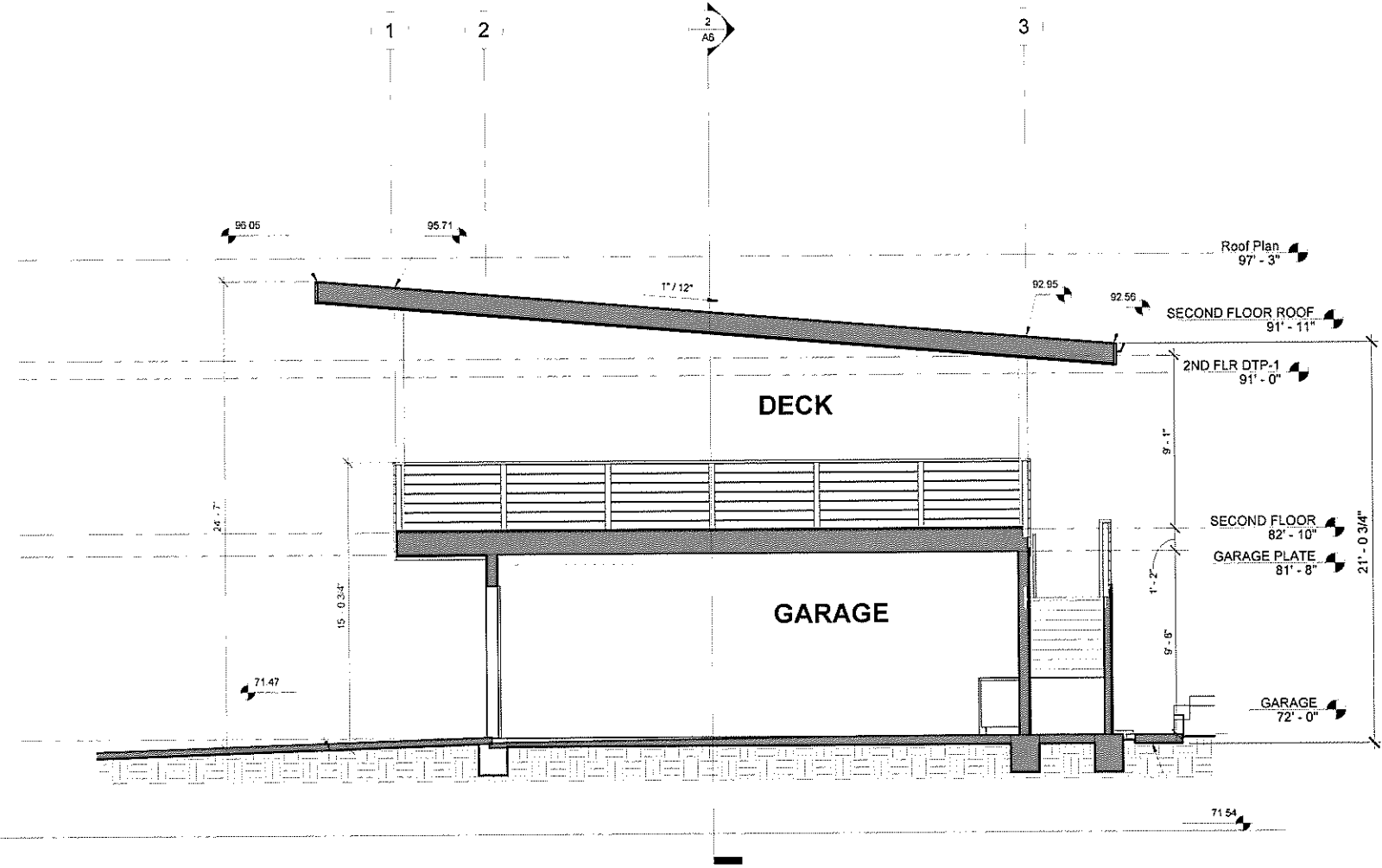
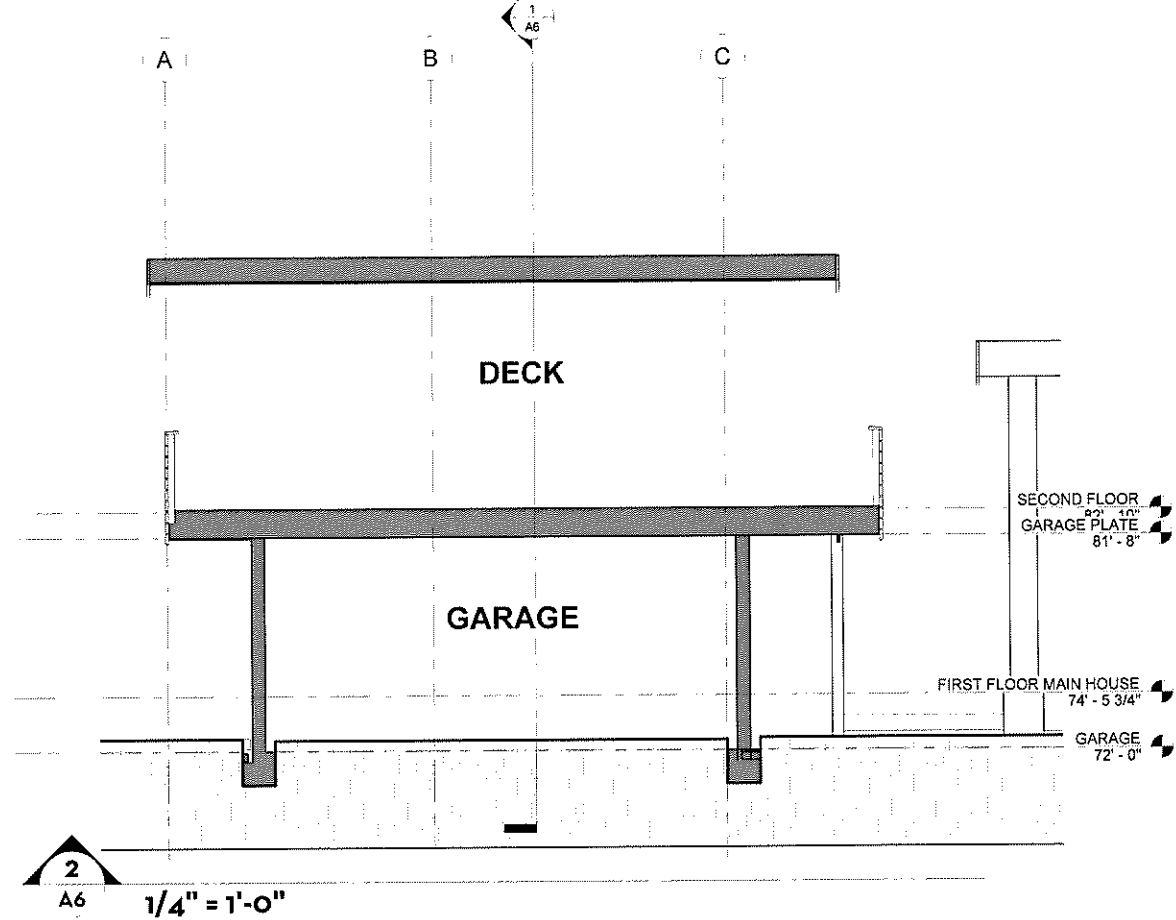
ELEVATIONS - ADDITION

NOT FOR CONSTRUCTION

STATE OF CALIFORNIA
BRIAN CHURCH
Architect
No. 20,205

SCALE: As indicated
DATE: 04/28/25
SHEET

A5



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 Solana Beach, CA 92075
 (858) 793-3437

MURPHY ADDITION

534 North Cedros Avenue, Solana Beach, CA 92075

SECTIONS

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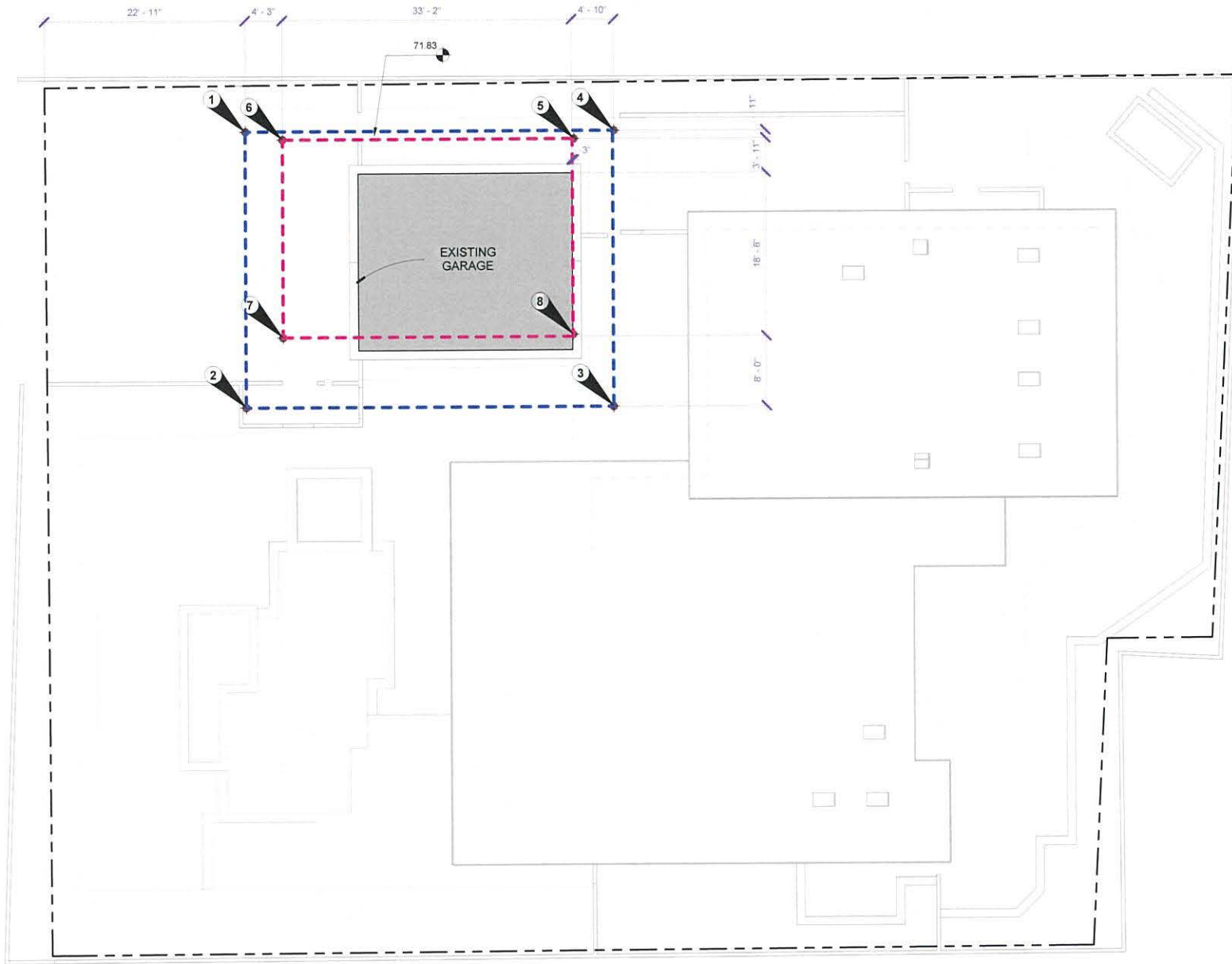


SCALE: 1/4" = 1'-0"

DATE: 04/28/25

SHEET

A6



1 STORY POLE PLAN
1/8" = 1'-0"

LEGEND		
	PINK DASH	= OUTLINE OF STRUCTURE
	BLUE DASH	= OUTLINE OF RAILING OR OVERHANG
	STORY POLE TAG	

STORY POLE SCHEDULE NEW				
POLE #	BASE	TOP	POLE LENGTH	POLE LENGTH
1	71.20'	96.05'	24.85	24' - 10 1/4"
2	71.40'	96.05'	24.65	24' - 7 3/4"
3	73.40'	92.56'	19.16	19' - 2"
4	72.10'	92.56'	20.46	20' - 5 1/2"
5	71.90'	92.95'	21.05	21' - 0 1/2"
6	71.30'	95.72'	24.42	24' - 5"
7	71.60'	95.72'	24.12	24' - 1 1/2"
8	72.00'	92.95'	20.95	20' - 11 1/2"

SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal

4/28/2025 9:09:48 AM

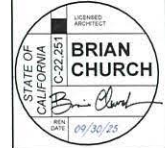
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(858) 793-3437

MURPHY ADDITION
534 North Cedros Avenue, Solana Beach, CA 92075

STORY POLE PLAN

NOT FOR CONSTRUCTION



SCALE: As indicated
DATE: 04/28/25
SHEET

SP1



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Community Development Department – Corey Andrews
Principal Planner
SUBJECT: **Development Review Permit (DRP) Modification for an Existing Single-Family Residence with an Attached Garage at 406 N. Rios Avenue. (Applicants: Petr and Katelyn Pacas; Application: MOD25-004; APN: 263-072-19; Resolution No. 2025-087)**

BACKGROUND:

Petr and Katelyn Pacas, referred to as the Applicant, received City Council approval in September 2022, for a 3,224 square foot, split-level single-family residence, an attached garage, a 541 square foot detached Accessory Dwelling Unit (ADU) and perform associated site improvements with the adoption of Resolution 2022-117.

Since that approval, the Applicant decided to scale back the project and process a building permit for an interior remodel and a square footage addition that did not necessitate discretionary review. During the review of the plans, Staff determined that the improvements shown as “existing” in the rear yard area, had not been completed with the necessary permits. Therefore, the Applicant is requesting a DRP modification (MOD) to receive retroactive approval for the work completed in the rear yard, as well as the proposed addition and remodel of the existing home.

The proposed MOD includes the construction of a 676 square foot addition to the existing residence which includes 49 square feet of covered and enclosed patio area, a 50 square foot addition to the existing garage, and the addition of an attached 423 square foot Accessory Dwelling Unit (ADU) that is not subject to discretionary review. The residence would not exceed 13.5 feet, or 109.5 MSL as measured from the existing grade; existing grade is 96.0MSL. The “Proposed” grading for the project includes the 125 cubic yards of excavation and export completed in 2018 in order to provide a flat usable rear yard

CITY COUNCIL ACTION:

area at the same level of the existing residence, as well as 7 cubic yards of excavation for the proposed remodel and addition, and 5 cubic yards of excavation for the new footings. Additional site improvements include the construction of retaining walls and landscaping that were completed in 2018, and additional landscaping in the front yard to be completed with the remodel. A DRP would have been required when the work was completed in 2017 for grading in excess of 100 CY (aggregate) which is why the DRP MOD is being requested today.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2025-087(Attachment 1).

DISCUSSION:

In 2022, the Applicant processed a DRP and Structure Development Permit (SDP) to demolish the existing structure onsite, construct a two-story replacement 3,224 square foot, split-level single-family residence, an attached garage, a 541 square foot detached Accessory Dwelling Unit (ADU) and perform associated site improvements. The plans at that time indicated that the grading and retaining walls in the rear yard were "existing to remain." The City Council was able to make the required findings to approve that project and adopt Resolution 2022-117. Since the time of that approval, the Applicant decided not to move forward with the project. Instead, they decided to process a square footage addition and remodel of the existing residence that did not require discretionary review.

During the building permit plan check it was brought to Staff's attention that the work notated as "existing to reman" in the rear yard was completed in 2018 without the approval of a DRP/DRP MOD, grading permit, and building permit. This work included approximately 125 cubic yards of excavation and export from the rear yard area and the construction of retaining walls on the north, east, and southern sides of the rear yard to support the higher grades on adjacent properties.

If the City Council can make the required findings to approve this project, the DRP MOD would serve as retroactive approval for the work that was completed in 2018, and approval for the proposed remodel, addition, and site work in the front yard area. As a condition of project approval, the Applicant would be required to obtain grading and building permits to legalize the work that was completed and a separate building permit to construct the proposed square footage addition, remodel, and site improvements in the front yard.

The 9,014 square-foot property is located at the northeast corner of the intersection of N. Rios Avenue and E. Cliff Street. The property is relatively flat with an upward slope of approximately 2.5 feet as you move west to east along the 172-foot depth of the lot.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicants' proposed design.

Table 1

LOT INFORMATION																		
Property Address:	406 N. Rios Ave.	Zoning Designation:	LR (3 du/ac)															
Lot Size (Gross):	9,014 ft ²	# of Units Allowed:	1 D/U, 1 ADU, and 1 JADU															
Max. Allowable Floor Area:	3,527 ft ²	# of Units Requested:	1 D/U and 1 ADU															
Proposed Floor Area:	2,055 ft ²	Setbacks:	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;"></th> <th style="width: 20%; text-align: center;">Required</th> <th style="width: 20%; text-align: center;">Proposed</th> </tr> </thead> <tbody> <tr> <td>Front (W)</td> <td style="text-align: center;">*25 ft.</td> <td style="text-align: center;">22 ft.</td> </tr> <tr> <td>Exterior Side (N)</td> <td style="text-align: center;">10 ft.</td> <td style="text-align: center;">7 ft.**</td> </tr> <tr> <td>Interior Side (S)</td> <td style="text-align: center;">10 ft.</td> <td style="text-align: center;">10 ft.</td> </tr> <tr> <td>Rear (E)</td> <td style="text-align: center;">25 ft.</td> <td style="text-align: center;">33 ft.</td> </tr> </tbody> </table>		Required	Proposed	Front (W)	*25 ft.	22 ft.	Exterior Side (N)	10 ft.	7 ft.**	Interior Side (S)	10 ft.	10 ft.	Rear (E)	25 ft.	33 ft.
	Required			Proposed														
Front (W)	*25 ft.	22 ft.																
Exterior Side (N)	10 ft.	7 ft.**																
Interior Side (S)	10 ft.	10 ft.																
Rear (E)	25 ft.	33 ft.																
Below Max. Floor Area by:	1,472 ft ²																	
Max. Allowable Height:	25 ft.																	
Max. Proposed Height:	13.5 ft.																	
Highest Point/Ridge:	109.5 MSL																	
Existing Grade:	96.0 MSL																	
Existing Development: Existing one-story residence and attached garage		*Reduced to 20 ft. as the right of way is 60 ft in width.																
Proposed Parking: 2 spaces in garage		** Existing nonconformity to remain.																
Fences and Walls: Yes		Proposed Grading: 125 yd ³ previously exported, 7 yd ³ of excavation and export for the proposed remodel, 5 yd ³ of excavation for new footings.																

PROPOSED PROJECT INFORMATION			
Floor Area Breakdown:		Required Permit:	
Existing First Floor Living Area	1,276 ft ²	DRP: for grading in excess of 100 cubic yards.	
Proposed First Floor Addition	627 ft ²		
Covered and Enclosed Patio	49 ft ²		
Existing Garage Area	453 ft ²		
Proposed Garage Addition	50 ft ²		
Subtotal	2,455 ft ²		
Off-Street Parking Exemption	- 400 ft ²		
Total Floor Area:	2,055 ft²		

Staff has prepared draft findings for approval of the project in the attached Resolution 2025-087 for Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines any portion of the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-087.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development includes grading in excess of 100 cubic yards. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-087 provides a full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The proposed project may be found consistent with the General Plan, which designates the property as Low Density Residential and is intended for single-family residential development at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit,

Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “c”, which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The lot is located in the northeast corner of the intersection of N. Rios Avenue and E. Cliff Street and has frontage on both streets. The SBMC definitions indicate that the shorter street frontage should be considered the front lot line. The lot is rectangular in shape and has 81.67 feet of frontage on N. Rios Avenue which is the western or front lot line, 103.75 feet of frontage on E. Cliff Street which is the southern side lot line, a 79.41-foot eastern rear property line and a northern property line of 123.37. The property is relatively flat with an upward slope of approximately 2.5 feet as you move west to east along the entire length of the lot.

The existing residence was constructed prior to the City’s incorporation. The northern wall of the residence encroaches three feet into the required side yard setback. If the Applicant is modifying less than 50% of the foundation, exterior walls, and existing roof structures, it is Staff’s policy to allow the existing nonconformity to remain. The Applicant has shown that they are below the 50% threshold, and they are not proposing to reconstruct the existing nonconformity, therefore, it is proposed to remain with the subject project.

A three-foot dedication is required along N. Rios Avenue. This would result in a right-of-way that exceeds 55 feet in width once the property on the west side of N. Rios Ave. is redeveloped, therefore, the required front yard setback can be reduced to 20 feet. The remodeled residence would be approximately 22 feet from the front property line after the dedication. The south side of the residence would meet the required 10-foot exterior side yard setback and exceed the required 25-foot rear yard setback by approximately 8 feet 10 inches.

Maximum Floor Area Ratio:

The 9,014 square foot lot is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for this project, pursuant to the provisions of the SROZ, is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	527 ft ²
<hr/>	
Maximum Allowable Floor Area:	3,527 ft ²

As designed, 627 square feet of living area would be added to the existing 1,276 square foot living area, 50 square feet of area would be added to the existing 453 square foot garage and 49 square feet of covered and enclosed patio would be added to the front entry. The 1,903 square foot floor would consist of an open concept kitchen, dining, living room off of the new covered entry, a laundry room, pantry two bedrooms, one bathroom and the primary bedroom suite.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, up to 200 square feet of floor area is exempted for each required space. The proposed 503 square-foot garage area will provide two unobstructed parking spaces, outside of the required setbacks, therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With this exemption, the total gross floor area of the project is 2,055 square feet, which is 1,472 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The maximum height of the project is 13.50 feet above the existing grade of 96.0 MSL with the highest point at 109.5 feet above MSL. The proposed addition does not exceed 16 feet in height from the pre-existing grade. Therefore, the project is not subject to the requirements of SBMC Chapter 17.63 – View Assessment.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces are proposed in the attached garage outside of the existing nonconforming area.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences,

walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

An existing block wall surrounds the property and was not modified with the work completed in 2018. This wall is proposed to remain as is. As previously mentioned, two tiered retaining walls (one two-foot wall and one three-foot wall) were constructed when the previous grading work was completed in the rear yard and the Applicant will be conditioned to obtain a grading and building permit for these walls. Fences and walls are measured from the pre-existing grade therefore, these retaining walls do not exceed the maximum fence and wall heights. A 6 ft fence was constructed at the property line from the northern side of the residence around the rear property line to the southern property line which is also proposed to remain. Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Landscape:

The work completed prior in 2018, and the proposed landscape work would have required a water efficient landscape plan. However, because a majority of the landscape work is existing to remain, the Applicant provided a very basic “conceptual” landscape plan that shows compliance with the water efficiency regulations and indicates three proposed plant types: blue chalk stick (*Senecio Vitalis*) in the areas of low water use and the Waxleaf Privet (*Ligustrum japonicum*) and Rose ‘Iceberg’ Bushes (*Rosa 'Korbin'*) in the areas with moderate water use. The City’s third-party landscape architect reviewed what was provided and indicated that it is sufficient information for the conceptual review, but a full construction level landscape plan would be required as part of the building permit review. The City’s consultant will review the construction drawings to verify consistency with the conceptual planting plan and perform an inspection after the landscape installation is complete to verify consistency with both the water efficient landscape regulations and the approved planting plan.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 are listed below with further discussion as to how they relate to the proposed Project:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The property is located within the LR Zone and SROZ as are the properties located in the immediate surrounding neighborhood on North Rios Avenue, E. Cliff Street and the east side of Seabright Lane and the west side of Granados Ave. These properties are developed with a mix of one-and two-story single-family residences. The project, as designed, could be found consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The maximum proposed floor area would be 1,472 square feet below the maximum allowable for the property.

Neighborhood Comparison:

Staff compared the proposed project to 38 nearby properties within the surrounding neighborhood which are shown on the following map and located on both sides of north Rios Avenue, the north side of E. Cliff Street, the east side of Seabright Lane, and the west side of Granados Ave.



The properties evaluated in this comparison are also located in the LR and LMR Zones and SROZ, and the lot sizes range from approximately 9,014 square feet to 21,197 square feet. The surrounding properties are developed primarily with single-family homes ranging in size from 759 square feet to 4,520 square feet.

The existing square footage information is obtained through the County Assessor records. It should be noted that the County Assessor does not include garages, covered patios or enclosed exterior areas, accessory buildings, or unfinished basements in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the garage:

Project Gross Building Area:	2,455 ft ²
Delete covered and enclosed areas	- 49 ft ²
Delete Attached Garage:	- 503 ft ²
<hr/> Project Area for Comparison to Assessor's Data:	<hr/> 1,903 ft ²

Table 2, on the following page, is based upon the County Assessor's data and Nearmap data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (GIS)	Existing ft ² Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	446 Seabright Lane	10,884	1,413	3,273	3,855	LMR
2	432 Seabright Lane	10,673	840		3,819	LMR
3	422 Seabright Lane	21,197	828		5,135	LMR
4	418 Seabright Lane	10,134	759		3,723	LMR
5	414 Seabright Lane	9,892	1,596		3,681	LMR
6	400 Seabright Lane	10,190	1,920		3,733	LMR
7	145 E. Cliff Street	11,320	1,946		3,931	LMR
8	427 N. Rios Avenue	11,895	4,054		4,032	LMR
9	509 N. Rios Avenue	10,643	3,418	3,770	3,813	LMR
10	508 N. Rios Avenue	11,275	2,231		3,923	LR
11	438 N. Rios Avenue	10,819	1,719		3,843	LR
12	430 N. Rios Avenue	9,936	1,926		3,689	LR
13	426 N. Rios Avenue	10,773	2,843		3,835	LR
14	422 N. Rios Avenue	10,241	1,408		3,742	LR
15	418 N. Rios Avenue	10,648	1,268		3,813	LR
16	410 N. Rios Avenue	10,227	1,858	2,061	3,740	LR
17	406 N. Rios Avenue	9,014	1,285	1,903	3,527	LR
18	218 E. Cliff Street	11,276	1,196		3,923	LR
19	220 E. Cliff Street	17,513	2,646	2,877	4,826	LR
20	407 Barbara Avenue	10,065	2,800		3,711	LR
21	427 Barbara Avenue	9,541	3,534		3,620	LR
22	439 Barbara Avenue	10,291	2,238		3,751	LR
23	455 Barbara Avenue	9,400	3,530		3,595	LR
24	465 Barbara Avenue	11,166	2,659		3,904	LR
25	464 Barbara Avenue	10,529	3,191		3,793	LR
26	452 Barbara Avenue	10,407	2,982		3,771	LR

27	438 Barbara Avenue	10,117	1,765		3,720	LR
28	424 Barbara Avenue	11,158	1,622		3,903	LR
29	408 Barbara Avenue	10,236	3,030		3,741	LR
30	230 E. Cliff Street	11,866	1,946		4,027	LR
31	234 E. Cliff Street	11,090	1,812		3,891	LR
32	242 E. Cliff Street	10,122	1,166		3,721	LR
33	260 E. Cliff Street	10,829	3,010		3,845	LR
34	409 N. Granados Ave.	9,472	1,360		3,608	LR
35	421 N. Granados Ave.	19,657	4,520		5,041	LR
36	435 N. Granados Ave.	11,677	2,488		3,994	LR
37	441 N. Granados Ave.	11,668	2,794		3,992	LR
38	505 N. Granados Ave.	12,513	2,223		4,140	LR

Building and Structure Placement:

The existing residence was constructed prior to the City’s incorporation. The northern wall of the residence encroaches three feet into the required side yard setback. If the Applicant is modifying less than 50% of the foundation, exterior walls, and existing roof structures, it is Staff’s policy to allow the existing nonconformity to remain. The Applicant has shown that they are below the 50% threshold, and they are not proposing to reconstruct the nonconformity, therefore, it is proposed to remain with the remodel project.

As designed, 627 square feet of living area would be added to the existing 1,276 square foot living area, 50 square feet of area would be added to the existing 453 square foot garage and 49 square feet of covered and enclosed patio would be added to the front entry. The 1,903 square foot floor area would consist of an open concept kitchen, dining, living room off of the new covered entry, a laundry room, pantry two bedrooms, one bathroom and the primary bedroom suite. As designed, the proposed square footage additions would be within the buildable area.

The maximum building height for the LR Zone is 25 feet. The maximum height of the project is 13.50 feet above the existing grade of 96.0 MSL with the highest point at 109.5 feet above MSL. The proposed addition does not exceed 16 feet in height from the pre-existing grade. Therefore, the proposed residence could be found to be designed to minimize adverse impacts on the surrounding properties by the limited appearance of the structure from South Rios Avenue.

Landscape:

The work completed in 2018 and the proposed landscape work would have required a water efficient landscape plan. However, because a majority of the landscape work is existing to remain, the Applicant provided a very basic “conceptual” landscape plan that shows compliance with the water efficiency regulations and indicates three proposed plant types: blue chalk stick (*Senecio Vitalis*) in the areas of low water use and the Waxleaf Privet (*Ligustrum japonicum*) and Rose ‘Iceberg’ Bushes (*Rosa 'Korbin'*) in the areas with moderate water use. The City’s third-party landscape architect reviewed what was provided and indicated that it is sufficient information for the conceptual review, but a full construction level landscape plan would be required as part of the building permit review. The City’s consultant will review the construction drawings to verify consistency with the conceptual planting plan and perform an inspection after the landscape installation is complete to verify consistency with both the water efficient landscape regulations and the approved planting plan.

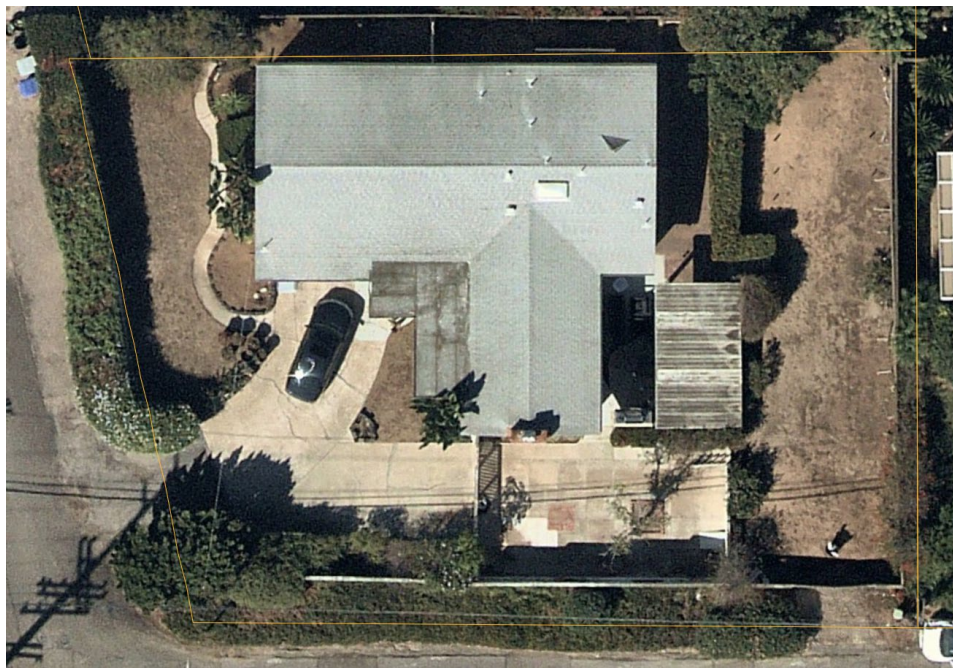
Roads, Pedestrian Walkways, Parking, and Storage Areas:

The existing driveway is located in the southwest corner of the lot at the intersection of N. Rios Ave. and Cliff Street and accesses the garage south facing garage door. The Applicant is proposing to remove the existing driveway and provide a new driveway at the northwest corner of the lot adjacent to the existing garage. This requires the Applicant to relocate the garage door from the southern elevation to the western elevation. The project includes the addition of 50 square feet to the western side of the garage at the new access door. This addition would not encroach into the required side yard setback. Two parking spaces that are 9 ft. by 19 ft. clear are provided in the garage area, outside of the required setbacks, therefore, the project qualifies for a 400 square foot exemption for providing the required parking in the garage.

Pedestrian access to the property would be provided with a paved pathway from the driveway and another from N. Rios Ave. at the center of the lot. The trash and recycling is proposed to be located within the side yard area behind a new wood fence.

Grading:

Prior to 2018, the rear yard area had the same finished surface elevation as the residence for the first 20 feet (approximately) beyond the eastern elevation of the residence. Then retaining walls supported the remaining 23 feet (approximately) of the lot at about three to four feet above the finished floor of the residence as illustrated in the Google street View and Nearmap aerial photos provided below:



Approximately 125 cubic yards of soil was excavated and exported off-site so that the rear yard was all at the same finished surface level. Two stepped Retaining walls were constructed on the north, east, and south sides of the rear yard where the soil was removed in order to support the higher grade levels on adjacent properties. The first retaining wall is approximately two feet and the second is approximately three feet. As shown in the current aerial photo below:



This work would have required a DRP/DRP MOD, grading permit, and building permit. If approved, this MOD would serve as the DRP approval for this work. As a condition of approval, the Applicant would need to obtain building and grading permits for the existing retaining walls.

As part of the MOD, an additional 7 cubic yards of site grading to relocate the proposed driveway and 5 cubic yards of excavation for the new footings for the square footage addition.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of an interior remodel and square footage addition to an existing single-family residence with an attached garage and retroactive approval of yard improvements; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Property Frontage and Public Right-of-Way Improvements:

The existing property frontage is unimproved, with some vegetation and a non-standard driveway. If approved, the Applicant will be required to remove the existing landscaping and construct a 10-foot wide Decomposed Granite (D.G.) area graded at a 2% maximum slope for walking and parking purposes. In addition, construction of a 9-inch sloping concrete curb for drainage conveyance will be required if the project is approved. The Applicant will also be responsible for dedicating a three-foot width of the property frontage to the City for use as public right of way. The driveway approach will be reconstructed as a condition of approval to meet current standards.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on July 3, 2025. As of the publication of this report, no correspondence has been received on the current design of the project.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures including one single-family residence or a second dwelling unit in a residential Zone.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2025-087
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP and cannot be made.

CITY STAFF RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-087 conditionally approving a DRP mod. for the work completed in the rear yard as well as the proposed addition and remodel to the existing residence and site improvements in the front yard at 406 N. Rios Avenue, Solana Beach.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-087
2. Project Plans

RESOLUTION 2025-087

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT MODIFICATION FOR A REMODEL, SQUARE FOOTAGE ADDITION, AND SITE IMPROVEMENTS FOR AN EXISTING SINGLE-STORY SINGLE FAMILY RESIDENCE AND RETROACTIVE APPROVAL FOR GRADING AND SITE IMPROVEMENTS IN THE REAR YARD AREA AT 406 N. RIOS AVENUE, SOLANA BEACH.

APPLICANT: Petr and Katelyn Pacas
APPLICATION: MOD25-004
APN: 263-072-19

WHEREAS, Petr and Katelyn Pacas (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) Modification (MOD) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on July 16, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP mod. for retroactive approval for the work completed in the rear yard as well as a remodel and proposed addition of 726 square feet to the existing single story residence with an attached garage and additional site improvements in the front yard at 406 N. Rios Avenue, Solana Beach is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project may be found consistent with the General Plan, which designates the property as Low Density Residential and is intended for single-family residential development at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is also located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “c”, which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The lot is located in the northeast corner of the intersection of N. Rios Avenue and E. Cliff Street and has frontage on both streets. The SBMC definitions indicate that the shorter street frontage should be considered the front lot line. The lot is rectangular in shape and has 81.67 feet of frontage on N. Rios Avenue which is the

western or front lot line, 103.75 feet of frontage on E. Cliff Street which is the southern side lot line, a 79.41-foot eastern rear property line and a northern property line of 123.37. The property is relatively flat with an upward slope of approximately 2.5 feet as you move west to east along the entire length of the lot.

The existing residence was constructed prior to the City's incorporation. The northern wall of the residence encroaches three feet into the required side yard setback. If the Applicant is modifying less than 50% of the foundation, exterior walls, and existing roof structures, it is Staff's policy to allow the existing nonconformity to remain. The Applicant has shown that they are below the 50% threshold, and they are not proposing to reconstruct the existing nonconformity, therefore, it is proposed to remain with the subject project.

A three-foot dedication is required along N. Rios Avenue. This would result in a right-of-way that exceeds 55 feet in width once the property to the west is redeveloped, therefore, the required front yard setback can be reduced to 20 feet. The remodeled residence would be approximately 22 feet from the front property line after the dedication. The south side of the residence would meet the required 10-foot exterior side yard setback and exceed the required 25-foot rear yard setback by approximately 8 feet 10 inches.

Maximum Floor Area Ratio:

The 9,014 square foot lot is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for this project, pursuant to the provisions of the SROZ, is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	527 ft ²
<hr/> Maximum Allowable Floor Area:	<hr/> 3,527 ft ²

As designed, 627 square feet of living area would be added to the existing 1,276 square foot living area, 50 square feet of area would be added to the existing 453 square foot garage and 49 square feet of covered and enclosed patio would be added to the front entry. The 1,903 square foot living area would consist of an open concept kitchen, dining, living room off of the new covered entry, a laundry room, pantry two bedrooms, one bathroom and the primary bedroom suite.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a

garage, up to 200 square feet of floor area is exempted for each required space. The proposed 503 square-foot garage area will provide two unobstructed parking spaces, outside of the required setbacks, therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With this exemption, the total gross floor area of the project is 2,055 square feet, which is 1,472 square foot below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The maximum height of the project is 13.50 feet above the existing grade of 96.0 MSL with the highest point at 109.5 feet above MSL. The proposed addition does not exceed 16 feet in height from the pre-existing grade. Therefore, the project is not subject to the requirements of SBMC Chapter 17.63 – View Assessment.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces are proposed in the attached garage outside of the existing nonconforming area.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

An existing block wall surrounds the existing property and was not modified with the work completed in 2018. This wall is proposed to remain as is. As previously mentioned, two tiered retaining walls (one two-foot wall and one three-foot wall) were constructed when the previous grading work was completed in the rear yard and the Applicant will be conditioned to obtain a grading and building permit for these walls. Fences and walls are measured from the pre-existing grade therefore, these retaining walls do not exceed the maximum fence and wall heights. A 6 ft fence was constructed at the property line from the northern side of the residence around the rear property line to the southern property line which is also proposed to remain. Currently, the plans show fences and walls that comply with the requirements of SBMC

17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Landscape:

The work completed in 2018 and the proposed landscape work would have required a water efficient landscape plan. However, because a majority of the landscape work is existing to remain, the Applicant provided a very basic “conceptual” landscape plan that shows compliance with the water efficiency regulations and indicates three proposed plant types: blue chalk stick (*Senecio Vitalis*) in the areas of low water use and the Waxleaf Privet (*Ligustrum japonicum*) and Rose ‘Iceberg’ Bushes (*Rosa 'Korbin'*) in the areas with moderate water use. The City’s third-party landscape architect reviewed what was provided and indicated that it is sufficient information for the conceptual review, but a full construction level landscape plan would be required as part of the building permit review. The City’s consultant will review the construction drawings to verify consistency with the conceptual planting plan and perform an inspection after the landscape installation is complete to verify consistency with both the water efficient landscape regulations and the approved planting plan.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone and SROZ as are the properties located in the immediate surrounding neighborhood on North Rios Avenue, E. Cliff Street and the east side of Seabright Lane and the west side of Granados Ave. These properties are developed with a mix and one-and two-story single-family residences. The project, as designed, could be found consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The maximum proposed floor area would be 1,472 square feet below the maximum allowable for the property.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The existing residence was constructed prior to the City's incorporation. The northern wall of the residence encroaches three feet into the required side yard setback. If the Applicant is modifying less than 50% of the foundation, exterior walls, and existing roof structures, it is Staff's policy to allow the existing nonconformity to remain. The Applicant has shown that they are below the 50% threshold, and they are not proposing to reconstruct the nonconformity, therefore, it is proposed to remain with the remodel project.

As designed, 627 square feet of living area would be added to the existing 1,276 square foot living area, 50 square feet of area would be added to the existing 453 square foot garage and 49 square feet of covered and enclosed patio would be added to the front entry. The 1,903 square foot living area would consist of an open concept kitchen, dining, living room off of the new covered entry, a laundry room, pantry two bedrooms, one bathroom and the primary bedroom suite. As designed, the proposed square footage additions would be within the buildable area.

The maximum building height for the LR Zone is 25 feet. The maximum height of the project is 13.50 feet above the existing grade of 96.0 MSL with the highest point at 109.5 feet above MSL. The proposed addition does not exceed 16 feet in height from the pre-existing grade. Therefore, the proposed residence could be found to be designed to minimize adverse impacts on the surrounding properties by the limited appearance of the structure from South Rios Avenue.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The work completed in 2018 and the proposed landscape work would have required a water efficient landscape plan. However, because a majority of the landscape work is existing to remain, the Applicant provided a very basic "conceptual" landscape plan that shows compliance with the water efficiency regulations and indicates three proposed plant types: blue chalk stick (Senecio

Vitalis) in the areas of low water use and the Waxleaf Privet (*Ligustrum japonicum*) and Rose 'Iceberg' Bushes (*Rosa 'Korbin'*) in the areas with moderate water use. The City's third-party landscape architect reviewed what was provided and indicated that it is sufficient information for the conceptual review, but a full construction level landscape plan would be required as part of the building permit review. The City's consultant will review the construction drawings to verify consistency with the conceptual planting plan and perform an inspection after the landscape installation is complete to verify consistency with both the water efficient landscape regulations and the approved planting plan.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The existing driveway is located in the southwest corner of the lot at the intersection of N. Rios Ave. and Cliff Street and accesses the garage from a south facing garage door. The Applicant is proposing to remove the existing drive and provide a new driveway at the northwest corner of the lot adjacent to the existing garage. This requires the Applicant to relocate the vehicular access to the garage from the southern elevation to the western elevation. The project includes the addition of 50 square feet to the western side of the garage at the new access door. This addition would not encroach into the required side yard setback. Two parking spaces that are 9 ft. by 19 ft. clear are provided in the garage area, outside of the required setbacks, therefore, the project qualifies for a 400 square foot exemption for providing the required parking in the garage.

Pedestrian access to the property would be provided with a paved pathway from the driveway and another from N. Riso Ave. at the center of the lot. The trash and recycling is proposed to be located within the side yard area behind a new wood fence.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall*

be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

Prior to 2018, the rear yard area had the same finished surface elevation as the residence for the first 20 feet (approximately) beyond the eastern elevation of the residence. Then retaining walls supported the remaining 23 feet (approximately) of the lot at about three to four feet above the finished floor of the residence.

Approximately 125 cubic yards of soil was excavated and exported off-site so that the rear yard was all at the same finished surface level. Two stepped Retaining walls were constructed on the north, east, and south sides of the rear yard where the soil was removed in order to support the higher grade levels on adjacent properties. The first retaining wall is approximately two feet and the second is approximately three feet.

This work would have required a DRP, grading permit, and building permits. If approved, this MOD would serve as the DRP approval for this work. As a condition of approval, the Applicant would need to obtain building and grading permits for the existing retaining walls.

As part of the MOD, an additional 7 cubic yards of site grading to relocate the proposed driveway and 5 cubic yards of excavation for the new footings for the square footage addition.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of an interior remodel and square footage addition to an existing single-family residence with an attached garage and retroactive approval of yard improvements; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to the issuance of Building or Grading Permits.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on July 16, 2025, and located in the project file with a submittal date of July 8, 2025.
- III. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- IV. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or

Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.

- V. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VI. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- VII. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- VIII. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- IX. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2022 California Fire Code Chapter 5 Section 503.4 and 503.2.1.

C. Engineering Department Conditions:

- I. The Applicants shall obtain an Encroachment Permit in accordance with SBMC Section 11.20 for all work performed within the public right of way or easements granted to the City, including the work listed below. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project.

- a. Construction of the 10 foot wide Decomposed Granite (D.G.) area compacted and graded at maximum 2% towards the flow line in the street for walking and parking purposes to the satisfaction of the City Engineer.
 - b. Construction of the 9-inch sloping curb along the property frontage with transitions to the existing improvements to the satisfaction of the City Engineer.
 - c. Construction of the SDRSD modified driveway approach with transitions to the proposed D.G. pathway
- II. A three-foot width of property frontage along North Rios Avenue shall be dedicated to the City of Solana Beach as Public Right-of-Way. The Applicants shall provide the Plat and Legal Description prepared by a Registered Civil Engineer. The document shall be recorded with the County of San Diego prior to release of the grading bond.
- III. The applicant will be responsible for providing a safe path of entry and egress from the property during construction, until the existing driveway approach at the southwest corner of the property, with access from North Rios Avenue, is replaced according to the approved plan.
- IV. All construction demolition materials shall be recycled according to the City' s Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with Chapter 11.20 of the SBMC which allows otherwise.
- VI. Grading
- a. The Applicants shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The project engineer will be responsible for certifying the existing unpermitted improvements, such as the retaining walls and undocumented fill in the Eastern portion of the property. Additionally, the project engineer will need to provide 3 plans as follows:
 - i. A plan showing the site conditions prior to construction of the unpermitted improvements.

- ii. A plan showing the existing site conditions, including an engineer's estimate of the quantities of grading associated with the installation of all unpermitted improvements.
 - iii. A plan showing proposed improvements to be constructed.
- c. The Applicants shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer, certifying the stability of the undocumented fill and detailing corrective measures to be taken. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- d. The Applicants shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for the detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.
- e. The Applicants shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- f. The Applicants are responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicants shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- g. Cut and fill slopes shall be set back from site boundaries and building in accordance with SBMC Section 15.40.140 and to the satisfaction of the City Engineer.

- h. The Applicants shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- i. The Applicants shall obtain and submit grading security in a form prescribed by the City Engineer.
- j. The Applicants shall obtain haul permit for import/export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- k. The Applicants shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- l. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation, grading and other construction related activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- m. The Applicants shall show all proposed onsite private drainage facilities intended to discharge water runoff. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- n. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001, requirements shall be implemented in the drainage design.
- o. No increased cross lot drainage shall be allowed.

D. The City Council Conditions:

I. N/A.

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning

Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 16th day of July 2025, by the following vote:

- AYES: Councilmembers –
- NOES: Councilmembers –
- ABSENT: Councilmembers –
- ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

PACAS RESIDENCE REMODEL

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075

ADU ADDRESS: 408 NORTH RIOS AVENUE

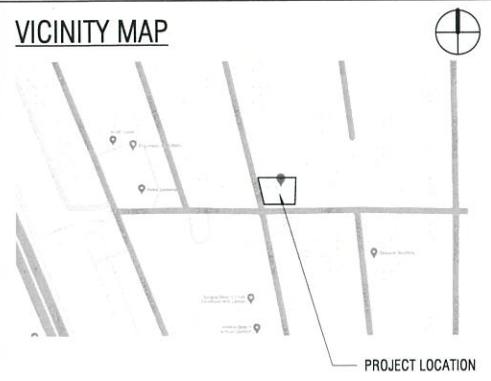
APN: 263-072-19-00

MOD DRP - JUNE 17, 2025

PROJECT:
PACAS RESIDENCE REMODEL
406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:

T7 Architecture
ANDREW E. CROCKER, AIA
646 VALLEY AVENUE, SUITE C2
SOLANA BEACH, CA 92075
T: 858.345.1295



- #### GENERAL NOTES
- THE FOLLOWING GENERAL NOTES APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SPECIFIED.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CURRENT FEDERAL, STATE, COUNTY, AND CITY ORDINANCES HAVING JURISDICTION, AND IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS ISSUED HERewith. THE CONTRACTOR SHALL OBTAIN AND COORDINATE AND THE OWNER SHALL PAY FOR ALL REQUIRED PERMITS.
 - WORK SHALL BE PERFORMED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EXISTING SURFACES, MATERIALS, AND EQUIPMENT. PROTECTIVE DEVICES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY, AND AS REQUIRED BY THE OWNER OR AUTHORITIES.
 - THE CONTRACTOR SHALL REVIEW DOCUMENTS, FIELD VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS OR DISCREPANCIES IN WRITING TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
 - SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ARCHITECTURAL OR ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S, ENGINEER'S, OR OWNER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE, AND LARGE SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALLER DTLS. SHOULD THE CONTRACTOR ENCOUNTER THE PRESENCE, OR POSSIBLE PRESENCE, OF POTENTIALLY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE CLIENT FOR INSTRUCTIONS PRIOR TO CONTINUING WORK. NO PRODUCTS CONTAINING ASBESTOS SHALL BE USED ON THIS PROJECT.
 - THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ASBESTOS FOUND IN ANY ITEM CALLED FOR IN THE DRAWINGS AND SPECIFICATIONS. GENERALLY, ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
 - ALL CONDUITS AND PIPING SHALL BE CONCEALED. SUBSTITUTIONS WILL NOT BE ALLOWED WITHOUT THE PRIOR ACCEPTANCE OF THE ARCHITECT. ALL REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
 - THE CONTRACTOR SHALL MAINTAIN THE JOBSITE IN A CLEAN CONDITION AT ALL TIMES AND SHALL NOT LEAVE CONSTRUCTION DEBRIS ON THE PROPERTY. THE CONTRACTOR SHALL NOTIFY THE OWNER IN ADVANCE OF INTERRUPTING UTILITIES SUCH AS WATER, POWER OR HEATING, AND MUST SCHEDULE SUCH WORK WITH THE OWNER.
 - THE CONTRACTOR SHALL REPLACE ANY EXISTING LANDSCAPING OR SITEWORK THAT IS DAMAGED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE HIS OWN RESTROOM FACILITIES. THE CONTRACTOR IS ALLOWED TO USE OWNERS ELECTRICITY. THE CONTRACTOR IS NOT TO USE THE OWNERS TELEPHONE.
 - CONTRACTOR WORK HOURS SHALL BE FROM 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 8:00 PM SATURDAY, SUNDAY AND HOLIDAYS.
 - THE CONTRACTOR SHALL BE INSURED AND HAVE WORKMANS COMPENSATION.
 - THE CONTRACTOR SHALL ACQUIRE AND REVIEW THE TENANT HANDBOOK AND ANY OTHER LANDLORD DOCUMENTS AS APPLICABLE.



GOVERNING CODES

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (CFCO)
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE

THE CITY OF SOLANA BEACH MUNICIPAL CODE
COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE C.F.1R, C.F.2, AND C.F.3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR BUILDING OWNER.

PROJECT TEAM

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CONTACT: CARSON JOHNSON
PHONE: 951.599.9827
JOHNSONSOLARCONSULTING@GMAIL.COM

DRAWING ISSUANCE

CoSB MOD DRP SUBMITTAL	03-06-2025
CoSB MOD DRP RESUBMITTAL DELTA 3	05-05-2025
CoSB MOD DRP RESUBMITTAL DELTA 4	06-17-2025

DEFERRED SUBMITTAL

SOLAR PANELS FOR ADU, BY OTHERS _____
FIRE SPRINKLER SYSTEM _____
REAR YARD RETAINING WALL _____

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

DRAWING INDEX

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G007 BMP PLAN & BMP NOTES
G008 SITE PLAN - PRE 2018 EXISTING DIAGRAM
T1 TOPOGRAPHIC SURVEY
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A101 EXISTING & DEMO FIRST FLOOR PLAN
A102 PROPOSED FLOOR PLAN
A103 PROPOSED ROOF PLAN
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A300 EXISTING ELEVATIONS
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A400 SECTIONS
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A706 SITE DETAILS
A900 3D VIEWS
P1 GAS ISOMETRIC
L-1 IRRIGATION PLAN
L-2 HYDROZONE MAP & WATER CALCULATION

UTILITIES

JURISDICTION: CITY OF SOLANA BEACH (CoSB)
FIRE DISTRICT: SOLANA BEACH FIRE DEPARTMENT
WATER: SANTA FE IRRIGATION DISTRICT
SCHOOL DISTRICTS: DIST. 1 - SOLANA BEACH SCHOOL DISTRICT
DIST. 2 - SAN DIEGUITO UNION HIGH SCHOOL DISTRICT
SEWER OR SEPTIC: SEWER | LATERAL 4" - ADU TO BRANCH OFF EXISTING 3/4"
WATER METER SIZE: EXISTING: 200 AMP | PROPOSED: 400 AMP
ELEC. METER SIZE: EXISTING TO REMAIN
NATURAL GAS: EXISTING TO REMAIN

SCOPE OF WORK

THE PROJECT PROPOSES THE REMODEL OF THE EXISTING RESIDENCE, THE ADDITION OF 627 SF, AND AN ATTACHED ADU OF 423 SF. NO PORTION OF THE NEWLY ADDED SQUARE FOOTAGE IS OVER 16'-0". THE PROJECT ALSO PROPOSES TO REPLACE THE ELECTRICAL PANEL AND TO RELOCATE THE DRIVEWAY AND ROW WORK. PERMIT #'S MAIN HOUSE B24-302 & ADU B24-0303.

MOD DRP FOR SITE WALLS:
GRADING OF +/- 125 CUBIC YARDS PERFORMED PRIOR TO PROJECT SUBMISSION.
REPLACE THE EXISTING SITE WALLS IN-PLACE UNDER THIS PERMIT.
RETROACTIVE BUILDING APP. FOR SITE WALLS WILL BE SUBMITTED AT A LATER DATE.

SITE DATA

APN: 263-072-19-00
LEGAL DESCRIPTION: THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, 9,014 SF | 206 ACRES

LOT AREA: 9,014 SF | 206 ACRES

BUILDING CODE DATA

CONSTRUCTION TYPE: V-B
OCCUPANCY GROUP: R-3/U
STORIES: 2
MAX HEIGHT: 25'-0"
FIRE SPRINKLERS: YES, REQUIRED

PROJECT DATA

ZONE: LRc - LOW RESIDENTIAL
OVERLAY ZONE: COASTAL ZONE
SCALED RESIDENTIAL OVERLAY ZONE

FLOOR AREA RATIO: (0.5 X 6,000) + (0.175 X 3,013) =
3,000 SF + 527 SF =
3,527 SF MAX F.A.R. ALLOWED

PROJECT F.A.R. CALCULATIONS:

EXISTING FIRST FLOOR LIVING AREA	1,276 SF
FIRST FLOOR LIVING AREA ADDITION	627 SF
EXISTING GARAGE	453 SF
GARAGE ADDITION	50 SF
COVERED & ENCLOSED PATIO	49 SF
ACCESSORY DWELLING UNIT (ADU)	423 SF
SUBTOTAL OF FLOOR AREA	2,878 SF
OFF-STREET PARKING EXEMPTION (2 SPACES)	-400 SF
ACCESSORY DWELLING UNIT (ADU)	-423 SF
TOTAL PROPOSED FLOOR AREA	2,055 SF
60% MAX DRP EXEMPTION	2,116 SF

PARKING REQUIRED: 2 OFF-STREET
PARKING PROVIDED: 2 OFF-STREET

SETBACKS: FRONT YARD: 20'-0" STD / 20'-0" ADU
INTERIOR SIDE YARD: 10'-0" STD / 4'-0" ADU
STREET SIDE YARD: 10'-0" STD / 4'-0" ADU
REAR YARD: 25'-0" STD / 4'-0" ADU

HEIGHT: 25'-0" MAX - PROPOSED NOT TO EXCEED
16'-0" SDP MAX - PROPOSED NOT TO EXCEED
13'-6" - PROPOSED HEIGHT

FIRE SPRINKLERS: EXISTING NONE - YES, PER N.F.P.A. 13D

YEAR BUILT: 1958

CONSULTANT:

AGENCY STAMP:



NO.	REVISION:	DATE:
4	DELTA 4	06/17/2025

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PHASE: CONSTRUCTION DOCUMENTS
SHEET TITLE: TITLE SHEET

SHEET NO: G000 b

AREA PLAN GENERAL NOTES

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.
- EXTERIOR AREA THAT IS SURROUNDED BY THREE OR MORE WALLS AND COVERED SHALL COUNT TOWARDS FLOOR AREA.

PROJECT AREA CALCULATIONS

EXISTING FIRST FLOOR LIVING AREA	1,276 SF
FIRST FLOOR LIVING AREA ADDITION	627 SF
EXISTING GARAGE	453 SF
GARAGE ADDITION	50 SF
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ACCESSORY DWELLING UNIT (ADU)	-423 SF
TOTAL PROPOSED FLOOR AREA	2,055 SF
60% MAX DRP EXEMPTION	2,116 SF

WALL MODIFICATION CALCULATIONS

WALL TAGS	EXIST. WALL LENGTH	MODIFIED WALL LENGTH	UNCHANGED WALL LENGTH
A	54'-6 1/8"	0'-0"	54'-6 1/8"
B	25'-4 3/16"	7'-6"	17'-10 3/16"
C	9'-1"	5'-8 15/16"	3'-4 1/16"
D	24'-1 15/16"	24'-1 15/16"	0'-0"
E	15'-5 7/8"	14'-10 1/2"	0'-7 3/8"
F	24'-0"	16'-9 1/2"	7'-2 1/2"
G	18'-2 1/4"	1'-0"	17'-2 1/4"
H	11'-9 1/16"	11'-9 1/16"	0'-0"
I	25'-6 1/8"	18'-8 5/8"	6'-9 1/2"
TOTALS	208'-0 9/16"	100'-6 9/16"	107'-6"

NOTE: 50% = 104'-0 5/16" 52% TO REMAIN

FLOOR PLAN KEY NOTES XX

- A65 (N) WITHIN (E) WIDTH
- A67 INFILL WINDOW
- A68 INFILL DOOR
- A72 (N) GARAGE DOOR

FOUNDATION CALCULATIONS

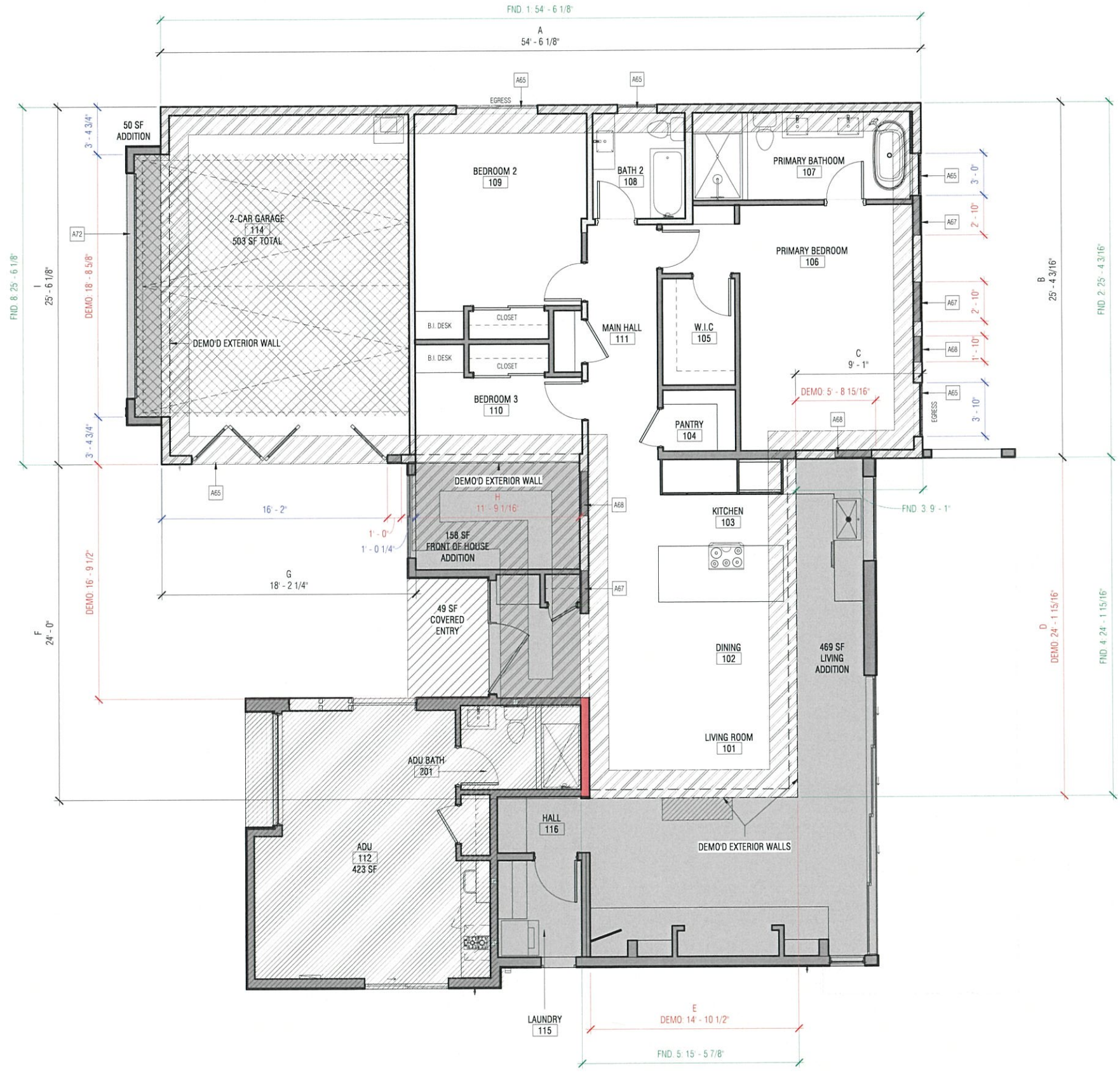
LEVEL 1:
 TOTAL % TO REMAIN: 100%
 TOTAL % DEMO: 0%

WALL & FOUNDATION LEGEND

- WALL X: 0'-1" EXISTING WALL TO REMAIN
- DEMO X: 0'-1" EXISTING WALL TO DEMO'D/TO BE MODIFIED
- FND X: 0'-1" EXISTING FOUNDATION TO REMAIN
- EXIST. 0'-1" TO REMAIN EXISTING EXTERIOR WALL TO REMAIN FOR ADU

HATCH LEGEND

- PROPOSED ADDITION SF
- EXISTING AREA
- GARAGE EXEMPTION AREA: 400 SF
- FOUNDATION FOOTING
- EXTERIOR COVERED AREA: TOWARDS FAR
- FAR EXEMPT
- WALL DEMO CALC EXEMPT

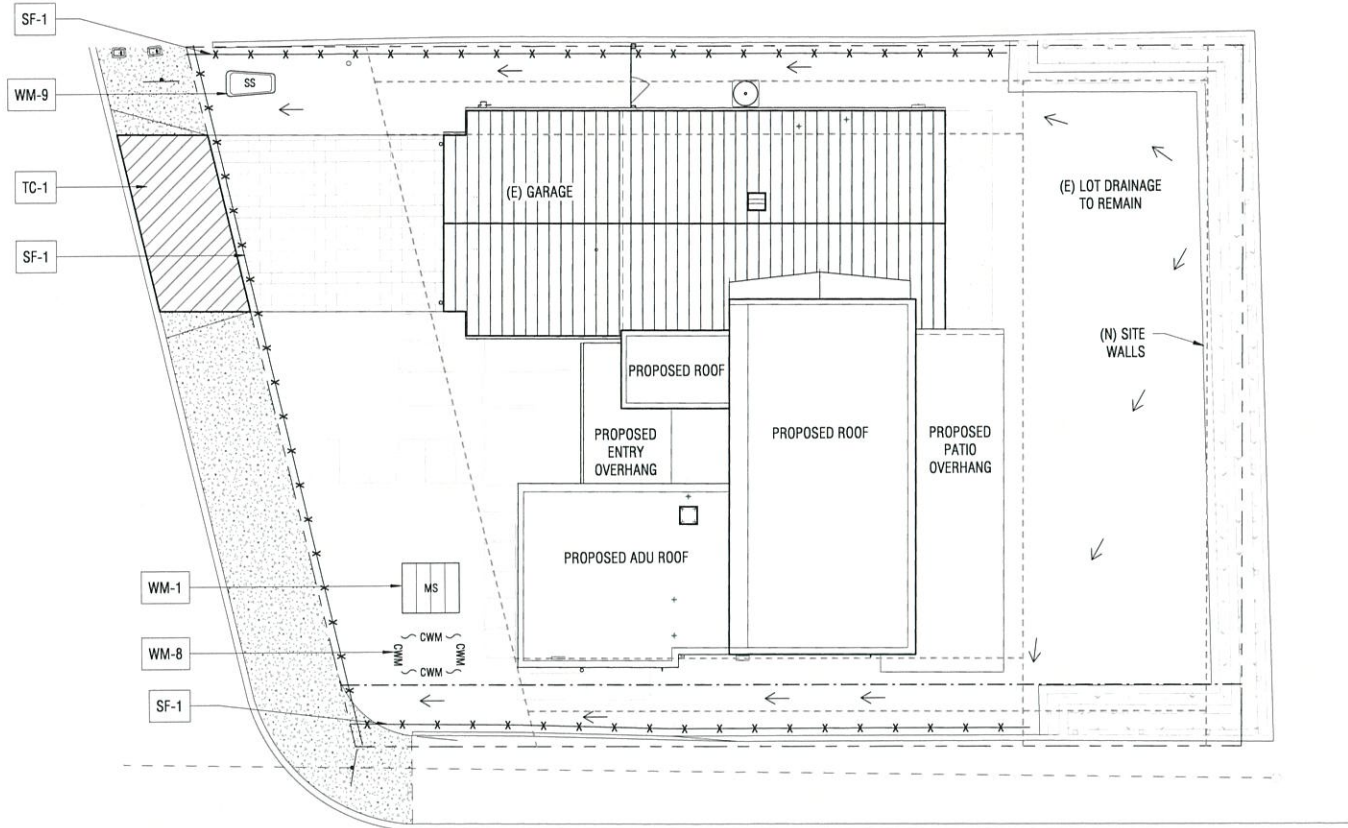


CONSTRUCTION BMP GENERAL NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING / IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCC) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCC WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCC.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH ON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCC SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
 - NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".



1 BMP PLAN
1" = 10'-0"

BMP LEGEND

PDS 659	BROW DITCH	⇒ ⇒
PDS 659	BERM	⇒ B ⇒
	DIRECTION OF LOT DRAINAGE	⇒ ⇒
MATERIALS & WASTE MANAGEMENT BMPs		
WM-1	MATERIAL DELIVERY & STORAGE	MS
WM-4	SPILL PREVENTION & CONTROL	SPILL
WM-5	SOLID WASTE MANAGEMENT	SWM
WM-6	HAZARDOUS WASTE MANAGEMENT	HWM
WM-8	CONCRETE WASTE MANAGEMENT	CWM
WM-9	SANITARY WASTE MANAGEMENT	SS
TEMPORARY RUNOFF CONTROL BMPs		
SS-2	PRESERVATION OF EXISTING VEGETATION	PEV
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)	M
SS-4	HYDROSEEDING (SUMMER)	TSP
SS-6 / SS-8	STRAW OR WOOD MULCH	S/W
SS-7	PHYSICAL STABILIZATION (WINTER)	EBM
SS-10	ENERGY DISSIPATOR	ED
SC-1	SILT FENCE	SF
SC-2	SEDIMENT/DESILTING BASIN	SS
SC-5	FIBER ROLLS	FR
SC-6 / SC-8	GRAVEL OR SAND BAGS	GSB
SC-7	STREET SWEEPING AND VACUUMING	SSV
SC-10	STORM DRAIN INLET PROTECTION	SDIP
SF-1	SITE FENCE	SF
NS-2	DEWATERING FILTRATION	DF
TC-1	STABILIZED CONSTRUCTION ENTRANCE	TC
TC-2	CONSTRUCTION ROAD STABILIZATION	CRS
TC-3	ENTRANCE / EXIT TIRE WASH	ETW
POST-CONSTRUCTION SITE DESIGN BMPs		
4.3.1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	
4.3.2	CONSERVE NATURAL AREA, SOILS, AND VEGETATION	
4.3.3	MINIMIZE IMPERVIOUS AREA	
4.3.4	MINIMIZE SOIL COMPACTION	
4.3.5	IMPERVIOUS AREA DISPERSION	
4.3.6	RUNOFF COLLECTION	
4.3.7	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	
4.3.8	HARVESTING AND USING PRECIPITATION	
POST-CONSTRUCTION SOURCE CONTROL BMPs		
4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	
4.2.2	STORM DRAINS STENCILING AND POSTING OF SIGNAGE	
4.2.3	PROTECTED OUTDOOR MATERIALS STORAGE AREAS	
4.2.4	PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS	
4.2.5	PROTECT TRASH STORAGE AREAS	
4.2.6	ADDITIONAL BMPs BASED ON POTENTIAL RUNOFF POLLUTANTS:	
A	ON-SITE STORM DRAIN INLETS	
B	INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SUMPS	
C	INTERIOR PARKING GARAGES	
D	NEED FOR FUTURE INDOOR & STR. PEST CONTROL	
E	LANDSCAPE/OUTDOOR PESTICIDE USE	
F	POOLS, SPAS, PONDS, FOUNTAINS, & WATER FEATURES	
G	FOOD SERVICE	
H	TRASH OR REFUSE AREAS	
I	INDUSTRIAL PROCESSES	
J	OUTDOOR STORAGE OF EQUIP. OR MATERIALS	
K	VEHICLE AND EQUIPMENT CLEANING	
L	VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	
M	FUEL DISPENSING AREAS	
N	LOADING DOCKS	
O	FIRE SPRINKLER TEST WATER	
P	MISCELLANEOUS DRAIN OR WASH WATER	
Q	PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS	

PROJECT:
PACAS RESIDENCE REMODEL
406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:
architect
ANDREW E. CROCKER, AIA
646 VALLEY AVENUE, SUITE C2
SOLANA BEACH, CA 92075
T. 858.345.1295

CONSULTANT:

AGENCY STAMP:

STAMP:

NO:	REVISION:	DATE:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

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SHEET TITLE:	BMP PLAN & BMP NOTES
SHEET NO:	G007

PROJECT:
PACAS RESIDENCE REMODEL
 406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
 ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:

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 646 VALLEY AVENUE, SUITE C2
 SOLANA BEACH, CA 92075
 T. 858.345.1295

CONSULTANT:

AGENCY STAMP:



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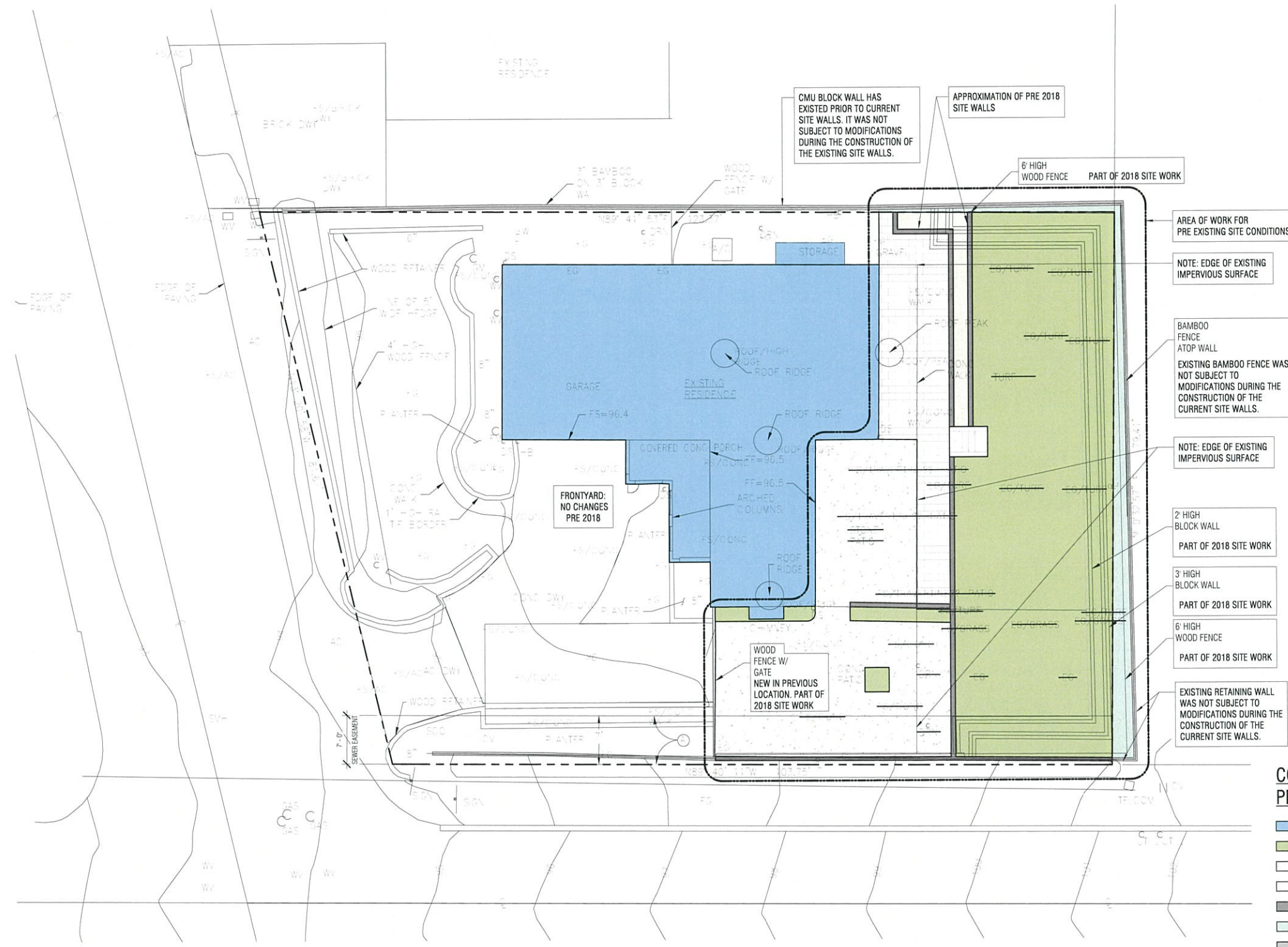
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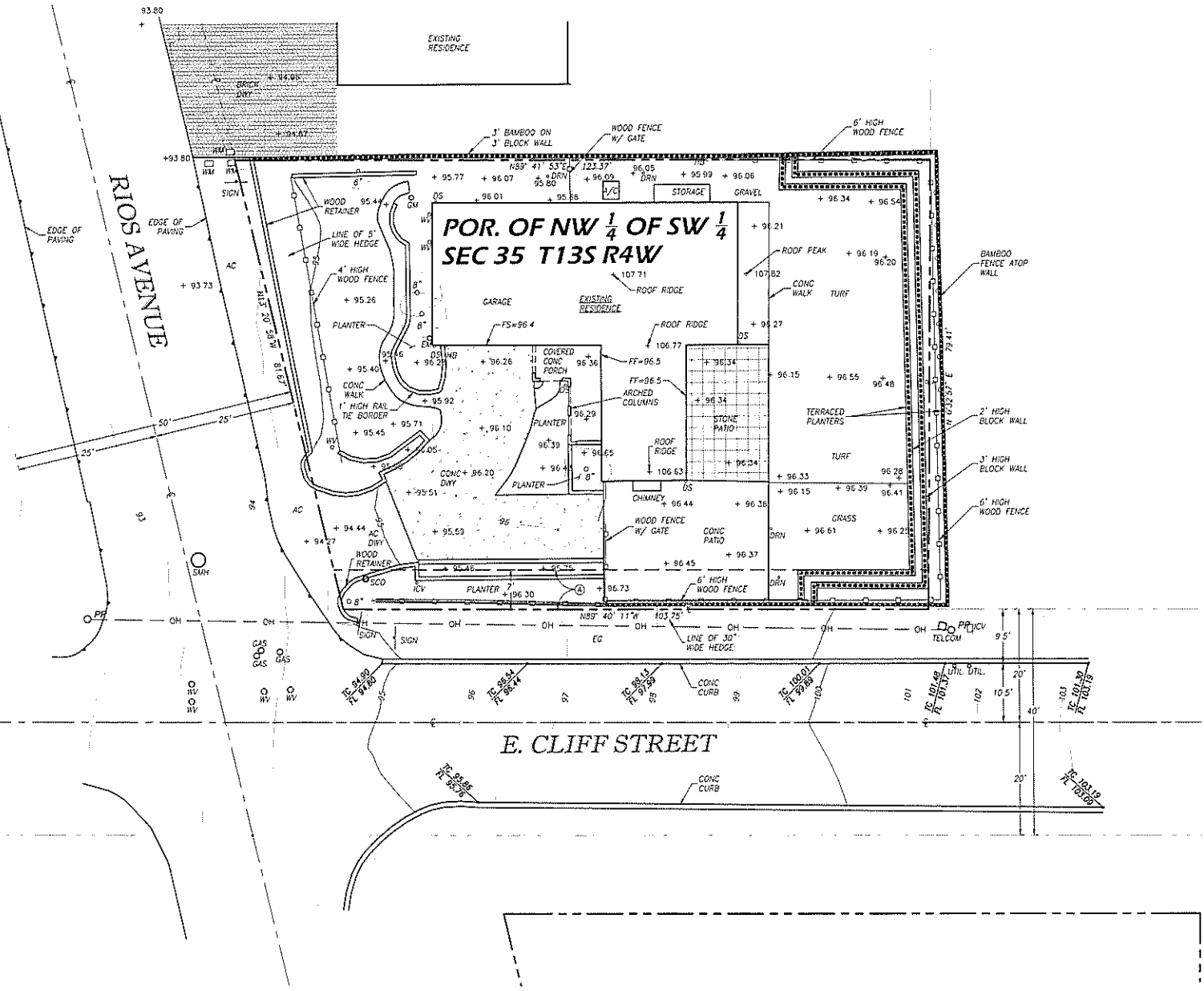
PHASE: **CONSTRUCTION DOCUMENTS**

SHEET TITLE: **SITE PLAN - PRE 2018 EXISTING DIAGRAM**

SHEET NO: **G008**



- COLOR LEGEND:**
PRE 2018 APPROXIMATED AREAS
- EXISTING RESIDENCE PER 2023 SURVEY
 - PRE EXISTING PERVIOUS AREA APPROXIMATION
 - PRE EXISTING CONCRETE APPROXIMATION
 - PRE EXISTING IMPERVIOUS PAVER APPROXIMATION
 - PRE EXISTING CMU RETAINING WALL APPROXIMATION
 - PRE EXISTING IMPERVIOUS - OUTSIDE OF PROPERTY LINE
 - PRE EXISTING CMU RETAINING WALL - OUTSIDE OF PROPERTY LINE
 - SURVEY TEXT- STRIKEOUT OF CURRENT SITE CONDITION



LEGEND

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE (RECORD)		---+---+---
PROPERTY LINE - OFFSITE		---
STREET CENTERLINE		---+---+---
CONTOUR		---
LOT LINE (OFFSITE)		---
OVERHEAD UTILITIES		---OH---
EDGE OF PAVING		---
EXISTING SPOT ELEVATION		+
BUILDING FOOTPRINT		▭
WOOD FENCE		---W---
BAMBOO FENCE		---B---
FREE STANDING WALL		---
RETAINING WALL		---
EXISTING BRUSHLINE		---
POWER POLE		PP
TREE, PLANT, PALM		○

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FS	FINISH SURFACE
AC	ASBESTOS CEMENT	GM	GAS METER
BLK	BLOCK	H	HIGH
BRK	BRICK	HB	HOSE BIBB
BW	GRADE AT BOTTOM OF WALL	ICV	IRRIGATION CONTROL VALVE
C	CENTER LINE	L.P.	LOW PRESSURE
C. CONC	CONCRETE	PLTR	PLANTER
C.O.	CLEANOUT	PLMT	PAVEMENT
EL	ELECTRIC	SCD	SEWER CLEANOUT
ELEV	ELEVATION	SMH	SEWER MANHOLE
EM	ELECTRIC METER	TEL	TELEPHONE
FF	FINISH FLOOR	TW	GRADE AT TOP OF WALL
FL	FLOW LINE	TYP	TYPICAL
F.L.D. BK	FIELD BOOK	WM	WATER METER

NOTES

- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITIES/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

EASEMENTS

THE TITLE REPORT USED FOR THIS TOPOGRAPHIC SURVEY WAS THIS TOPOGRAPHIC SURVEY WAS THE "COMMITMENT FOR TITLE INSURANCE" ISSUED BY WESTCOH LAND TITLE INSURANCE COMPANY, COMMITMENT NO. 68040194, ADOPTED 08-01-2016; TECHNICAL CORRECTIONS 04-02-2018.

EXCEPTIONS AT THE TIME OF THIS REPORT ARE AS FOLLOWS:

- EASEMENTS, CLAIMS OF EASEMENT OR ENCUMBRANCES WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.

11 ANY AND ALL EASEMENTS, AGREEMENTS AND RESTRICTIONS OF RECORD.

OTHER EASEMENTS NOT DISCLOSED BY THIS REPORT MAY BE PRESENT ON THE SUBJECT PROPERTY. THE FOLLOWING EASEMENTS WERE DISCOVERED UPON REVIEW OF PUBLIC DOCUMENTS FOR ANOTHER PURPOSE:

- AN EASEMENT FOR SEWER PURPOSES PER GRANT DEED RECORDED MAY 20, 1959 IN BOOK 7671, PAGE 554 (OVER THE SOUTHERLY 7 FEET OF THE SUBJECT PROPERTY)
- AN EASEMENT FOR SEWER PURPOSES PER GRANT DEED RECORDED SEPTEMBER 17, 1957 IN BOOK 6750, PAGE 284 (LOCATION IS DESCRIBED AS THE TRUE LOCATION OF THE SEWER FACILITY FROM THE NORTH LINE OF SAID LAND TO ITS CONNECTION TO THE DESCRIPTION CONTAINS NO DESCRIBED WIDTH AND IS DEPENDENT ON THE TRUE LOCATION OF FEATURES IN THE FIELD)

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY

(COMMONLY KNOWN AS 406 N RIOS AVE, SOLANA BEACH, CA 92075-1244.)

APN: 263-072-19

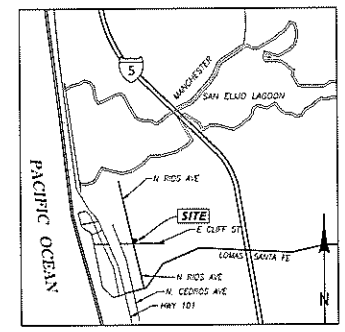
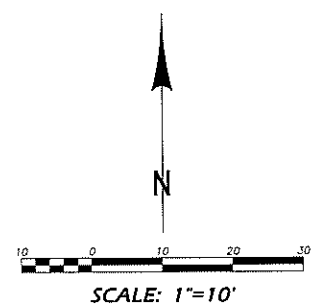
BENCHMARK

POINT NO. 2012 "ENC-43", 3.5" NATIONAL GEODETIC SURVEY DISC IN HEADWALL, 0.2 MILES NORTH OF SOLANA VISTA DRIVE ON THE EAST SIDE OF NORTHBOUND HIGHWAY 101, 3 FEET OFF SHOULDER AND 6 FEET WEST OF CARPOFF BY THE SEA SIGN

ELEV = 34.664; DATUM: NAVD 88; SOURCE: ROS 18979; CITY OF SOLANA BEACH SURVEY CONTROL

BOUNDARY NOTE

AS THIS PARCEL WAS CREATED BY DEED LINES, A RECORD OF SURVEY IS IN PROCESS FOR THIS PROJECT



VICINITY MAP
THOMAS BROS. MAP 1167-EG
NO SCALE

COFFEY ENGINEERING, INC.
2648 BLOSSOM PARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (619)831-0111 FAX (619)831-0179



JSC

Pacas Residence
406 N Rios Avenue
San Diego, CA 92075

DATE OF SURVEY: 10/08/2021	SURVEY CREW CHIEF: E. Mermoz	TOPOGRAPHIC SURVEY	DRAWN BY: EM/GC
			CHECKED BY: JC
			ORIGINAL 10/8/2021
			REVISION 1
			REVISION 2
	REVISION 3		REVISION 4
	REVISION 5		REVISION 5
		Topographic Survey	
		SCALE: 1" = 10'	
		C.O.	
		SHT 1 OF 1 SHTS	

REQUIRED SPECIAL FEATURES

NO SPECIAL FEATURES REQUIRED, PER TITLE 24

HERS FEATURE SUMMARY

- THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A HERS RATER. SEE TITLE 24 SHEETS FOR ADDITIONAL COMPLIANCE INFORMATION.
- INDOOR AIR QUALITY VENTILATION
 - KITCHEN RANGE HOOD
 - MINIMUM AIRFLOW
 - VERIFIED REFRIGERANT CHARGE
 - FAN EFFICACY WATTS/CFM
 - VERIFIED HEAT PUMP RATED HEATING CAPACITY
 - DUCT LEAKAGE TESTING

ADDRESS NUMBERS

NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS.

SITE PLAN GENERAL NOTES

1. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK BEFORE COMMENCING ANY SITE FOUNDATION EXCAVATION.
2. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES, AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONTRACTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY), UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
3. PROTECT EXISTING VEGETATION AND MARK PERIMETER OF CONSTRUCTION ZONE. REMOVE ALL TREES AND VEGETATION WITHIN 5' OF PROPOSED NEW STRUCTURES, UNLESS OTHERWISE SHOWN.
4. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS. DRAINAGE SWALES ARE TO BE DIRECTED AS SHOWN. PROVIDE 2% SLOPE.
5. LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
6. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

SITE PLAN KEY NOTES

- XX**
- A01 PROPERTY LINE
 - A02 SETBACK
 - E01 (N) JAC CONDENSER
 - E13 (N) PROPOSED TANKLESS WATER HEATER (NAVEN NPE-240S2-2, OUTDOOR APPROVED, GAS, 200,000 BTU/HR, 0.97-UEF PER TITLE 24, PROVIDE P&T VALVE TO EXTERIOR AT + 12" ABOVE FINISH GRADE. PROVIDE SEISMIC STRAPPING.
 - F33 BELGARD PAVERS, AQUALINE SERIES, PERVIOUS PAVERS, GRAY COLOR
 - L01 (E) LANDSCAPE TO REMAIN
 - S02 PROPOSED 423 SF ATTACHED ADU
 - S04 (E) SEWER EASEMENT
 - S05 (E) CONC. LANDING TO REMAIN
 - S06 (N) GRAY CONC. PIP, PERVIOUS PAVERS
 - S08 (E) WOOD FENCE & GATE
 - S10 (E) SEWER MANHOLE
 - S11 (N) ROLLED CURB & DG PARKING, PER CoSB CITY STANDARDS.
 - S14 (E) SITE WALLS & LANDSCAPE TO REMAIN
 - S15 (E) TURF TO REMAIN PER PLAN, U.O.N.
 - S19 (N) OVERHANG OVER MAIN ENTRY
 - S25 (N) MAILBOX
 - S40 (E) TRASH LOCATION
 - S41 (E) SEWER CLEAN OUT
 - S42 (E) STREET SIGN
 - S43 (N) RETAINING WALL: FINAL LOCATION & SIZE SHALL MEET CoSB CODE
 - U03 (E) WATER METER TO REMAIN
 - U04 (E) 250 C.F.H GAS METER TO REMAIN
 - U05 (E) OVERHEAD POWER LINES
 - U06 (E) POWER POLE
 - U07 (N) 400 AMP ELECTRICAL PANEL, NEW LOCATION
 - U08 (N) SUB PANEL AT ADU
 - U09 (N) 240-VOLT NEMA 14-50 OUTLET

WATER/SEWER

THE ADU AND THE PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY AND SANITARY SEWER SYSTEMS. THIS IS REQUIRED TO PROVIDE SEPARATE SERVICES (SHUT OFF VALVES AND CLEANOUTS) SO ONE DWELLING CAN SERVICE ITS UTILITIES WHILE NOT AFFECTING THE OTHER DWELLING. EACH DWELLING IS REQUIRED TO BE INDEPENDENT. SECTION 202.

THE SERVICES WILL BE BRANCHED OFF THE EXISTING MAIN LINES ON THE PROPERTY.

SEE SHEET P1 FOR ADD. INFO

LANDSCAPE THRESHOLD NOTE

AS SHOWN, THE PROJECT DOES NOT EXCEED THE THRESHOLD THAT REQUIRES A WATER EFFICIENT LANDSCAPE PLAN REVIEW. IF DURING CONSTRUCTION, MORE LANDSCAPING IS REMOVED THAN WHAT IS CURRENTLY SHOWN ON THE PLANS, A STOP WORK NOTICE WILL BE ISSUED AND YOU WILL NOT BE ABLE TO PROCEED UNTIL A WATER EFFICIENT LANDSCAPE PLAN HAS BEEN APPROVED BY THE CITY'S THIRD-PARTY LANDSCAPE ARCHITECT WHICH REQUIRES A DEPOSIT OF \$5,750.

LANDSCAPE TABLE

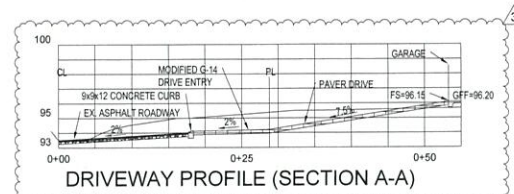
	PRE 2018 SF	CURRENT EXIST. SF	DIFFERENTIAL	CURRENT EXIST. SF	PROPOSED SF	DIFFERENTIAL
NON-LANDSCAPED AREA	4,670	4,201	-469	4,201	3,354	-847
NON-IRR. LANDSCAPE	0	0	0	0	975	+975
IRRIGATED LANDSCAPE	4,344	2,917	-1,427	2,917	496	-2,421
WATER FEATURES	0	0	0	0	0	0
DECOR. HARDSCAPE	0	1,896	1,896	1,896	3,944	+2,048
TOTAL LOT AREA	9,014	9,014	0	9,014	8,769	-245

IMPERVIOUS AREA QUANTITIES

EXISTING IMPERVIOUS AREA:	4,201 SF
EXISTING PERVIOUS AREA:	4,813 SF
PROPOSED IMPERVIOUS AREA:	3,354 SF
PROPOSED PERVIOUS AREA:	5,415 SF

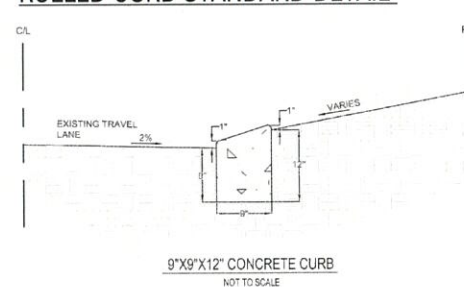
EQUIVALENT DWELLING UNIT (EDU) NOTE

THE PROPOSED IMPROVEMENT WILL HAVE AN ASSOCIATED IMPACT ON THE PROPERTY'S ANNUAL SEWER FEES. PER SBMC 14.08.060, THE ADU WILL INCREASE THE PROPERTY'S SEWER ASSESSMENT, FROM 1.0 EQUIVALENT DWELLING UNIT (EDU) TO 1.8 EDUS. AS A RESULT, THE PROPERTY'S SEWER FEES WILL INCREASE FROM \$682.30 TO \$1228.14 FOR FY2025-26.



DRIVEWAY PROFILE (SECTION A-A)

ROLLED CURB STANDARD DETAIL



QUANTITY OF GRADING

	PRE 2018 (APPROVED)	REMODEL & ADU	TOTAL
W C.Y. - SITE GRADING	125 C.Y.	7 C.Y.	132 C.Y.
X C.Y. - EXCAVATION FOR THE FOOTINGS OF NEW CONSTRUCTION	0 C.Y.	5 C.Y.	5 C.Y.
Y C.Y. - REMOVAL AND RE-COMPACT FOR CONSTRUCTION	0 C.Y.	0 C.Y.	0 C.Y.
Z C.Y. - TOTAL GRADING (W + X + Y)	125 C.Y.	12 C.Y.	137 C.Y.

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACT (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SETTLING FACTORS. ALL EXCAVATION SHALL BE DISPOSED OF AT A LEGAL DISPOSAL FACILITY.

ENGINEER NOTE

ENGINEER IS TO PROVIDE TRANSITIONS TO EXISTING IMPROVEMENTS PER SATISFACTION OF THE CITY ENGINEER.

FIRE CoSB NOTES

OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: ALL ROADWAYS SHALL BE A MINIMUM OF 20 FEET IN WIDTH DURING CONSTRUCTION AND MAINTAINED FREE AND CLEAR, INCLUDING THE PARKING OF VEHICLES PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 5 SECTION 503.4 AND 503.2.1.

ADU NOTES

1. PER SBMC SECTION 17.20.040(D)(4)(O), ACCESSORY DWELLING UNITS SHALL PROVIDE A NEW OR SEPARATE UTILITY CONNECTION DIRECTLY BETWEEN THE ACCESSORY DWELLING UNIT AND THE UTILITY. THE CONNECTION MAY BE SUBJECT TO A CONNECTION FEE OR CAPACITY CHARGE THAT SHALL BE PROPORTIONATE TO THE BURDEN OF THE PROPOSED ACCESSORY DWELLING UNIT, BASED UPON EITHER ITS SIZE IN SQUARE FEET OR THE NUMBER OF ITS PLUMBING FIXTURES. UPON THE WATER OR SEWER SYSTEM, PROVIDED, HOWEVER, THAT THIS FEE OR CHARGE SHALL NOT EXCEED THE REASONABLE COST OF PROVIDING THIS SERVICE. A SUB-METER MAY BE ALLOWED TO MEET THIS REQUIREMENT.
2. THE ADU SHALL ONLY BE USED FOR RENTALS OF TERMS OF 30 CONSECUTIVE DAYS OR MORE.

1 PROPOSED SITE PLAN

1/8" = 1'-0"

PROJECT:

PACAS RESIDENCE REMODEL

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:



ANDREW E. CROCKER, AIA
646 VALLEY AVENUE, SUITE C2
SOLANA BEACH, CA 92075
T. 858.345.1295

CONSULTANT:

AGENCY STAMP:

STAMP:



NO: REVISION: DATE:

4 DELTA 4 06/17/2025

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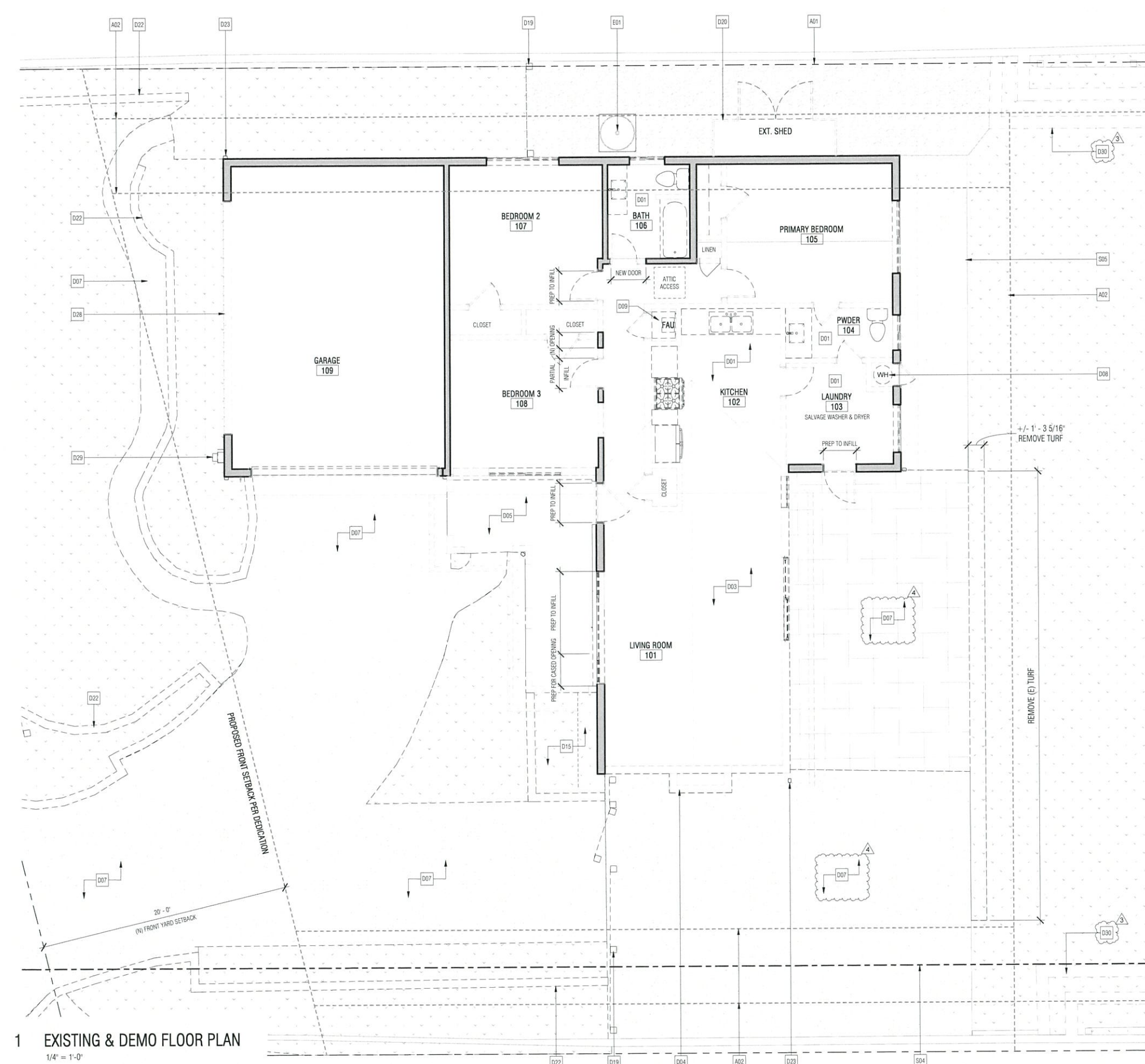
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PHASE: **CONSTRUCTION DOCUMENTS**

SHEET TITLE: **PROPOSED SITE PLAN**

SHEET NO: **A100**



1 EXISTING & DEMO FLOOR PLAN
1/4" = 1'-0"

DEMO PLAN GENERAL NOTES

- CUTTING AND DEMOLITION SHALL BE DONE BY METHODS WHICH WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF THE EXISTING CONSTRUCTION, AND WHICH WILL NOT DAMAGE PORTIONS OF STRUCTURE TO REMAIN.
- DEMOLITION WORK SHALL NOT BE COMMENCED ON ANY UTILITY UNTIL A NEW OR INTERIM UTILITY CONNECTION HAS BEEN MADE IN SUCH A WAY TO MAINTAIN CONTINUOUS UNINTERRUPTED SERVICE TO ALL PORTIONS OF THE EXISTING BUILDING.
- AT ALL AREAS OF DEMOLITION PATCH, REPAIR, AND FINISH EXISTING SURFACES TO REMAIN TO MATCH ADJACENT. ANY DAMAGE TO EXISTING AREA WILL BE REPAIRED TO LIKE-NEW CONDITION.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- REMOVE ALL CEILING MATERIALS, MECHANICAL, PLUMBING, ELECTRICAL AND EQUIPMENT, ETC. AS NOTED OR NECESSARY TO COMPLETE WORK IN CONFORMANCE WITH THESE DOCUMENTS.
- DUCT WORK, PIPING, ELECTRICAL LINES, ETC. SERVING AREAS OUTSIDE LIMITS OF CONSTRUCTION ARE TO REMAIN IN SERVICE OR BE RELOCATED WITH MINIMUM DISRUPTION TO OPERATIONS CONTRACTOR TO COORDINATE WITH ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS FOR DEMOLITION SCOPE AND POSSIBLE RE-USE OF FIXTURES, PRODUCTS OR EQUIPMENT.
- EXISTING PLUMBING, ELECTRICAL, AND MECHANICAL NOT UTILIZED IN THE SCHEME SHALL BE CAPPED OFF BELOW FLOOR FINISH LINE AND/OR INSIDE WALLS. CONTRACTOR TO MAINTAIN REQUIRED RATING OF FLOORS AND WALLS. VERIFY WITH ARCHITECT ALL EXPOSED PENETRATIONS.
- REMOVE ALL ITEMS ON WALLS TO BE DEMOLISHED U.O.N.
- REMOVE ALL WALLS, CASEWORK, EQUIPMENT, ACCESSORIES, FIXTURES, AND OTHER ITEMS SHOWN DASHED U.O.N.
- CONTRACTOR TO REVIEW DEMO WALL MODIFICATION CALCULATIONS TABLE AND SHEET G006 PRIOR TO DEMO. ALL DEMOLITION SHALL NOT EXCEED APPROVED AMOUNT.

DEMO PLAN KEY NOTES XX

- A01 PROPERTY LINE
- A02 SETBACK
- D01 REMOVE EXISTING FLOOR FINISH, PLUMBING FIXTURES, CABINETS
- D03 REMOVE EXISTING FLOOR FINISH
- D04 DEMO MASONRY FIREPLACE
- D05 DEMO ENTRY COLUMNS & ROOF
- D07 REMOVE EXISTING EXTERIOR FLOOR FINISH
- D08 REMOVE EXISTING WATER HEATER
- D09 REMOVE EXISTING HVAC EQUIPMENT
- D15 REMOVE EXISTING PLANTERS
- D19 DEMO WOOD FENCE & GATE
- D20 DEMO SHED
- D22 DEMO GARDEN WALLS & FENCING
- D23 REMOVE GUTTERS & DOWNSPOUT, TYP.
- D28 DEMO EXTERIOR WALL VENT
- D29 DEMO EXISTING 200 AMP PANEL
- D30 DEMO EXISTING UNPERMITTED SITE WALLS & LANDSCAPE
- E01 (N) AC CONDENSER
- S04 (E) SEWER EASEMENT
- S05 (E) CONC. LANDING TO REMAIN
- S11 (N) ROLLED CURB & DG PARKING, PER CoSB CITY STANDARDS.

WALL MODIFICATION CALCULATIONS

WALL TAGS	EXIST. WALL LENGTH	MODIFIED WALL LENGTH	UNCHANGED WALL LENGTH
A	54' - 6 1/8"	0' - 0"	54' - 6 1/8"
B	25' - 4 3/16"	7' - 6"	17' - 10 3/16"
C	9' - 1"	5' - 8 15/16"	3' - 4 1/16"
D	24' - 1 15/16"	24' - 1 15/16"	0' - 0"
E	15' - 5 7/8"	14' - 10 1/2"	0' - 7 3/8"
F	24' - 0"	16' - 9 1/2"	7' - 2 1/2"
G	18' - 2 1/4"	1' - 0"	17' - 2 1/4"
H	11' - 9 1/16"	11' - 9 1/16"	0' - 0"
I	25' - 6 1/8"	18' - 8 5/8"	6' - 9 1/2"
TOTALS	208' - 0 9/16"	100' - 6 9/16"	107' - 6"

NOTE: 50% = 104' - 0 5/16" 52% TO REMAIN

WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL

PROJECT:
PACAS RESIDENCE REMODEL
406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:
Architecture
ANDREW E. CROCKER, AIA
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T. 858.345.1295

CONSULTANT:

AGENCY STAMP:



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PHASE: **CONSTRUCTION DOCUMENTS**

SHEET TITLE: **EXISTING & DEMO FIRST FLOOR PLAN**

SHEET NO: **A101**

GARAGE/RES. WALL NOTE

THE GARAGE AND/OR CARPORT SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE (AT WALLS). SECTION R302.6. EVEN IF THE WALL AND ATTIC SEPARATING GARAGE AND MAIN RESIDENCE IS EXISTING, PLEASE SHOW THIS REQUIREMENT ON PLAN FOR FIELD VERIFICATION. IF EXISTING DOES NOT HAVE MINIMUM 1/2" GYPSUM BOARD OR SIMILAR, IT MUST NOW BE PROVIDED.

FLOOR PLAN GENERAL NOTES

- SEE A102.1 FOR DIMENSION PLAN
- ALL DIMENSIONS SHALL BE FIELD VERIFIED.
- ALL DIMENSIONS TAKEN FROM FACE OF STUD U.O.N.
- ALL CABINET DIMENSIONS TAKEN FROM FACE OF FINISH U.O.N.
- ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO WORK BEING PERFORMED.
- REFER TO THE SITE PLAN FOR ADDITIONAL INFORMATION INCLUDING UTILITY CONNECTIONS. SEE SHEET A100.
- REFER TO DOOR AND WINDOW SCHEDULES FOR ADDITIONAL INFORMATION. SEE SHEETS A600 & A601.
- REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION. SEE SHEET A201.
- INSULATION:
 - R-13 BATT INSULATION AT ALL INTERIOR WALLS FOR SOUND CONTROL.
 - SEE TITLE 24 FOR INSULATION INFORMATION.
- HVAC EQUIPMENT: SEE TITLE 24 CALCULATIONS.
- WATER HEATER: SEE TITLE 24 CALCULATIONS.

FLOOR PLAN KEY NOTES XX

- A01 PROPERTY LINE
- A21 ATTIC ACCESS PANEL: 22"x30" MIN. OPENING. FLUSH WITH CEILING. MINIMAL TRIM SURROUND. PAINT TO MATCH ADJACENT SURFACE
- A61 FURNITURE, BENCH
- A76 INSULATE FOR NOISE CONTROL
- A77 (N) STEAM SHOWER UNIT, LOCATE IN ATTIC
- A78 (N) WALL/FOUNDATION VENT, 8x16, +/- 12" A.F.F.
- A79 (N) OPEN SHELVES, FINAL SELECTION PER OWNER
- A83 REINFORCEMENT FOR GRAB BARS: PROVIDE SOLID LUMBER NOT LESS THAN 2x8 INCH, 32'-39 1/4" A.F.F. ON BACK OF WATER CLOSET. SLAB ON GRADE FOR FLOOR-MOUNTED GRAB BARS.
- E02 (N) REFRIGERATOR: PROVIDE PLUMBING FOR ICE MAKER (VERIFY DIMENSIONS WITH MANUFACTURER)
- E03 (N) INDUCTION COOKTOP WITH OVEN BELOW. (VERIFY DIMENSIONS AND INSTALLATION WITH MANUFACTURER)
- E04 (N) HOOD VENT: PROVIDE HOOD ABOVE COOKTOP. 100 CFM. MIN. DUCTED TO EXTERIOR. MIELE DA 6698 D PURISTIC VERSION 6000.
- E05 (N) UNDER COUNTER MICROWAVE OVEN. (VERIFY DIMENSIONS AND INSTALLATION W/ MANUFACTURER)
- E07 GARBAGE DISPOSER: PROVIDE POWER BELOW SINK
- E17 FAU: (N) CENTRAL GAS FURNACE. PER TITLE 24
- E19 WASHER AND GAS DRYER: PROVIDE WIDTH CLEARANCE. PROVIDE HOT AND COLD WATER AND DRAIN LINE. VENT TO EXTERIOR UP WALL, 14" MAXIMUM LENGTH.
- E22 (N) 2 BURNER ELEC. COOKTOP, 220 VOLT OUTLET
- E23 (N) UNDER COUNTER FRIDGE 5 CUBIC FT MIN.
- E24 (N) FIREPLACE: NAPOLEON, VECTOR 74, DIRECT VENT, NATURAL GAS, ANSI Z21.50
- F06 INTERIOR FINISH: 3/4" GYP. BOARD, TYP. PREP FOR PAINT
- F08 CLOSET POLE AND SHELVING: PROVIDE HANGING POLE AND 15" DEEP SHELF
- F09 FLOORING: WHITE OAK ENGINEERED WOOD, THROUGHOUT
- F10 MAIN ENTRY/BATH FLOORING: TILE, CORDOVA AVORIO, PORCELAIN TILE, 24x48, MATTE
- F11 FLUSH BASEBOARDS
- F13 PROVIDE FRAMELESS GLASS PARTITION, SLIDER DOOR, TEMPERED 3/8" TO A 1/2" THICK
- F15 (N) MILLWORK: BUILT-IN DESK
- F18 COUNTERTOP/BACKSPLASH: QUARTZITE, 1" TAJ MAHL, WATERFALL ISLAND
- F19 KITCHEN SINK: PER OWNER SELECTION
- F20 ADU SINK: 18" MIN WIDTH
- F22 MILLWORK
- S04 (E) SEWER EASEMENT
- S05 (E) CONC. LANDING TO REMAIN
- S22 (N) 24"x48" FORMAT PORCELAIN TILE, IVORY COLOR, EXTERIOR GRADE, FINAL SELECTION PER OWNER.
- U08 (N) SUB PANEL AT ADU

WALL TYPES LEGEND

- ① NEW 2x2 STUDS @ 16" O.C. OVER EXIST. STUDS. TO FURR OUT EXIST. WALL.
- ② NEW INTERIOR: 2x4 STUDS @ 16" O.C., TYP.
- ③ NEW EXTERIOR: 2x6 STUDS @ 16" O.C.
- ④ NEW EXTERIOR 2x8 STUDS @ 16" O.C.
- ⑤ NEW EXTERIOR 2x10 STUDS @ 16" O.C.
- ⑥ 1-HR FIRE RATED WALL, 2x6 STUDS @ 16" O.C. ASTM E-19 OR UL 263, CRC R302.3

COLOR LEGEND

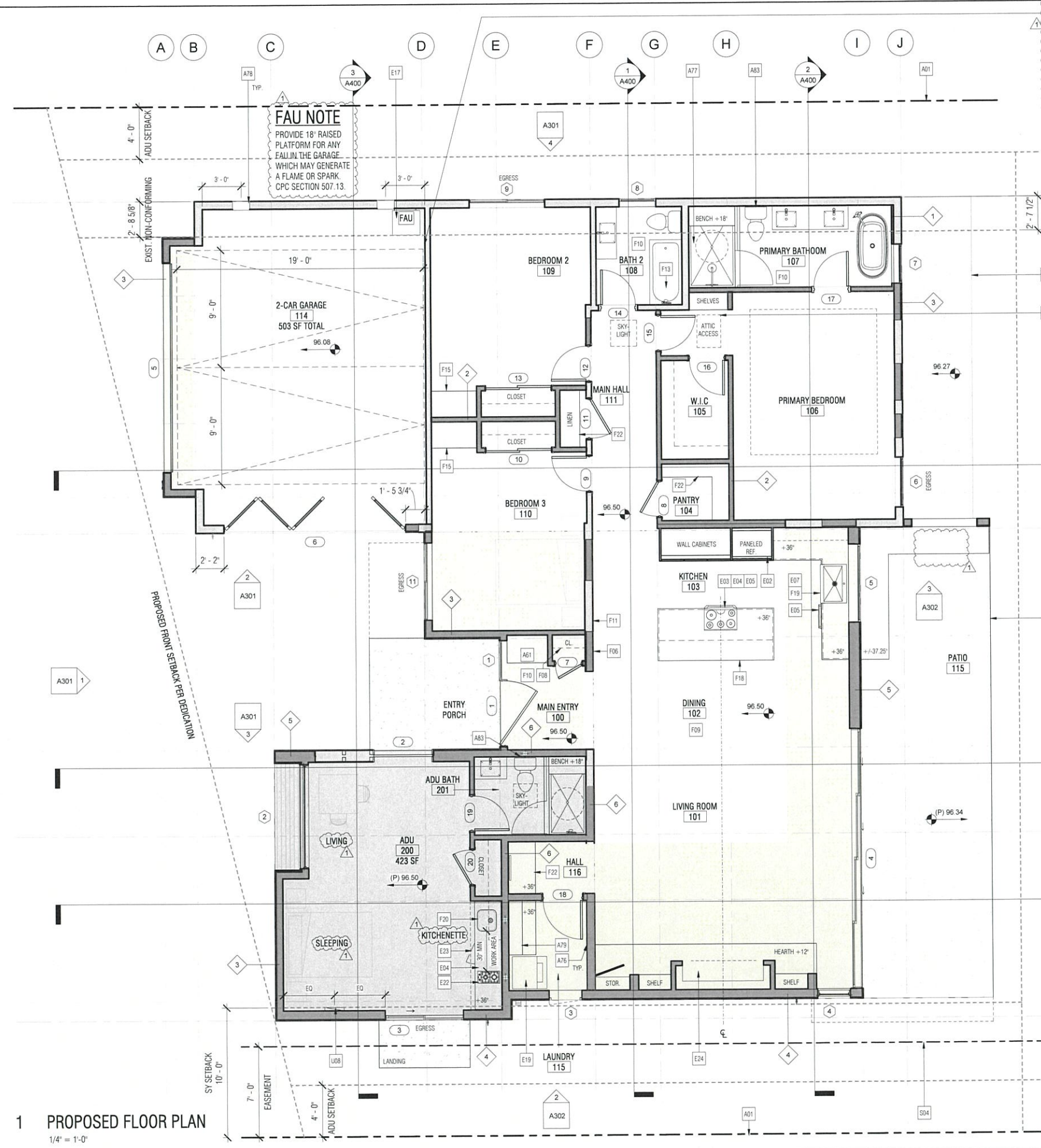
- [Light Gray Box] EXISTING FLOOR AREA TO REMAIN
- [Light Yellow Box] PROPOSED FLOOR AREA
- [Light Blue Box] PROPOSED ADU
- [Light Green Box] EXISTING PATIO
- [Light Purple Box] PROPOSED LANDING/PATIO

WALL LEGEND

- [Dashed Line] EXISTING WALL TO BE DEMOLISHED
- [Solid Line] EXISTING WALL TO REMAIN
- [Thick Solid Line] NEW WALL

FAU NOTE

PROVIDE 18" RAISED PLATFORM FOR ANY FALL IN THE GARAGE WHICH MAY GENERATE A FLAME OR SPARK. CPC SECTION 507.13.



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

PROJECT: **PACAS RESIDENCE REMODEL**
406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT: **Architecture**
ANDREW E. CROCKER, AIA
646 VALLEY AVENUE, SUITE C2
SOLANA BEACH, CA 92075
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SHEET NO: **A102**

ROOF VENTILATION

VENTILATION BASED ON FHA 1/150
 ATTIC AREA: 900 SQ FT
 VENT AREA REQUIRED: 6 SQ IN

CONTINUOUS VULCAN RIDGE VENT, 1" x 120"
 RIDGE FLANGE, NFVA 50 SQ IN, ICC-ESL 1300
 VENTED SECTIONS CONSTRUCTED WITH 24GA PERFORATED GALV
 STEEL. HOLE PATTERN 1/8" HOLE W/ 3/16" STAGGER

STANDARD DORMER VENT, VDLR419, 4-1/2" x 19"
 ASTM2886, ICC-ESL 1300

ROOF PLAN GENERAL NOTES

- ALL NEWLY CONSTRUCTED ROOFS ARE TO BE CLASS 'A' ROOFING ASSEMBLIES IN ACCORDANCE WITH UL 790 & ASTM E108.
- ROOFING UNDERLAYMENT AT ROOFS WITH SLOPE 3:12 OR LESS: "ICE AND WATER SHIELD" BY W.R. GRACE (OR ARCHITECT'S APPROVED EQUAL). INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL #40 FIBERGLASS REINFORCED FELT SHEET OVER.
- ROOFING UNDERLAYMENT: #40 FIBERGLASS REINFORCED FELT UNDERLAYMENT SHEET. INSTALL PER MANUFACTURER'S INSTRUCTIONS AS MANUFACTURED BY GS ROOFING PRODUCTS (OR ARCHITECT APPROVED EQUAL).
- SIDEWALL VENTS: WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT GALV. METAL MESH WITH OPENINGS OF 1/4" OPENINGS MAX.
- ROOF EDGE DRIP, METAL FLASHING AND COUNTER FLASHING: ALL EXTERIOR METAL FLASHING TO BE 16 OZ. GALV. METAL WITH MILL FINISH UNLESS OTHERWISE NOTED. HEM ALL EXPOSED EDGES, SOLDER AND/OR SEAL ALL SEAMS AND JOINTS.
- PARAPETS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING: MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTOR WRAP. EXTEND MEMBRANE A MINIMUM OF 6" UP SURFACE, AND BE OVERLAPPED WITH BUILDING WRAP. I.C.B.O. # 4252.
- PLUMBING VENT: ABS PLASTIC WITH 16 OZ. GALV. SHEET METAL PRIMARY, SECONDARY FLASHING AND STORM COLLAR SEALED TO VENT. COMBINE VENTS IN CEILING/ATTIC TO MINIMIZE PENETRATIONS. BUILT UP ROOFS SHALL HAVE A MINIMUM STC RATING OF 47, AND ROOF DECKS TO BE A MINIMUM STC RATING OF 45.
- BUILDING WRAP: PER MANUFACTURER'S RECOMMENDATION AT ALL NEW AREAS.

ROOF PLAN KEY NOTES

XX

- A39 DASHED LINE INDICATES CRICKET
 A43 (N) CRICKET OVER THE EXISTING ROOF
 A49 PLUMBING VENT
 E07 GARBAGE DISPOSER: PROVIDE POWER BELOW SINK
 F30 ROOFING: THERMOPLASTIC POLYOLEFIN (TPO) ROOF SYSTEM, GAF OR EQ, 60-MIL MEMBRANE, CLASS 'A', ASTM D6878, UL ER1306-01.
 F31 ROOFING 1: TAYLOR STANDING SEAM, CLIP-LOCK 100, 17", MATTE BLACK COLOR, INSTALL PER MANUF. INSTRUCTIONS, CLASS 'A', UL ER25913-01.

EXISTING VS. DEMO ROOF

EXISTING ROOF TOTAL: 2,201 SF
 ROOF TO BE DEMOLISHED: 909 SF = 41.3%
 EXISTING ROOF TO REMAIN: 1,283 SF = 58.7%
 50% OF EXISTING: 1,100.5 SF

ENCLOSED RAFTED SPACES

- DO NOT REQUIRE VENTING IF THE FOLLOWING SPECIFIC INSULATION DESIGN IS USED, PER SECTIONS R806.5/EM3.9.6:
 A. INSULATION IS AIR-IMPERMEABLE AND IT IS IN DIRECT CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- EXHAUST VENT: ALL EXPOSED COMPONENTS SHALL BE STAINLESS STEEL, 22 GAUGE WITH MILL FINISH.

ROOF PLAN LEGEND

- DECK / ROOF DRAINAGE: SLOPE = 1/4" / FT TYP. U.O.N
- R.D. ROOF DRAIN: 6" DRAIN SLOPE = 1/8" / FT MIN. TYP. TO DOWNSPOUT.
- O.D. OVERFLOW DRAIN: LOCATE UP SLOPE OF ROOF DRAIN +1'-3" DRAIN SLOPE = 1/8" / FT MIN. TYP. TO EXIT AT WALL IN OBSERVABLE LOCATION BY OCCUPANTS OR MAINTENANCE PERSONNEL.
- D.S. 2"x2" DOWNSPOUT TO LANDSCAPING AT GRADE. PROVIDE SPLASH BLOCK TOWARDS LANDSCAPING.
- R.S. / D.S. ROOF SCUPPER MIN. 3" WIDE X 4" HIGH OPENING TO D.S. NOTED ABOVE. SEE DETAIL 4/A702
- OVERFLOW SCUPPER MIN. 3" WIDE X 4" HIGH OPENING TO EXIT AT WALL IN OBSERVABLE LOCATION BY OCCUPANTS OR MAINTENANCE PERSONNEL. SEE DETAIL 4/A702
- EAVE VENT = 0.67 SQ. FT. OF NET FREE VENTILATION PER 1 LINEAR FOOT OF VENT. VENT TO BE COVERED WITH CORROSION-RESISTANT SCREENING MATERIAL HAVING OPENINGS OF 1/8" AND NOTE MORE THAN 1/4". SEE ATTIC CALC. FOR EACH AREA OF L.F. OF VENT REQUIRED.
- ⊕ PLUMBING VENT OR MISC. VENT
- ⊙ FAU FLUE
- SOLAR ZONES: QUANTITIES TO BE DETERMINED, DESIGNED, PERMITTED & INSTALLED BY OTHERS

PROJECT: PACAS RESIDENCE REMODEL
 406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
 ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT: **Architecture**
 ANDREW E. CROCKER, AIA
 646 VALLEY AVENUE, SUITE C2
 SOLANA BEACH, CA 92075
 T. 858.345.1295

CONSULTANT:

AGENCY STAMP:

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1	DELTA 1	01/29/2025

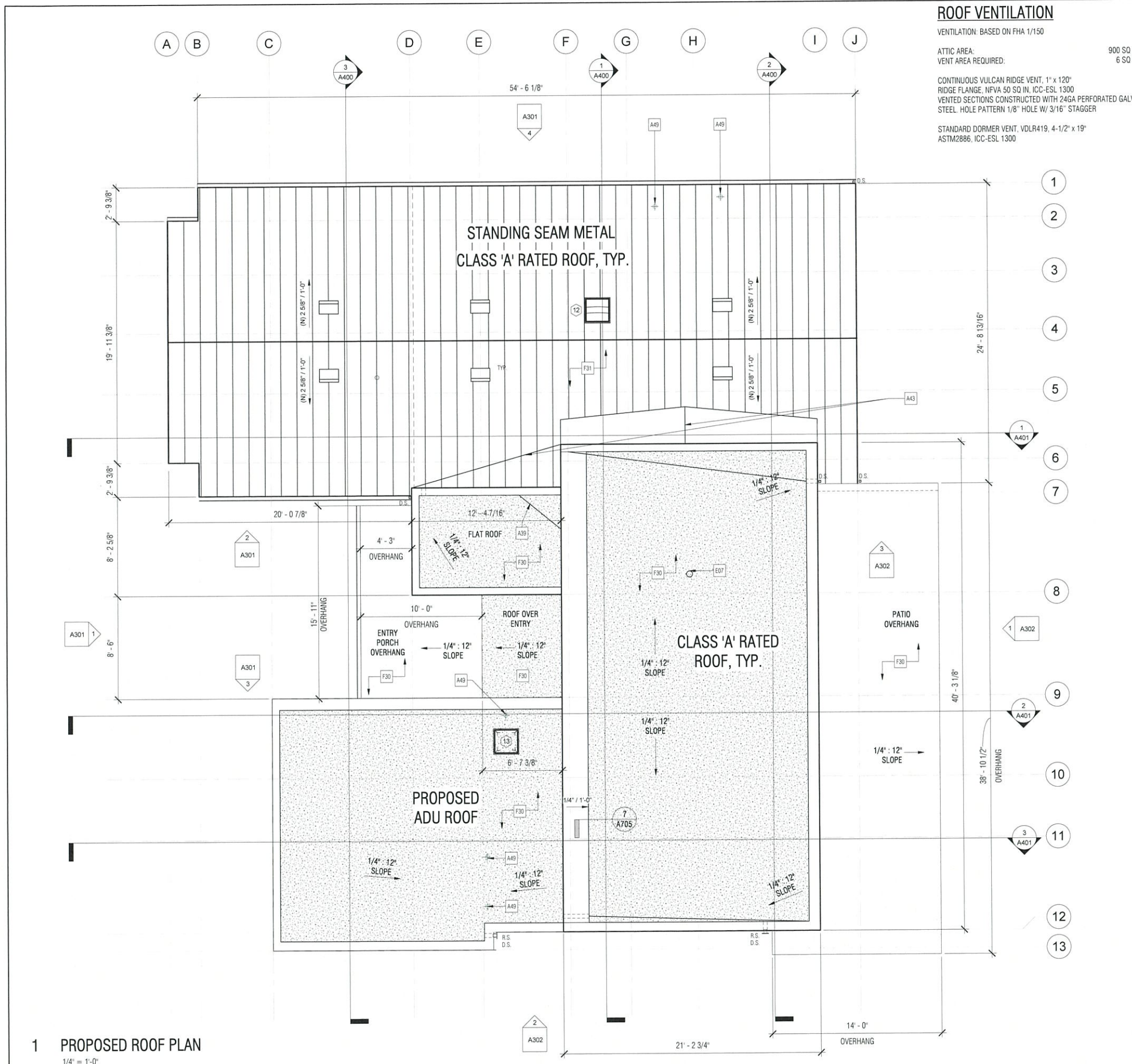
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 DRAWING FILE: 20250617_PACASRES
 DATE/TIME STAMP: 6/17/2025 4:59:05 PM

PHASE: CONSTRUCTION DOCUMENTS

SHEET TITLE: PROPOSED ROOF PLAN

SHEET NO: A103



1 PROPOSED ROOF PLAN
 1/4" = 1'-0"

PROJECT:

PACAS RESIDENCE REMODEL

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

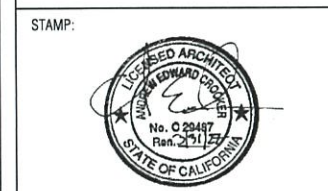
ARCHITECT:



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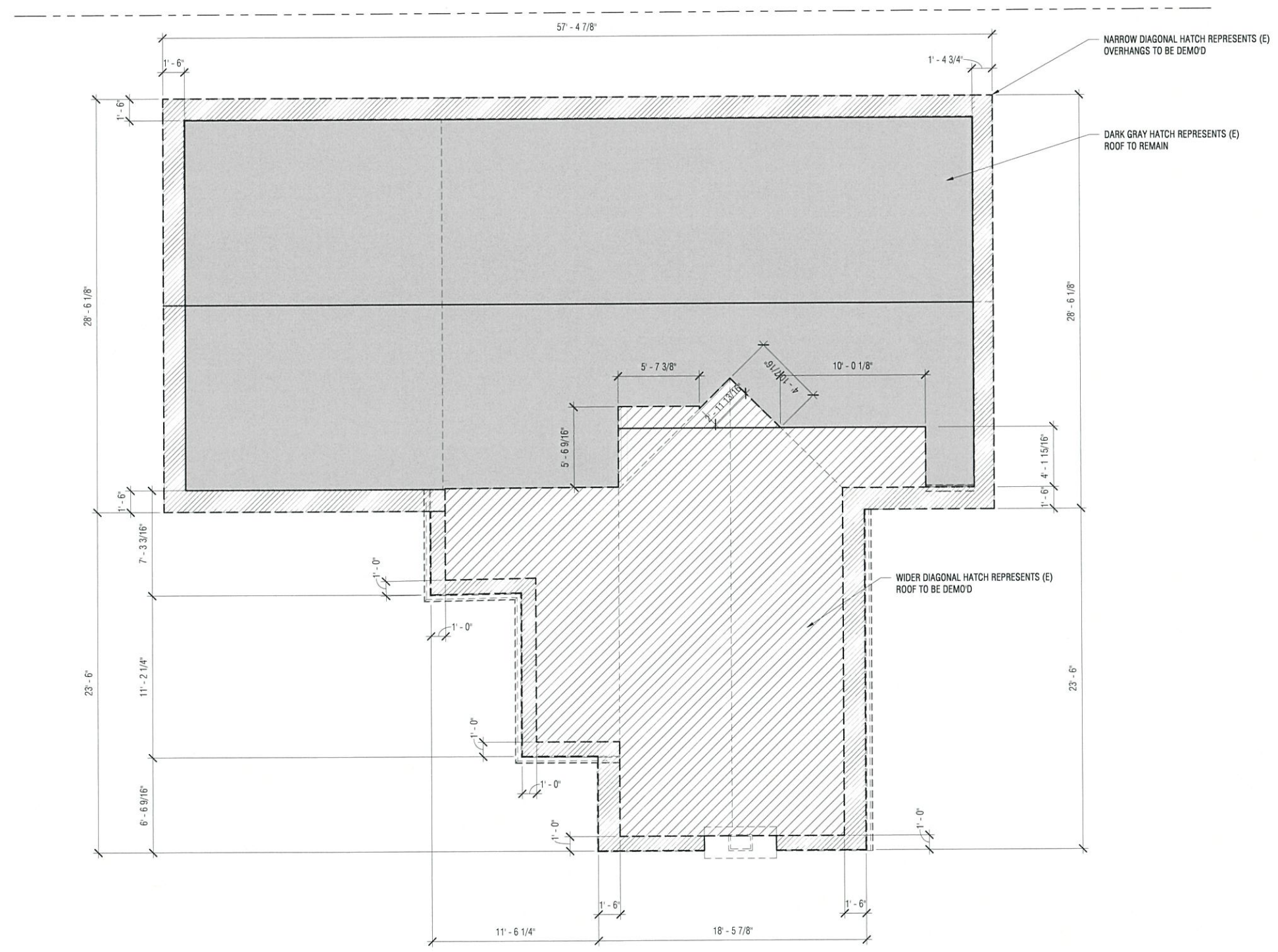
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PHASE: **CONSTRUCTION DOCUMENTS**

SHEET TITLE: **PROPOSED ROOF PLAN
DEMO VS REMAINING**

SHEET NO: **A103.1**



EXISTING VS. DEMO ROOF

EXISTING ROOF TOTAL: 2,201 SF
 ROOF TO BE DEMOLISHED: 909 SF = 41.3%
 EXISTING ROOF TO REMAIN: 1,283 SF = 58.7%
 50% OF EXISTING: 1,100.5 SF

ROOF HATCH LEGEND

- EXISTING OVERHANG TO BE DEMOD
- EXISTING ROOF TO BE DEMOD
- EXISTING ROOF STRUCTURE TO REMAIN

FOR REFERENCE

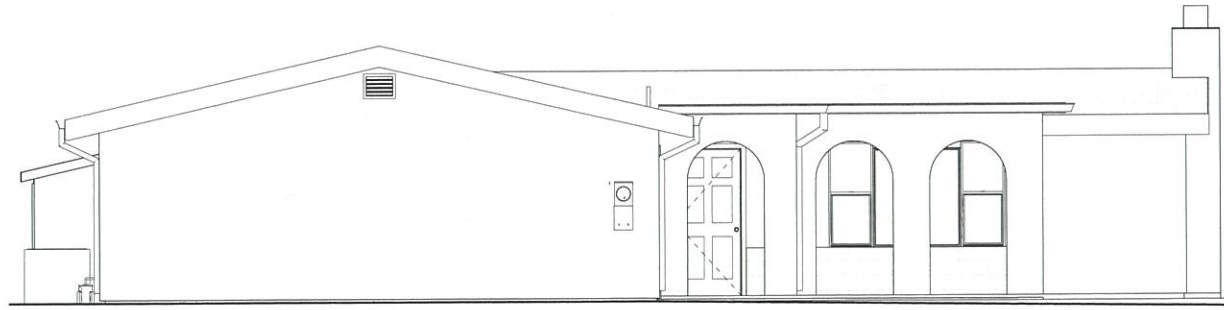
1. SEE A103 FOR COMPLETE NOTES

1 PROPOSED ROOF PLAN - DEMO VS REMAINING

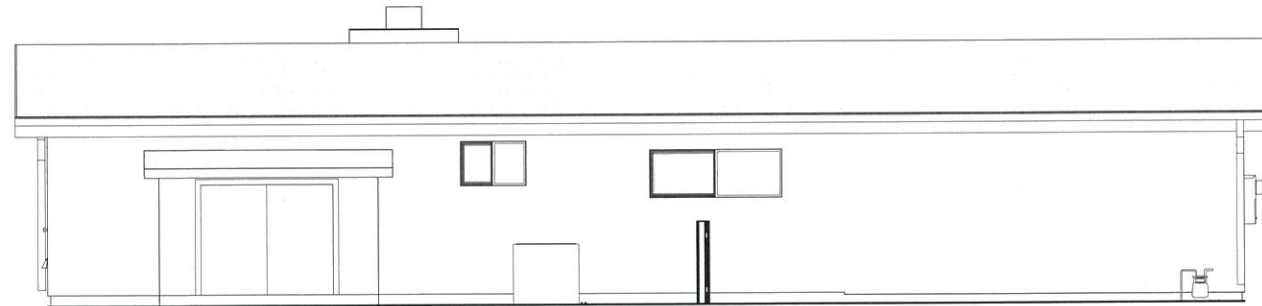
1/4" = 1'-0"



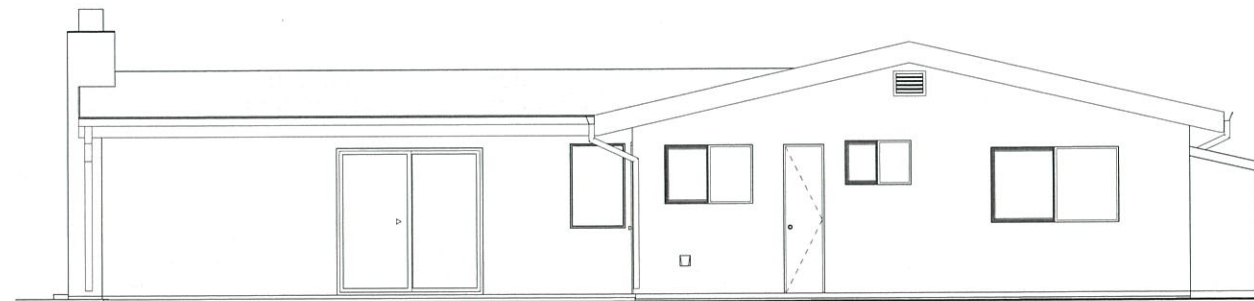
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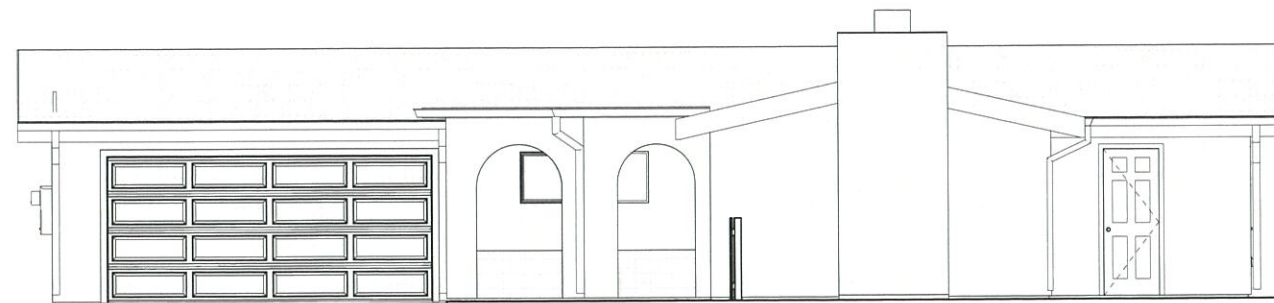
1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"



3 EXISTING EAST ELEVATION
1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

PROJECT:

**PACAS RESIDENCE
REMODEL**

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:



ANDREW E. CROCKER, AIA
646 VALLEY AVENUE, SUITE C2
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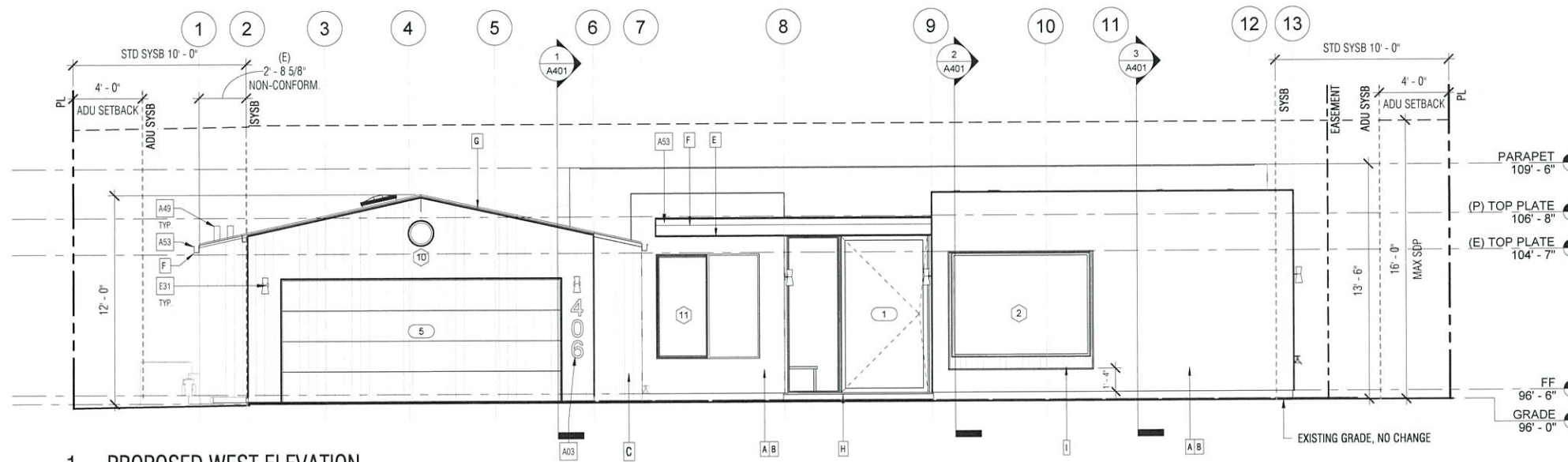
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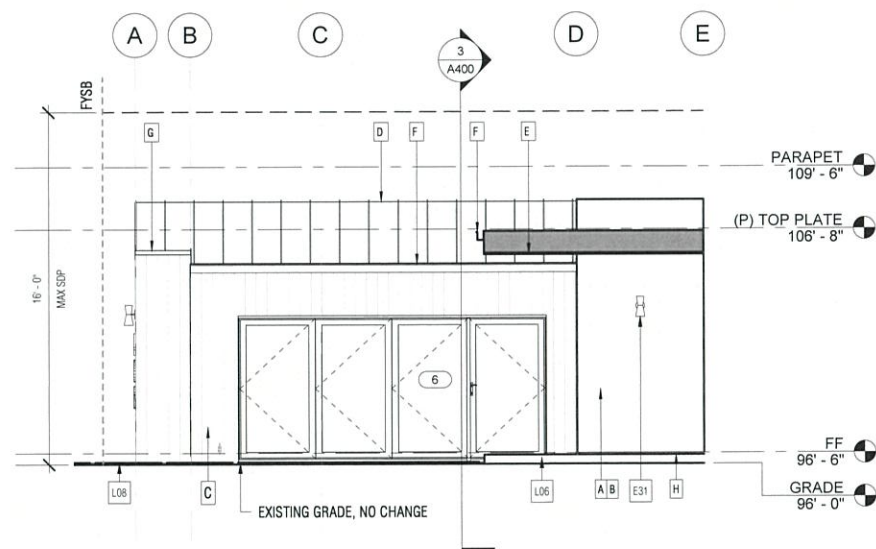
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DOCUMENTS**

SHEET TITLE: **EXISTING ELEVATIONS**

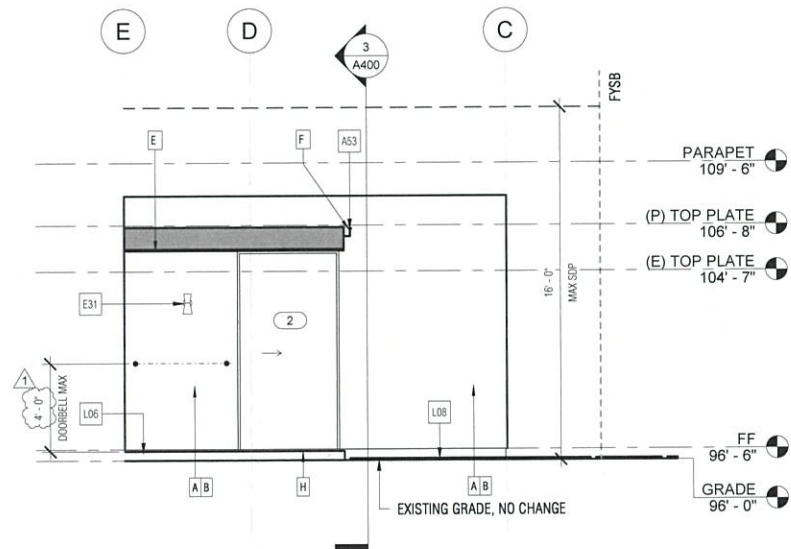
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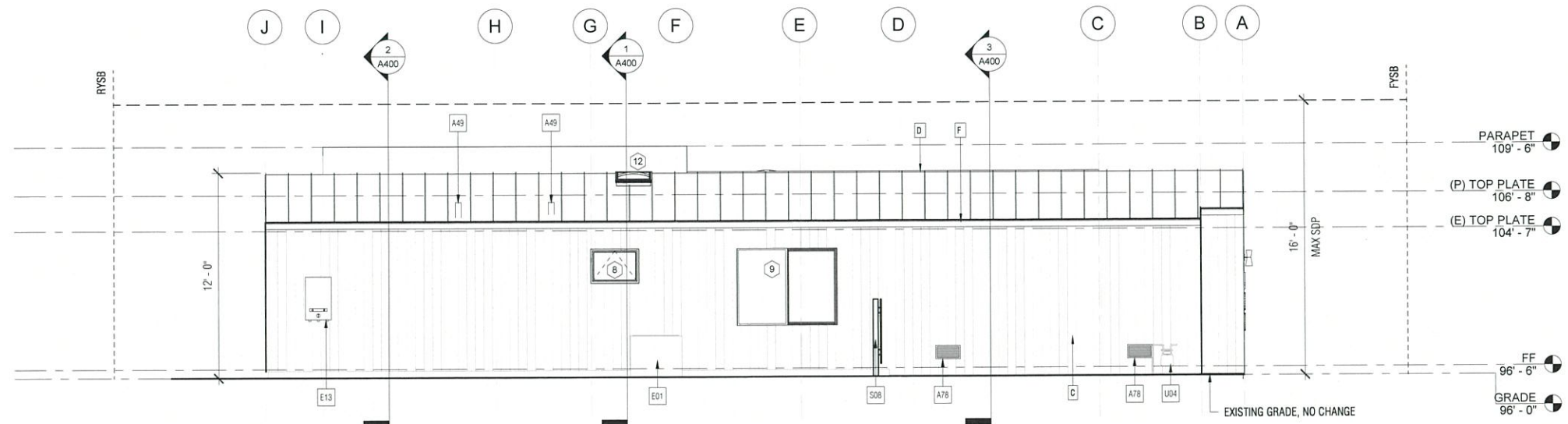
1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED ELEVATION NORTH ENTRY
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION ENTRY
1/4" = 1'-0"



4 PROPOSED ELEVATION NORTH
1/4" = 1'-0"

COASTAL HEIGHT OVERLAY ZONE

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIP, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 16'-0" ABOVE BASE OF MEASUREMENT 96'-0".

ELEVATION FINISH SCHEDULE

SEE DOOR, WINDOW AND FINISH SCHEDULES FOR COMPLETE INFO.

- A STUCCO COLOR: 7/8" MIN. THK. LAHABRA, LIGHT BEIGE COLOR
- B STUCCO FINISH: SANTA BARBARA
- C SIDING: ACRE SHIPLAP SIDING, T&G, COLOR: AMORY
- D STANDING SEAM ROOF: TAYLOR METAL, CLIP-LOCK, COLOR: MATTE BLACK
- E PATIO CEILING: ACRE SHIPLAP SIDING, T&G, COLOR: AMORY
- F GUTTERS: BOX GUTTER, FASCIA DEPTH. SEE X/A7XX
- G FASCIA: GALV. STL. BLACK
- H LANDING: CONCRETE, BROOM FINISH
- I NICHE: ACRE SHIPLAP SIDING, T&G, COLOR: AMORY

GC TO CONFIRM FINISHES WITH OWNER

ELEVATIONS KEY NOTES

XX

- A03 BUILDING ADDRESS NUMBERS, VISIBLE FROM STREET, MIN 4" HIGH WITH MIN 1/2" STROKE. COLOR TO CONTRAST WITH BACKGROUND
- A49 PLUMBING VENT
- A53 GUTTER AND DOWNSPOUT, RUNOFF TO PERVIOUS AREA. SEE X/XXX
- A78 (N) WALL/FOUNDATION VENT, 8x16, +/- 12" A.F.F.
- E01 (N) AC CONDENSER
- E13 (N) PROPOSED TANKLESS WATER HEATER. NAVIEN NPE-240S2-2, OUTDOOR APPROVED, GAS, 200,000 BTU/HR, 0.97-UEF, PER TITLE 24. PROVIDE P&T VALVE TO EXTERIOR AT + 12" ABOVE FINISH GRADE. PROVIDE SEISMIC STRAPPING.
- E31 (N) MINIMALIST LIGHT FIXTURES
- L06 EXTERIOR LANDING: MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL
- L08 EXTERIOR PERVIOUS HARDSCAPE
- S08 (E) WOOD FENCE & GATE
- U04 (E) 250 C.F.H. GAS METER TO REMAIN

PROJECT:

**PACAS RESIDENCE
REMODEL**

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:



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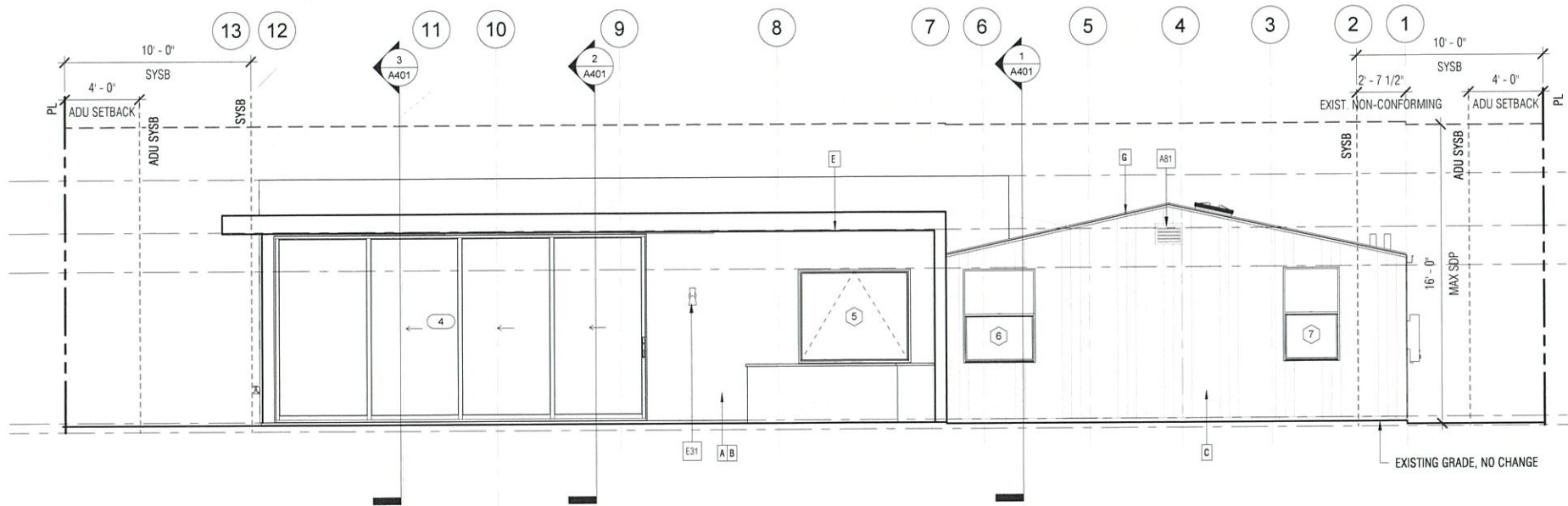
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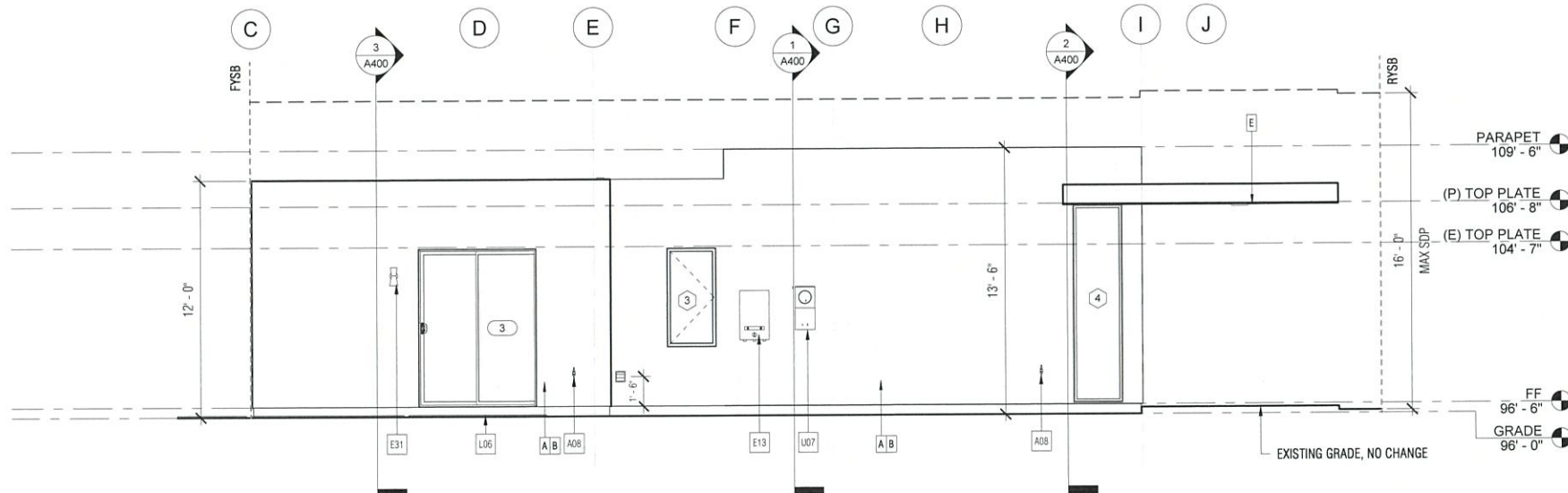
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SHEET TITLE: **PROPOSED ELEVATIONS**

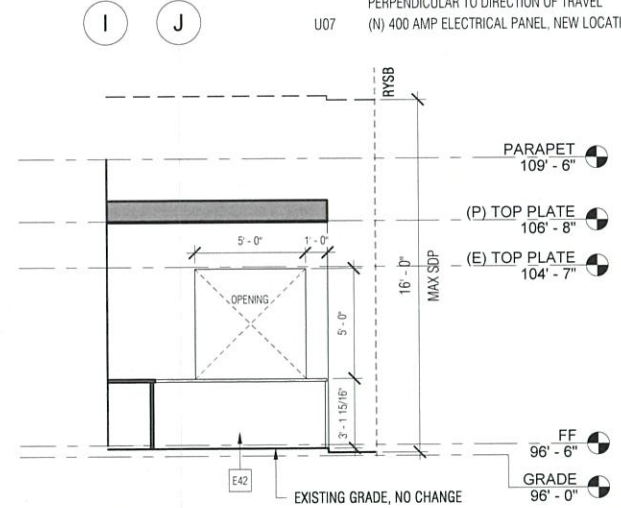
SHEET NO: **A301**



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION PATIO
1/4" = 1'-0"

COASTAL HEIGHT OVERLAY ZONE

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIP, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 16'-0" ABOVE BASE OF MEASUREMENT 96'-0".

ELEVATION FINISH SCHEDULE

SEE DOOR, WINDOW AND FINISH SCHEDULES FOR COMPLETE INFO.

- A STUCCO COLOR: 7/8" MIN. THK. LAHABRA, LIGHT BEIGE COLOR
- B STUCCO FINISH: SANTA BARBARA
- C SIDING: ACRE SHIPLAP SIDING, T&G, COLOR: AMORY
- D STANDING SEAM ROOF: TAYLOR METAL, CLIP-LOCK, COLOR: MATTE BLACK
- E PATIO CEILING: ACRE SHIPLAP SIDING, T&G, COLOR: AMORY
- F GUTTERS: BOX GUTTER, FASCIA DEPTH. SEE X/A7XX
- G FASCIA: GALV. STL. BLACK
- H LANDING: CONCRETE, BROOM FINISH
- I NICHE: ACRE SHIPLAP SIDING, T&G, COLOR: AMORY

GC TO CONFIRM FINISHES WITH OWNER

ELEVATIONS KEY NOTES

XX

- A08 HOSE BIBB: CONNECT TO WATER LINE
- A81 REPLACE ATTICE VENT IN-PLACE
- E13 (N) PROPOSED TANKLESS WATER HEATER. NAVIEN NPE-240S2-2, OUTDOOR APPROVED. GAS, 200,000 BTU/HR, 0.97-UEF, PER TITLE 24. PROVIDE P&T VALVE TO EXTERIOR AT + 12" ABOVE FINISH GRADE. PROVIDE SEISMIC STRAPPING.
- E31 (N) MINIMALIST LIGHT FIXTURES
- E42 BBO, 69,000 BTUS OPCI
- L06 EXTERIOR LANDING: MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL
- U07 (N) 400 AMP ELECTRICAL PANEL, NEW LOCATION

PROJECT:

PACAS RESIDENCE REMODEL

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:



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SOLANA BEACH, CA 92075
T. 858.345.1295

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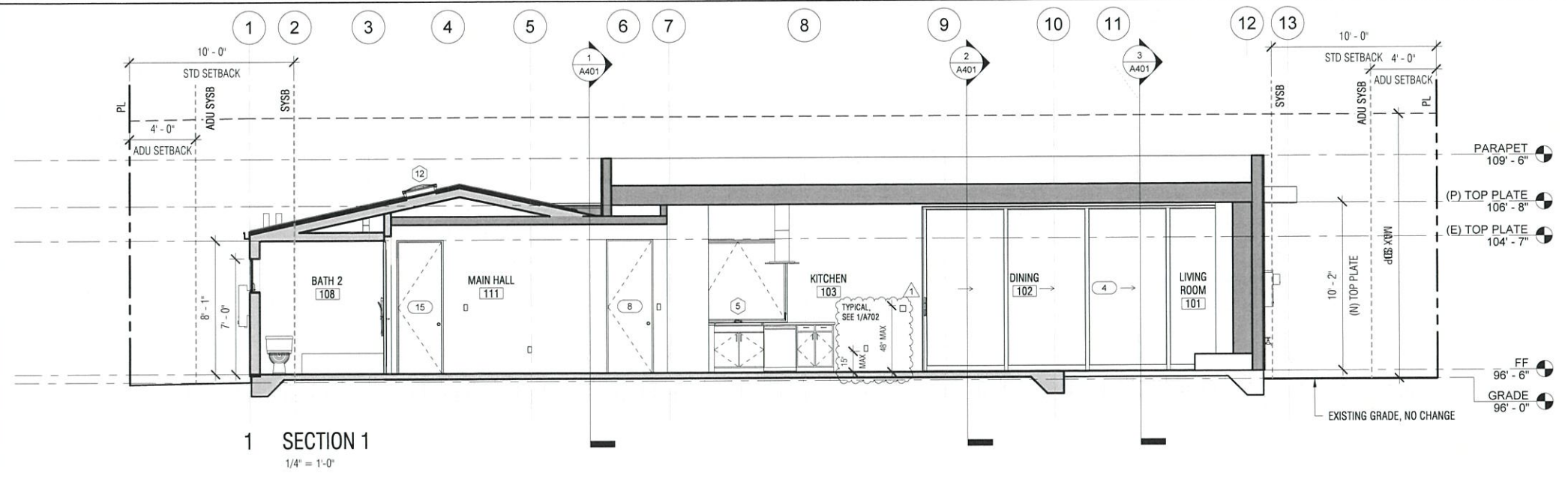
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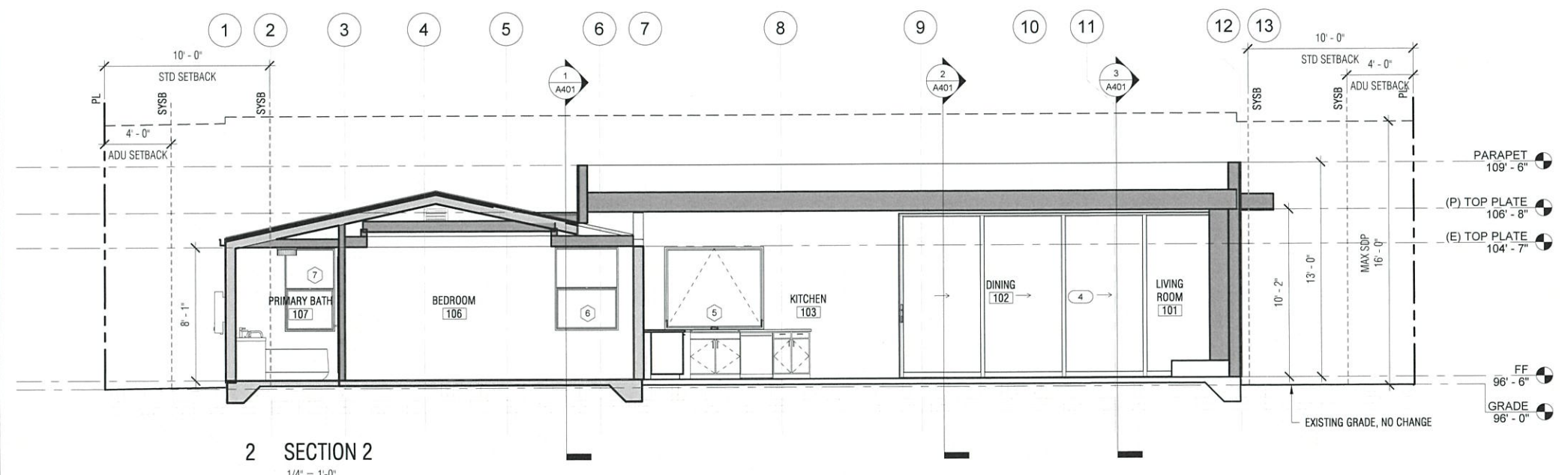
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SHEET TITLE: **PROPOSED ELEVATIONS**

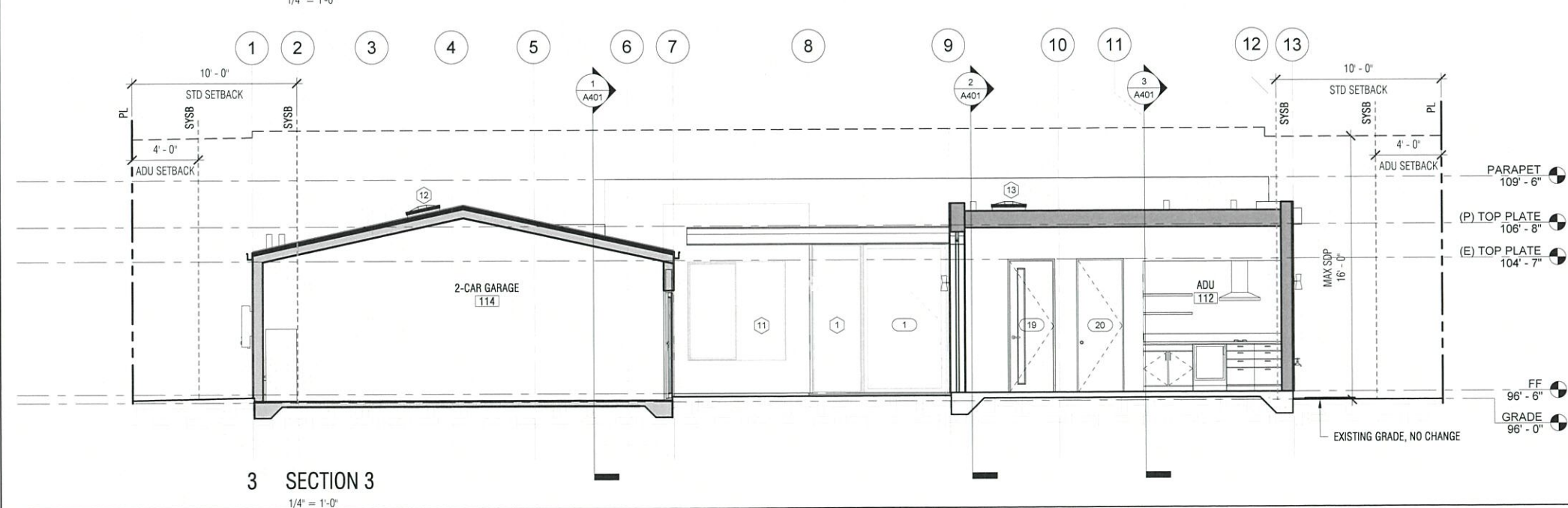
SHEET NO: **A302**



1 SECTION 1
1/4" = 1'-0"



2 SECTION 2
1/4" = 1'-0"



3 SECTION 3
1/4" = 1'-0"

SECTION GENERAL NOTES

1. FINISH FLOOR ELEVATIONS CALL-OUTS ARE SHOWN FROM TOP OF STRUCTURAL SLAB (TOS) OR SOP OF STRUCTURAL SHEATHING (TOSS)
2. SEE SHEET A301-A302 FOR EXTERIOR ELEVATION AND EXTERIOR FINISH NOTES.

SECTION LEGEND

- PROPOSED WALL, CEILING
- EXISTING WALLS, FLOOR SLAB
- PROPOSED FLOOR SLAB

INSULATION NOTES

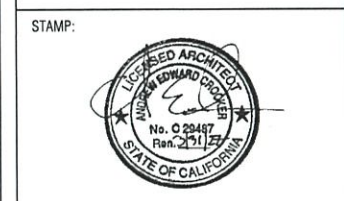
1. R-30 INSULATION AT ROOF
2. R-15 INSULATION AT EXTERIOR WALLS
3. SLAB ON GRADE - NO INSULATION

PROJECT:
PACAS RESIDENCE REMODEL
406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:
Architecture
ANDREW E. CROCKER, AIA
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SOLANA BEACH, CA 92075
T. 858.345.1295

CONSULTANT:

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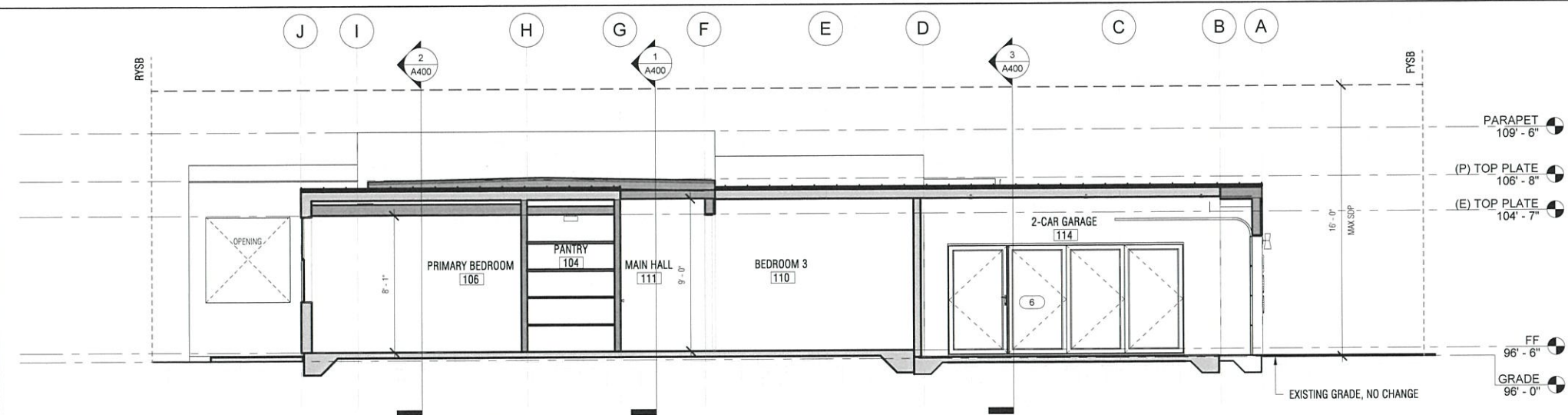
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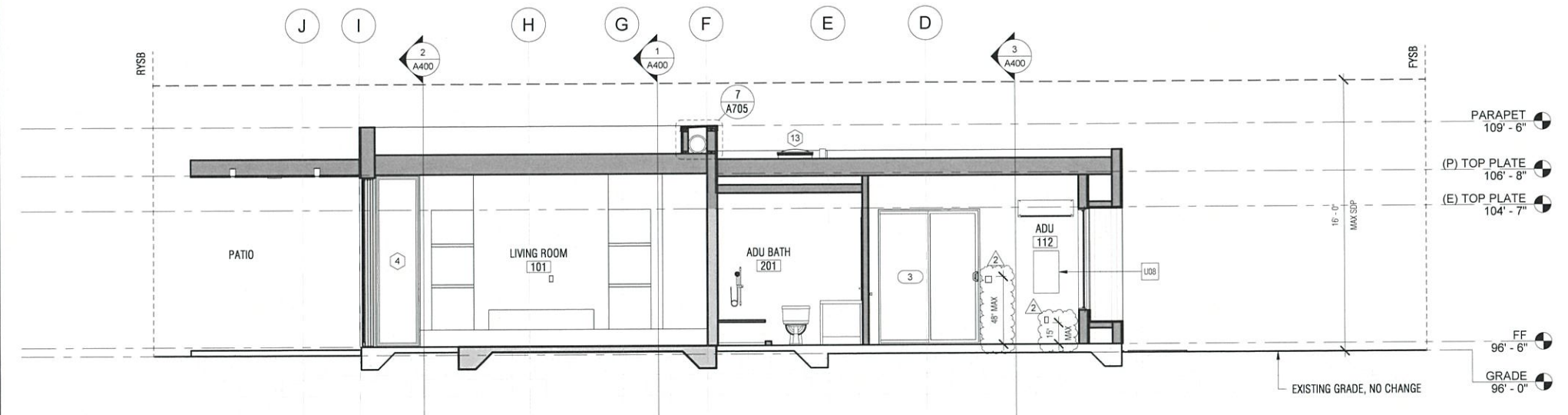
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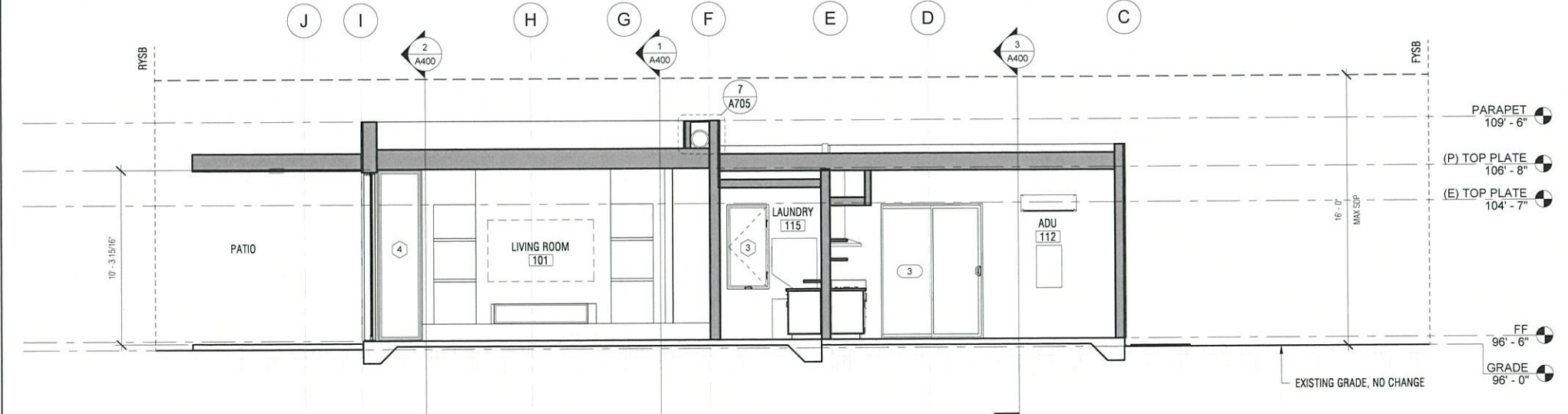
SHEET NO: **A400**



1 SECTION 4
1/4" = 1'-0"



2 SECTION 5
1/4" = 1'-0"



3 SECTION 6
1/4" = 1'-0"

SECTION GENERAL NOTES

1. FINISH FLOOR ELEVATIONS CALL-OUTS ARE SHOWN FROM TOP OF STRUCTURAL SLAB (TOS) OR SOP OF STRUCTURAL SHEATHING (TOS)
2. SEE SHEET A301-A302 FOR EXTERIOR ELEVATION AND EXTERIOR FINISH NOTES.

SECTION LEGEND

- PROPOSED WALL, CEILING
- EXISTING WALLS, FLOOR SLAB
- PROPOSED FLOOR SLAB

INSULATION NOTES

1. R-30 INSULATION AT ROOF
2. R-15 INSULATION AT EXTERIOR WALLS
3. SLAB ON GRADE - NO INSULATION

PROJECT:
PACAS RESIDENCE REMODEL
406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:
T architecture
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SOLANA BEACH, CA 92075
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2	DELTA 2	02/26/2025

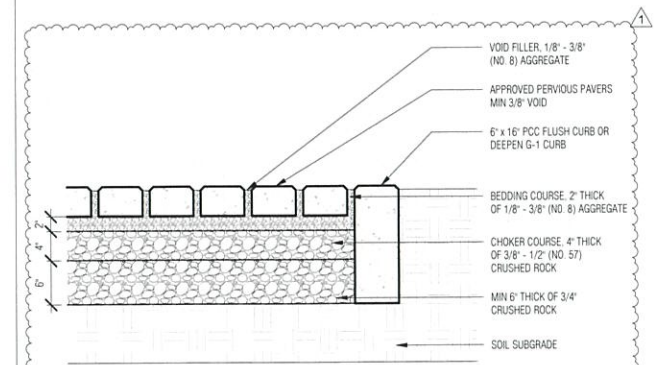
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PHASE: **CONSTRUCTION DOCUMENTS**

SHEET TITLE: **SECTIONS**

SHEET NO: **A401**



NOTE:

- ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINE SAND, SILT, ETC.
- THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED.
- EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE.
- NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED.
- SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL. SUB DRAIN MAY BE REQ.

1 PERVIOUS PAVER SECTION

1" = 1'-0"

PROJECT:

**PACAS RESIDENCE
REMODEL**

406 NORTH RIOS AVENUE, SOLANA BEACH, CA 92075
ADU ADDRESS: 408 NORTH RIOS AVENUE

ARCHITECT:



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CONSULTANT:

AGENCY STAMP:

STAMP:



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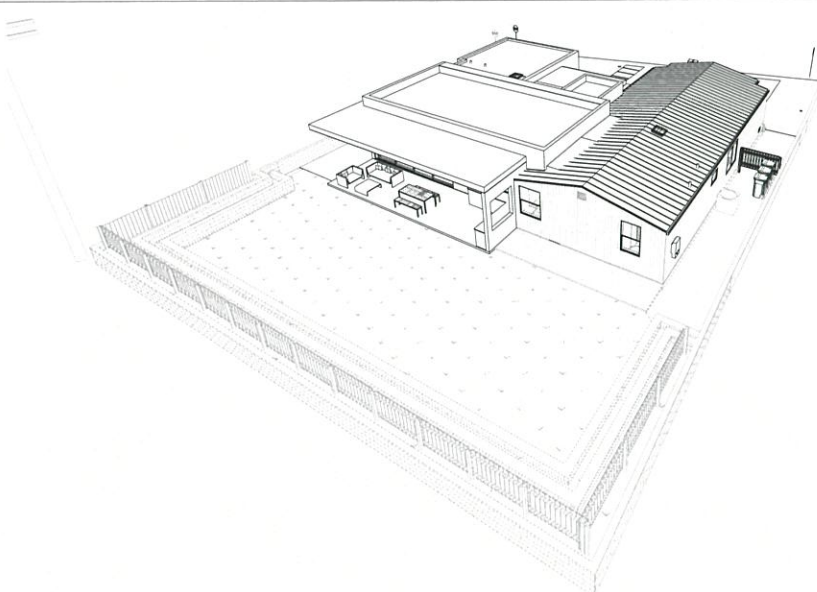
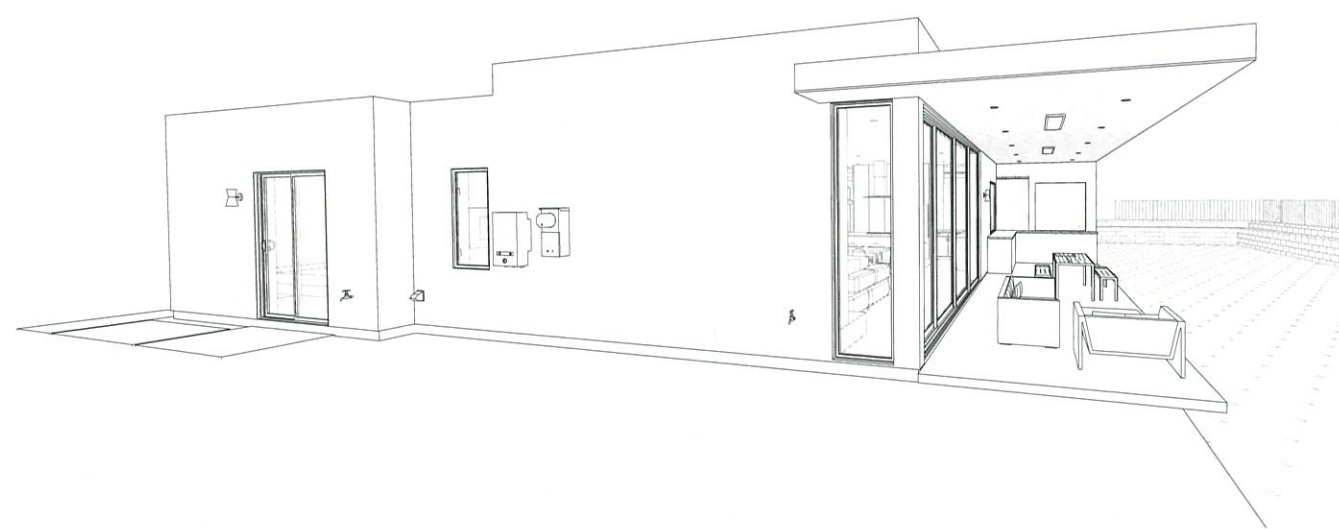
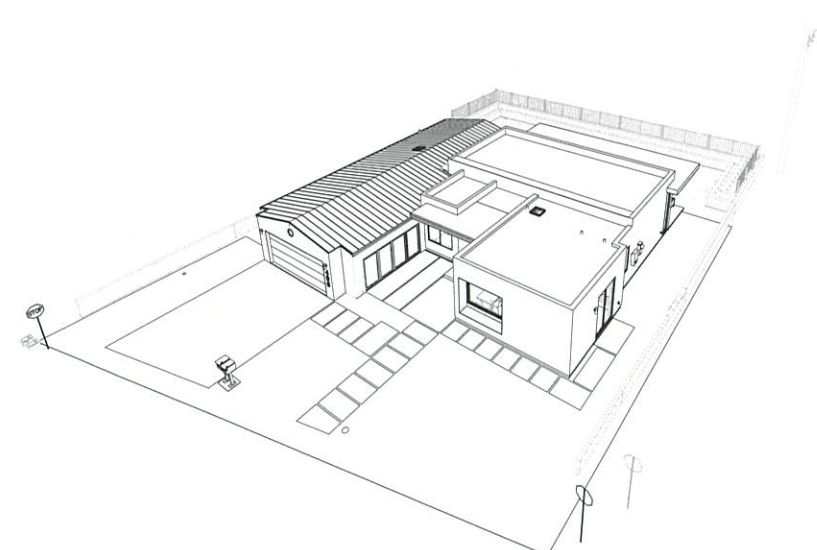
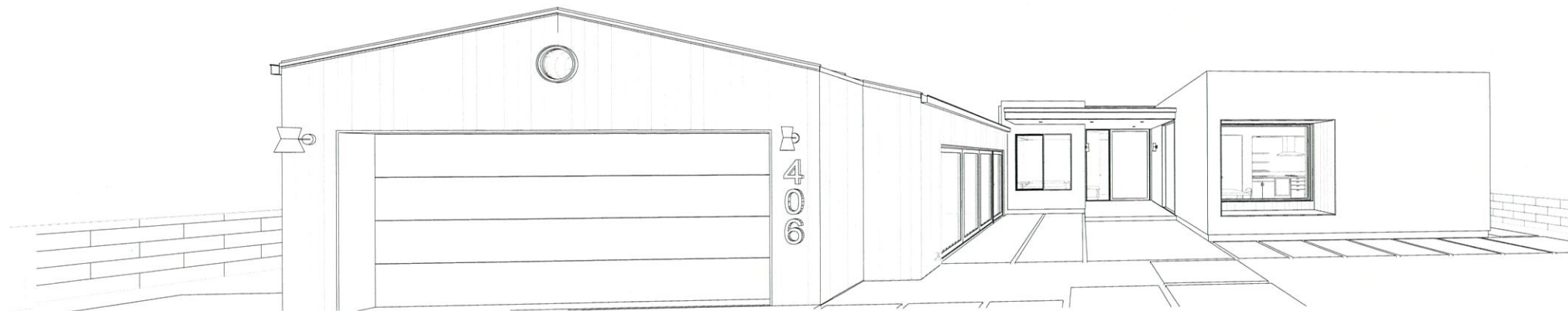
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SHEET TITLE: **SITE DETAILS**

SHEET NO: **A706**



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PROJECT:
**PACAS RESIDENCE
 REMODEL**
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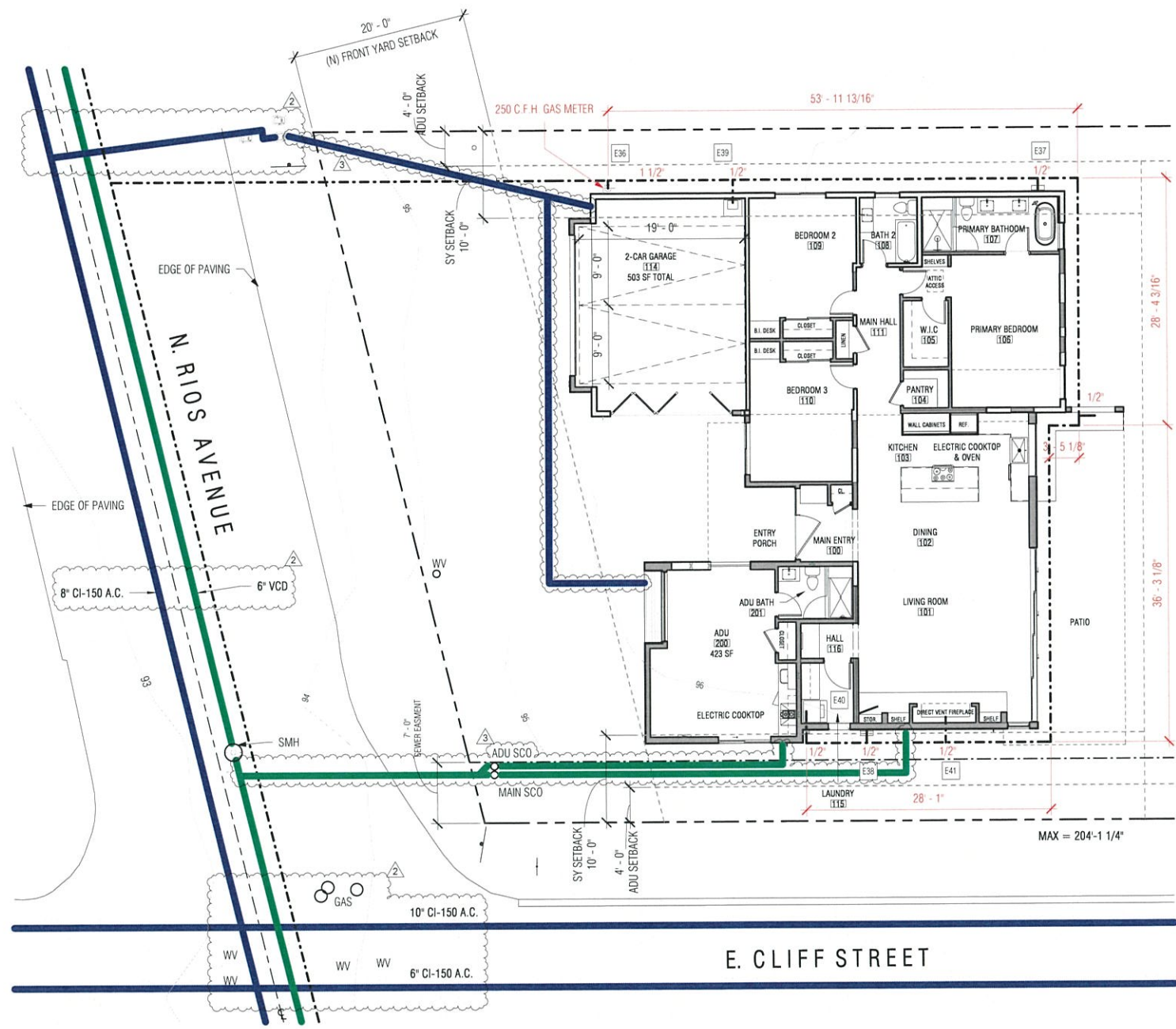
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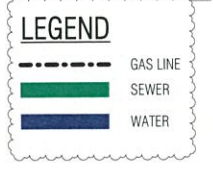
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SHEET TITLE: **3D VIEWS**

SHEET NO: **A900**



1 GAS ISOMETRIC
1/8" = 1'-0"



WATER SYSTEM HEATING NOTES

1. SYSTEMS USING GAS OR PROPANE WATER HEATERS TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING COMPONENTS:
 - A. A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS
 - B. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED, AND
 - C. A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE, AND
 - D. A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR

BUILDING ENERGY EFFICIENCY STANDARDS SECTION 150.0(n)

GC GENERAL NOTES

1. GC TO VERIFY PIPE SIZES PRIOR TO INSTALLATION
2. ALL PIPES TO BE COPPER

GAS ISO KEY NOTES XX

- E36 GAS METER
- E37 WATER HEATER 1, 200,000 BTUs. NAVIEN NPE-240S2-2
- E38 WATER HEATER 2, 200,000 BTUs. NAVIEN NPE-240S2-2
- E39 FAU, 100,000 BTUs
- E40 DRYER, 10,000 BTUs
- E41 FIREPLACE, 48,000 BTUs

GC GENERAL NOTES

1. GC TO VERIFY PIPE SIZES PRIOR TO INSTALLATION
2. ALL PIPES TO BE COPPER

WATER UTILITY NOTES

LATERAL: 4"
 WATER METER SIZE: 3/4"
 BLDG SUPPLY & BRANCHES: 1"
 *ADU TO BRANCH OFF EXISTING
 PRESSURE RANGE: 46 TO 60 PSI = MAX 33 PLUMBING FIXTURES

TABLE 610.3 QUANTITY OF WATER

TABLE 610.3 California Plumbing Code - for applications, see 2019 UPC, page 154

Application, Approximate, or Fixture	Min. Flow Rate (gpm)	Flow Rate (gpm)	Flow Rate (gpm)	Flow Rate (gpm)	# of Fixtures	# of Fixtures	# of Fixtures	Flow Rate (gpm)
Bathub or Combination Bath/Shower (80)	1.5	4.0	4.0	1.00	2	8	8	
1/2" Bathub 7/8 Valve	1.5	10.0	10.0	1	1	10	10	
Sink	1.0	1.0	1.0	1	1	1	1	
Common-Washer, domestic	1.5	4.0	4.0	1	1	4	4	
Dishwasher, integrated	1.5	1.5	1.5	1	1	1	1	
Dishwasher, domestic	1.5	1.5	1.5	1	1	1	1	
Drinking Fountain or Water Cooler	0.5	0.5	0.5	1	1	1	1	
Fire Sprinkler (GPM @ 1.0 psi) - (SPD/CP only)	1.0	2.5	2.5	1	1	2.5	2.5	
Wet Bar	1.0	1.0	1.0	1	1	1	1	
Wet Bar, each additional	1.0	1.0	1.0	1	1	1	1	
Lavatory (residential units only)	1.0	1.0	1.0	2	2	2	2	
Lean Sprinkler, each head	1.0	1.0	1.0	1	1	1	1	
Wet Bar, each (broomcase)	1.0	1.0	1.0	1	1	1	1	
Sinks								
Sink	1.0	1.0	1.0	1	1	1	1	
Clean Faucet	1.0	1.0	1.0	1	1	1	1	
Clear Flushometer Valve with or without Meter	1.5	8.0	8.0	1	1	8	8	
Kitchen, domestic	1.5	1.5	1.5	1	1	1	1	
Lavatory	1.5	1.5	1.5	1	1	1	1	
Service Sink or Prep Basin	1.5	3.0	3.0	1	1	3	3	
Washbasin, each set of fixtures	1.5	1.5	1.5	1	1	1	1	
Shower, jet head	2.0	2.0	2.0	1	1	2	2	
Urinal, 1.0 GPF Flushometer Valve	3.0	4.0	4.0	1	1	4	4	
Urinal, Greater than 1.0 GPF Flushometer Valve	4.0	5.0	5.0	1	1	5	5	
Urinal, Flush Tank	2.0	2.0	2.0	1	1	2	2	
Water Closet, 1.6 GPF Gravitry Tank	2.5	2.5	2.5	2	2	1	1	
Water Closet, 1.6 GPF Flushometer Tank	2.5	2.5	2.5	1	1	1	1	
Water Closet, 1.6 GPF Flushometer Valve	1.0	3.0	3.0	1	1	3	3	
Water Closet, 1.6 GPF Gravitry Tank	1.0	1.5	1.5	1	1	1	1	
Water Closet, 1.6 GPF Flushometer Valve	1.0	8.0	8.0	1	1	8	8	
Other Water Requirements	GPM for							
								27.5

PLUMBING NOTES

1. TANKLESS WATER HEATER WILL OBTAIN COMBUSTION AIR DIRECTLY FROM THE EXTERIOR (I.E. CONCENTRIC VENT KIT) AND WILL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE UNIT MUST OBTAIN COMBUSTION AIR DIRECTLY FROM THE EXTERIOR OR ELSE COMPLETE COMBUSTION AIR CALCULATIONS MUST BE PROVIDED TO SUPPORT THE INSTALLATION. CPC 506.0.
2. THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410.

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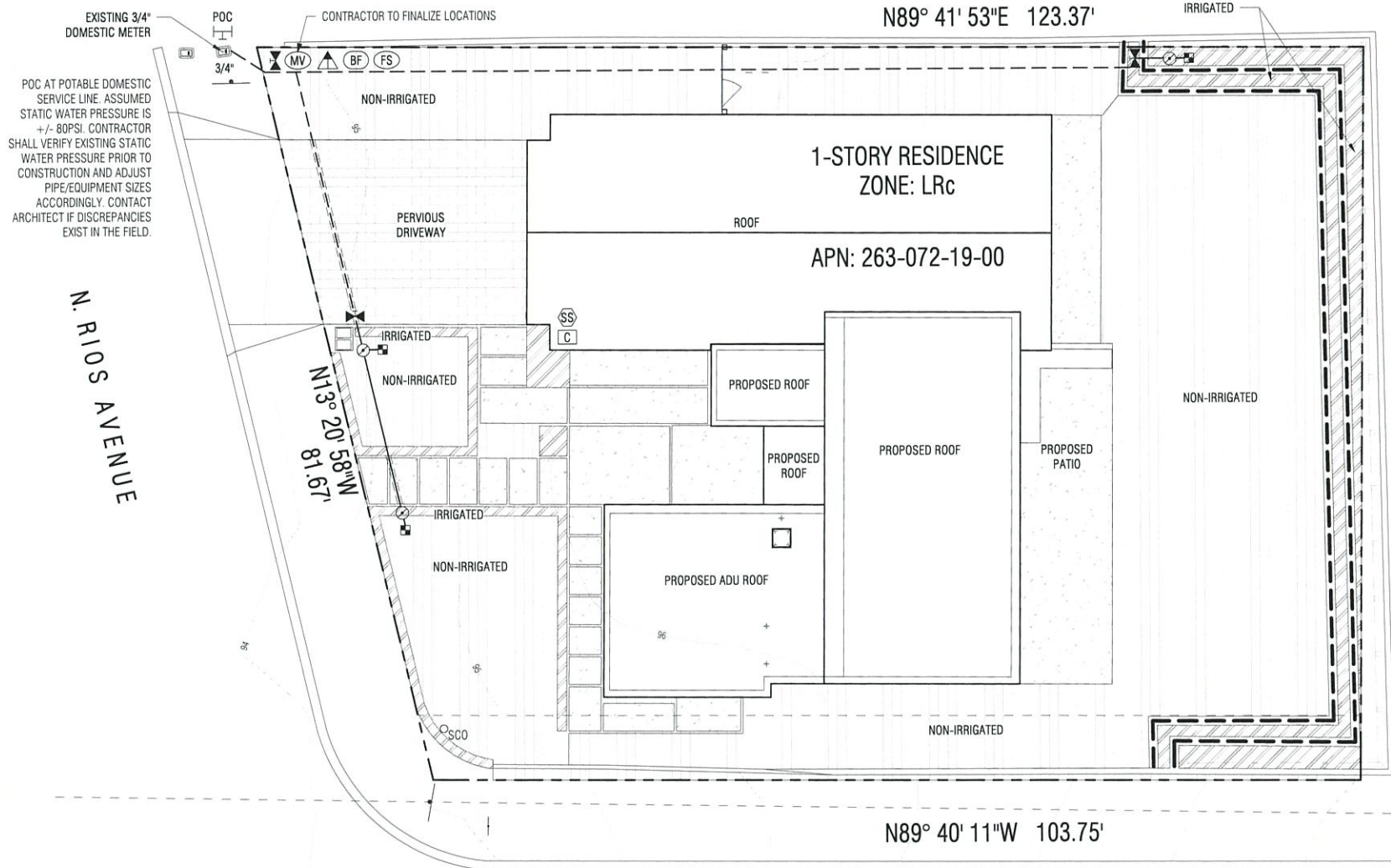
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 SHEET TITLE: **GAS ISOMETRIC**

SHEET NO: **P1**



N. RIOS AVENUE

E. CLIFF STREET

1 IRRIGATION PLAN

1/8" = 1'-0"

IRRIGATION SCHEDULE	
SYMBOL	MANUFACTURE/MODEL/DESCRIPTION
	HUNTER ICZ-101-LF DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE W/1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25 PSI. FLOW RANGE: 5 GPM TO 15 GPM. 150 MESH STAINLESS STEEL SCREEN. INSTALL IN STANDARD VALVE BOX.
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
	AREA TO RECEIVE DRIPLINE HUNTER HDL-09-12-CV. HUNTER DRIPLINE W/0.9 GHP EMITTERS AT 12" O.C. CHECK VALVE. DARK BROWN TUBING W/BLK STRIPING. DRIPLINE LATERALS SPACED AT 16" APART, W/EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL W/HUNTER PLD BARBED OR PLD-LOC FITTINGS. FOR USE ON SLOPES W/MODERATE TO SANDY SOILS.

SYMBOL	MANUFACTURE/MODEL/DESCRIPTION
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE W/CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE: 1/4" - 3".
	HUNTER ICV-G-ES 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE. GLOBE CONFIGURATION, W/NPT THREADED INLET/OUTLET, FOR COMMERCIAL /MUNICIPAL USE. W/FILTER SENTRY. SIZE PER MAINLINE.
	PRESSURE REDUCING VALVE WILKINS - 500-HLR SERIES PRESSURE REDUCING VALVE W/10-125 PSI SPRING RANGE, SIZE AND PRESSURE SETTING AS NOTED. PRESSURE DOWNSTREAM REQUIRED IS 46.71 PSI.
	ZURN 975XL 3/4" REDUCED PRESSURE BACKFLOW DEVICE
	HUNTER PC-XX00 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, XX-STATION BASE MODULE CONTROLLER, 120 VAC, INDOOR MODEL.
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR W/OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.
	HUNTER HFS-100 FLOW SENSOR FOR USE W/A/C CONTROLLER, 1" SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.
	POINT OF CONNECTION 3/4" TBD
	IRRIGATION LATERAL LINE: PVC CLASS SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC CLASS 200 SDR 21

GENERAL NOTES

NOTE: MAINLINE LOCATION IS DIAGRAMMATIC. MAINLINE SHALL BE LOCATED ON PRIVATE PROPERTY. NO PORTION OF THE MAINLINE SHALL BE LOCATED WITHIN THE RIGHT OF WAY OR ON OTHER PROPERTIES. CONTRACTOR SHALL DETERMINE AN APPROPRIATE LOCATION IN THE FIELD, FREE OF OBSTRUCTIONS AND PROPOSED ELEMENTS WHILE MINIMIZING SLEEVING.

EXISTING MAINLINE LOCATION SHALL BE VERIFIED BEFORE CONSTRUCTION AND MAY BE UTILIZED UNDER THE FOLLOWING CONDITIONS:

- ALL PIPING SHALL BE IN GOOD WORKING CONDITION.
- CURRENT PIPE SIZE IS APPROPRIATE FOR THE DEMAND OF THE PROPOSED IRRIGATION SYSTEM AS DESIGNED PER PLAN
- MAINLINE PIPE DEPTH, MATERIAL, AND LOCATION MEET ALL LOCAL CODES

NOTE: MAINLINE EQUIPMENT AND APPURTENANCE LOCATION IS DIAGRAMMATIC. CONTRACTOR SHALL DETERMINE AN APPROPRIATE LOCATION IN THE FIELD, FREE OF OBSTRUCTIONS AND NEAR EXISTING METER LOCATION. VALVE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE AN APPROPRIATE AND DISCREET LOCATION IN THE FIELD FOR EASY ACCESS.

NOTE: AVOID SPRINKLER RISERS IN CORNER, ALONG WALLS, AND PARKING AREAS. NO OVERHEAD IRRIGATION WITHIN 24' OF AN IMPERMEABLE SURFACE OR IN AREAS LESS THAN 10' WIDE IN ANY DIRECTION (ENGINEERED SLOPES EXCLUDED) ALLOWABLE IRRIGATION WITHIN THE SETBACK FROM NO-PERMEABLE SURFACES MAY INCLUDE DRIP, DRIP LINE, OR OTHER LOW FLOW NON-SPRAY TECHNOLOGY.

NOTE: CONTRACTOR TO MAINTAIN REGULAR WATERING OF EXISTING PLANTING AREAS DURING CONSTRUCTION. IF ANY PLANT MATERIAL IS DAMAGED AS A RESULT OF LACK OF WATER, THE CONTRACTOR SHALL REPLACE IN KIND.

A CERTIFICATE OF COMPLETION WILL BE REQUIRED FOR ALL IRRIGATION AND LANDSCAPING. ANY DEVIATIONS FROM LANDSCAPING WILL REQUIRE APPROVAL PRIOR TO THE PLANNING FINAL INSPECTION.

APPLICANTS STATEMENT OF COMPLIANCE I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

ANDREW E. CROCKER, AIA C29487
APPLICANT SIGNATURE

6/17/2025

DATE

LEGEND

- NON-IRRIGATED
- IRRIGATED
- CONCRETE

GENERAL IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, DRAWINGS, AND/OR CODE, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THE MAINLINE AND SLEEVING IS DIAGRAMMATIC. ALL PIPING IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN LIMIT OF WORK BOUNDARIES AND IN SHRUB PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- IRRIGATION EQUIPMENT AS SHOWN IS DIAGRAMMATIC. INSTALL ALL THE IRRIGATION REMOTE CONTROL VALVES, QUICK COUPLERS, MASTER VALVES, FLOW SENSORS, BACKFLOWS, AIR/VACUUM DEVICES, BALL VALVES, AND ANCILLARY EQUIPMENT, IN SHRUB PLANTING AREAS WHEN FEASIBLE OR AS APPROVED BY OWNER'S REPRESENTATIVE AND THE LANDSCAPE IRRIGATION DESIGNER. DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- CONTRACTOR TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAINLINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS, HARDSCAPE, OR AS DIRECTED BY OWNER'S REPRESENTATIVE TO BE INSTALLED IN SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. ALL 2" AND 3" SLEEVING FOR NON-VEHICULAR PAVING SHALL BE PVC1220 SCH. 40, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-1785-4. ALL 4" AND LARGER SLEEVING BELOW VEHICULAR PAVING SHALL BE PVC1220 SCH.80 SDR21, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-2241. SLEEVES UNDER BROW DITCHES SHALL BE ENCASED IN CONCRETE A MINIMUM OF 6" THICK ON ALL SIDES OF PIPE. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF PAVING.
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE. IRRIGATION HEADS ADJACENT TO THE STREET SHALL BE HELD A MINIMUM OF 2 FEET FROM EDGE OF PAVEMENT. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS. WHEN VERTICAL OBSTRUCTIONS (PROPS, STREET LIGHTS, TREES, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE SPRINKLER HEADS PREVENTING PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER CIRCLE OR HALF CIRCLE SPRINKLER HEAD ON EACH SIDE OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- THE IRRIGATION CONTRACTOR SHALL ADJUST THE PRESSURE REGULATOR ON EACH ELECTRIC CONTROL VALVE SO THAT THE SPRINKLER HEAD FARTHEST AND HIGHEST IN ELEVATION FROM ITS RESPECTIVE CONTROL VALVE OPERATES WITHIN THE OPERATING PRESSURE SHOWN ON THE IRRIGATION LEGEND. NOT TO EXCEED FIVE (5) PSI ABOVE THE GIVEN OPERATING PRESSURE FROM THE SPECIFIED PRESSURE LOCATED ON THE IRRIGATION LEGEND. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE VIA DIRECT FIELD MEASUREMENT PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS, AND COSTS ASSOCIATED WITH SAID REVISIONS. SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE AND CAST IRON PIPE. FLOW THROUGH ANCILLARY EQUIPMENT, STEEL AND COPPER PIPE SHALL NOT EXCEED A VELOCITY OF 7 FPS. ALL 12 FPS. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. CHECK VALVES SHALL BE USED TO PREVENT ALL LOW HEAD DRAINAGE.

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SHEET TITLE: IRRIGATION PLAN
SHEET NO: 4 L-1

PROJECT:

**PACAS RESIDENCE
REMODEL**

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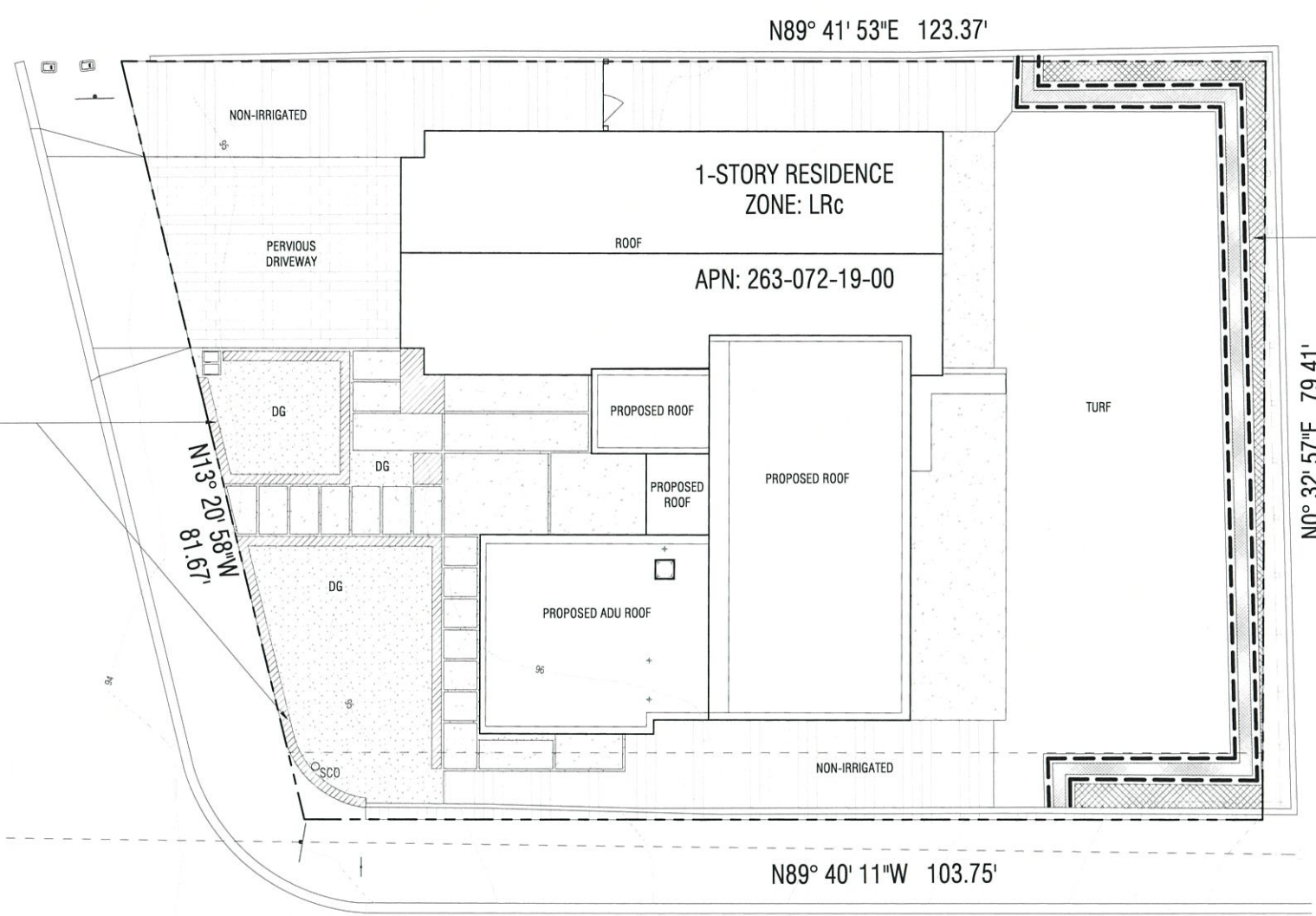
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SHEET TITLE: HYDROZONE MAP & WATER CALCULATION

SHEET NO: **L-2**



HYDROZONE	HZ 1
VALVE #	
WATER METHOD	DRIP
AREA	161 SF
PLANT FACTOR	LOW

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	WUCOLS
(S1) SENECIO VITALIS	BLUE CHALK STICK	LOW
(L1) LIGUSTRUM JAPONICUM	WAXLEAF PRIVET	MODERATE
(R1) ROSA 'ICEBERG'	ROSE 'ICEBERG' BUSHES	MODERATE

HYDROZONE	HZ 2
VALVE #	
WATER METHOD	DRIP
AREA	335 SF
PLANT FACTOR	MODERATE

WATER CALCULATIONS

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET				
IRRIGATION POINT OF CONNECTION (P.O.C.): 'A'				
	LINE	HYDROZONE 1 (DRIP)	HYDROZONE 2 (DRIP)	SLA
EVAPOTRANSPIRATION RATE (ETo)	1		41	
CONVERSION FACTOR - 0.62	2		62	
LINE 1 x LINE 2	3		25.42	
PLANT FACTOR (PF)	4	30	60	
HYDROZONE SF (HA)	5	161.00	335.00	
LINE 4 x LINE 5	6	48.30	201.00	
IRRIGATION EFFICIENCY (IE)	7	81	81	
LINE 6 x LINE 7	8	39.12	162.81	
TOTAL OF ALL LINE 8 BOXES	9		201.93	
LINE 3 x LINE 9 (ETWU)	10		ESTIMATED TOTAL WATER USE = 5,133	GAL. PER YEAR
SHALL NOT EXCEED WAMA				

ETWU = (ETO)(0.62)(PF X HA / IE + SLA)

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	
ETo =	41 IN/YR
LA =	496 SQ FT
SLA =	0 SQ FT
ETAF* =	.55
MAWA = (ETo)(0.62)[(ETAF X LA) + ((1 - ETAF) X SLA)]	
= (41)(.62)[(.55 x 496) + ((1 - .55) x 0)]	
= (25.42)(.272.8) + (.45 x 0)	
= (25.42)272.8 + 0	
= 6,934.6	
MAXIMUM APPLIED WATER ALLOWANCE = 6,934.6 GAL. PER YEAR	

*EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) USE:
55 RESIDENTIAL 45 NON-RESIDENTIAL

REFERENCE TABLES	
ETo:	
WEST OF I-5	41
EAST OF I-5	47
HYDROZONE CATEGORY PF: PLANT FACTOR	
HIGH WATER USE	1.00
MODERATE WATER USE	0.60
*LOW WATER USE	0.30
VERY LOW WATER USE	0.10
SPECIAL LANDSCAPE AREA	1.00
IRRIGATION METHOD CODE IE: IRRIGATION EFFICIENCY	
HIGH WATER USE	0.81
MODERATE WATER USE	0.75
*LOW WATER USE	0.70
VERY LOW WATER USE	0.75
SPECIAL LANDSCAPE AREA	0.55

LANDSCAPE NOTES

- ALL LANDSCAPE TO MEET COSB PLANTING CODE.
- REFER TO THE COSB LANDSCAPE MANUAL FOR PROHIBITED PLANTS.
- GROUND COVER AND SMALL SHRUBS PROPOSED.
- NO TREES ARE PROPOSED AS PART OF THIS PERMIT.



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: July 16, 2025
ORIGINATING DEPT: Engineering Department – Anda Wright, Associate Civil Engineer
SUBJECT: **Update to City Council on the La Colonia Park Master Plan and Interim Improvements**

BACKGROUND:

In 2008, the City Council approved the La Colonia Master Plan that included various upgrades to the existing park. Since the approval of the Master Plan, the City acquired the vacant property north of the existing skate park and basketball courts in 2018. Over the past few years staff and the City’s consultant Van Dyke Landscape Architects (VDLA) have worked with the community and presented alternatives to determine City Council’s preferences for the future development of the vacant site as well as the redevelopment/improvements of the existing park site.

In February 2025, the Council provided final direction on the La Colonia Master Plan update for land uses within the recently expanded La Colonia Park. This item is intended to provide the City Council with the La Colonia Master Plan Land Use Plan consistent with the direction received from City Council for consideration and adoption.

This item also includes the presentation of potential interim improvements for the vacant properties north of the La Colonia Skate Park and Basketball Court (Interim Improvements). Staff further seeks City Council feedback and direction on the interim improvement of the vacant properties to allow staff to move forward with design and bid for construction of those interim improvements.

The City Council will be considering adoption of Resolution 2025-088 (Attachment 1) that would approve the updated La Colonia Park Master Plan, approve a conceptual layout plan for the vacant properties north of the La Colonia Skate Park and Basketball Court, and authorize the City Manager to move forward the design and bid for construction of the interim improvements of the vacant property.

CITY COUNCIL ACTION:

DISCUSSION:

La Colonia Park Master Plan Update

Staff has been working on an update to the La Colonia Master Plan for several years. In February 2025, Staff presented an overall draft land use plan for the entirety of La Colonia Park along with two alternatives for a community center building on the vacant properties. During the meeting, Council provided direction to Staff for the finalization of the Master Plan update. At this meeting, the City Council also directed Staff to move forward with the Alternative 2 (Attachment 2) Conceptual Plan for a community structure in the northwest portion of the expansion area. This scenario would have a youth center and a senior center both on the lowest/basement level, a small area for City programming on the first level (at grade with Stevens) and a larger area for City uses on the second level. Under this alternative, a future Youth and Senior Center would be three levels, two levels above grade when viewed from Stevens and one level below grade. The parking lot in this alternative would take up most of the building area within Level 1 (the level even with Stevens). This would provide approximately 32 parking spaces attached to the proposed building.

In addition to the community center building, Council also provided direction on auxiliary uses of the vacant properties including proposed placement of the pickleball courts, event lawn, fruit trees, picnic area, parking and a drop-off zone accessed from Valley Avenue. Updates to uses within the existing La Colonia Park were also noted should the future Youth and Senior Community Center and City offices be implemented. Attachment 3 shows the revised locations of these elements.

La Colonia Community Center Renovations

Additional direction was provided to staff for renovations to the existing community center building. These conceptual alterations were shown in Attachment 4 and included possible windows along both the east and west walls of the middle “classroom”. A new door was proposed to be added near the northwest corner of this same building wing so that the public could enter the City offices without going into the classroom. The City offices were reduced in size to allow for a larger classroom. Finally, the existing double door entrance to the large meeting room that is currently separated by a column have been combined into one large folding glass door that can provide one large opening from the meeting room to the outside patio, creating more of an indoor/outdoor space. All these building enhancements would allow significantly more light into the existing building. Staff will continue to work with members of the community to find a suitable home for the “Tree of Life” mural at the current entrance to the big room of the existing community center prior to the design of the new meeting room entrance improvements. The work on renovations of the existing community center will move forward independently but concurrently with other projects for La Colonia Park.

Interim Improvements to Vacant Properties North of the La Colonia Skate Park and Basketball Court

City Staff has prepared a high-level conceptual plan (Attachment 4) to initiate early discussion with both the City Council and the community on the interim improvements to the vacant properties north of the La Colonia Skate Park and Basketball Court. This initial concept, developed in-house by the Engineering Department, is intended as a preliminary framework to gather input from the City Council and the community, and provide direction to staff to further design and bid for implementation of the improvements.

The conceptual design outlines a temporary park that seeks to preserve the site's existing rolling topography by minimizing grading. The plan demonstrates a thoughtful integration with the adjacent established La Colonia Park, featuring a meandering decomposed granite pathway that begins at Stevens Avenue and gently descends toward the eastern end of the property. The design features gently sloped walking paths set at various elevations, with connecting surfaces made from railroad ties or similar organic materials to provide a continuous and accessible walking experience. Additional elements include benches, wood trellis shaded seating area, signage and a flexible event lawn space. The upper landscaped areas adjacent to Stevens would be planted with drought-tolerant vegetation.

Street parking is currently available along Stevens Avenue within the public right-of-way, located farther south in front of the existing park, but not directly in front of the vacant lots. Stevens Avenue is narrower in front of the vacant lots than in front of La Colonia Park, so parking is not allowed in front of the vacant lots. For the time being, Staff recommends leaving the recently improved existing concrete sidewalk. The design of the Stevens Avenue frontage will be done as part of the proposed Youth and Senior Community Center design. Staff however, recommends reviewing the parking along Stevens Avenue in front of the existing La Colonia Park for increased parking through an alternate angled parking design while maintaining the bike lanes.

While the current phase of conceptual park planning focuses on transforming the vacant land into a functional park that connects to, and complements the adjacent La Colonia Park, it is important to recognize the City's long-term objective of developing a community center on the site to accommodate future City needs. Accordingly, the Interim Improvements should strategically account for foundational elements of the future community center such as pedestrian and vehicular access from Stevens Avenue and Valley Avenue, as well as future green space and parking layouts. This forward-thinking approach will help reduce the need for future demolition, reconstruction, and associated budget and time expenditures.

A central focus of the upcoming design phase will be extensive community engagement. This will include public meetings, opportunities for input during Council sessions, and direct outreach efforts. The City will promote public participation through e-blasts, social media, announcements from the Mayor, targeted email communication, and the potential use of the City's electronic changeable message sign.

CEQA COMPLIANCE STATEMENT:

The implementation of the La Colonia Master Plan Project will be further evaluated for the appropriate level of environmental review once the siting and design components have been determined. The interim improvement project to the vacant lot north of the skate park and basketball courts is exempt from the California Environmental Quality Act pursuant to 15304 Minor Alterations to Land, which is a Class 4 exemption consisting of minor public alteration in the condition of land.

FISCAL IMPACT:

The construction cost for this project will be prepared when the final design is prepared. The Fiscal Year 2025/26 Capital Improvement Program (CIP) budget allocated \$50,000 for project design from Park Development Impact Fees (PDIF) Fund account 4536510.66600 and \$200,000 for project construction from Park Development Impact Fees (PDIF) Fund account 4536510.66610. An additional \$50,000 was allocated for construction in the Fiscal Year 2026/27 CIP budget from Park Development Impact Fees (PDIF) Fund account 4536510.66610. Neither allocation has been used during the design phase, as City Staff has completed the design work in-house for the interim improvements.

WORK PLAN:

The Project is consistent with the Youth, Senior, and Community Well-Being, Section IV, Item Number 1 that is included in the 2025/26 Work Plan.

OPTIONS:


- Receive report.
- Provide direction.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-088 as follows:

- 1) Approving the updated La Colonia Master Plan.
- 2) Find that the interim improvements for the vacant property north of the skate park and basketball courts are exempt pursuant to Section 15304 of the California Environmental Quality Act Guidelines.
- 3) Approving interim park improvements of the vacant property north of the skate park and basketball courts.

- 4) Authorizing the City Manager to move forward with design and bidding for the construction of the inter improvements of the vacant property north of the skate park and basketball courts.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-088
2. Conceptual Plan for future Community Center Building
3. Proposed renovation to existing La Colonia Community Center building
4. Conceptual Plan for interim improvements of vacant properties north of the La Colonia Park Skate Park and Basketball Court

RESOLUTION 2025-088

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE LA COLONIA PARK MASTER PLAN AND INTERIM IMPROVEMENTS

WHEREAS, in 2008, the City Council approved the La Colonia Master Plan that included various upgrades to the existing park; and

WHEREAS, since the approval of the Master the City acquired the vacant property north of the existing skate park and basketball courts in 2018; and

WHEREAS, over the past few years staff and the City's consultant Van Dyke Landscape Architects (VDLA) have engaged the community and presented alternatives to determine City Council's preferences for the future development of the vacant site as well as the redevelopment/improvements of the existing park site; and

WHEREAS, in February 2025, the Council provided final direction on the La Colonia Master Plan update for land uses within the recently expanded La Colonia Park; and

WHEREAS, staff further seeks City Council feedback and direction on the interim improvement of the vacant properties to allow staff to move forward with design and bid for construction of those interim improvements.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council approves the updated La Colonia Park Master Plan.
3. That the interim improvements for the vacant property north of the skate park and basketball court are exempt for the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15304 (Minor Alterations to Land).
4. The City Council approves interim improvements for the vacant property north of the skate park and basketball court
5. Authorize the City Manager to move forward with design and bidding for construction of the interim improvements of the vacant property north of the skate park and basketball courts.

PASSED AND ADOPTED this 16th day of July 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

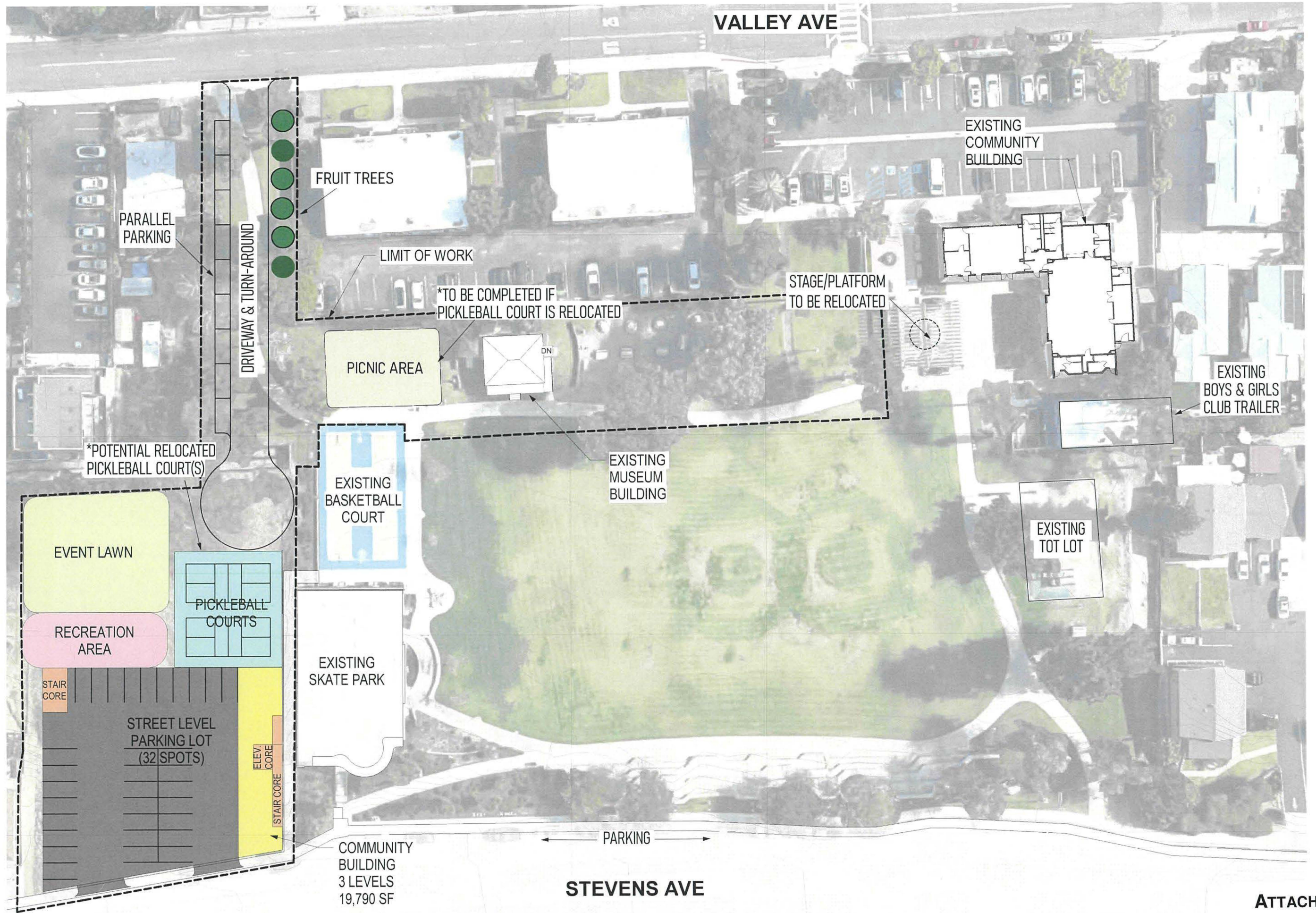
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



VALLEY AVE

EXISTING
COMMUNITY
BUILDING

FRUIT TREES

PARALLEL
PARKING

DRIVEWAY & TURN-AROUND

LIMIT OF WORK

*TO BE COMPLETED IF
PICKLEBALL COURT IS RELOCATED

STAGE/PLATFORM
TO BE RELOCATED

PICNIC AREA

EXISTING
BOYS & GIRLS
CLUB TRAILER

*POTENTIAL RELOCATED
PICKLEBALL COURT(S)

EXISTING
BASKETBALL
COURT

EXISTING
MUSEUM
BUILDING

EXISTING
TOT LOT

EVENT LAWN

PICKLEBALL
COURTS

RECREATION
AREA

EXISTING
SKATE PARK

STAIR CORE

STREET LEVEL
PARKING LOT
(32 SPOTS)

ELEV. CORE

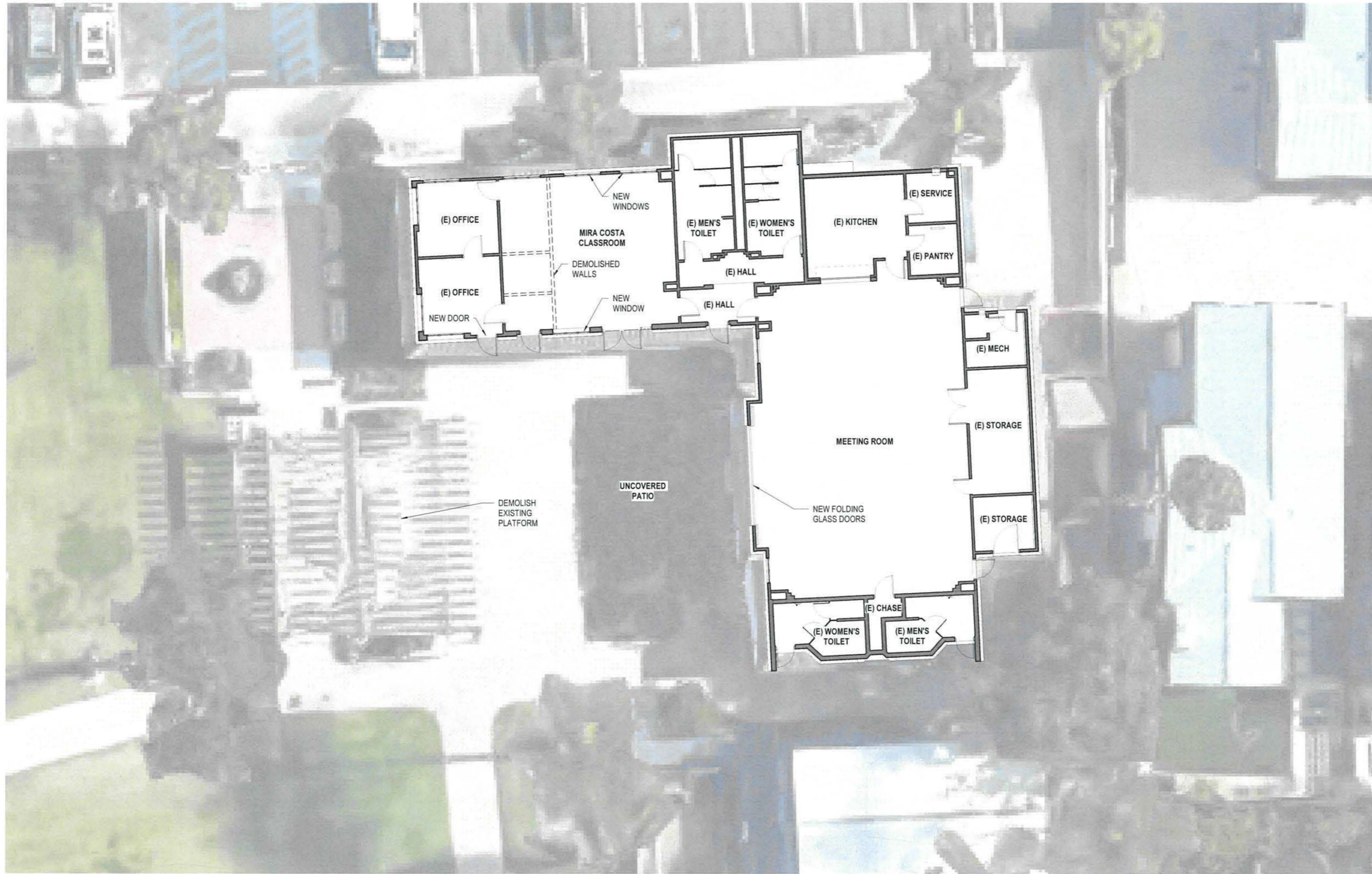
STAIR CORE

PARKING

STEVENS AVE

COMMUNITY
BUILDING
3 LEVELS
19,790 SF

ATTACHMENT 2



① P - COMMUNITY BUILDING REMODEL
1/8" = 1'-0"



COMMUNITY BUILDING REMODEL



12 FEB 2025



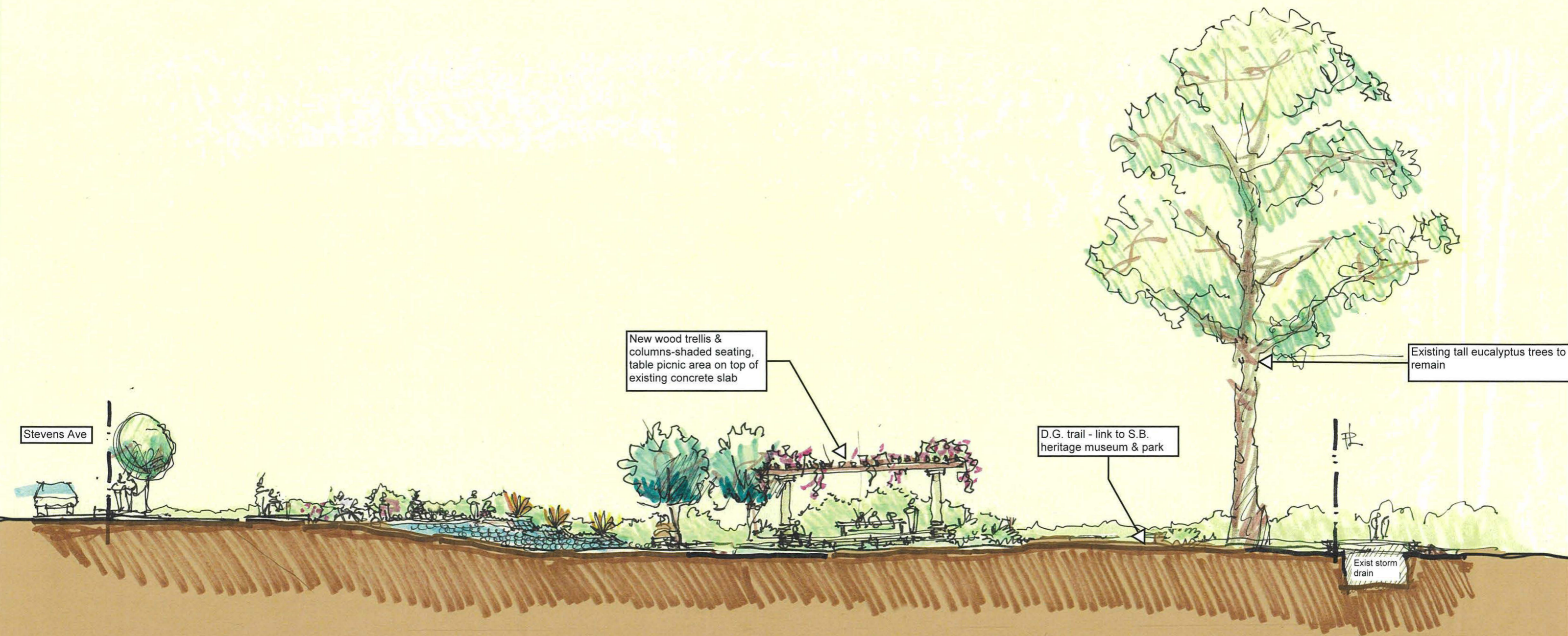
LANDSCAPE CONCEPT PLAN

LA COLONIA PARK EXPANSION SOLANA BEACH, CA

1" = 1'-0"

JULY 16, 2025

Section A-A



LANDSCAPE SITE SECTION

1"=1'-0"

LA COLONIA PARK EXPANSION SOLANA BEACH, CA

JULY 16, 2025