



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# AGENDA

## Joint REGULAR Meeting

**Wednesday, July 2, 2025 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



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### PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are held at 6:00pm on Wednesdays and are broadcast live. Please check the City's website for the meeting schedule or any special meetings. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org). Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

### PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

#### **COUNCIL DISCLOSURE**

*Pursuant to the Levine Act (Gov't Code Section 84308), any party to a permit, license, contract (other than competitively bid, labor or personal employment contracts) or other entitlement before the Council is required to disclose on the record any contribution, including aggregated contributions, of more than \$250 made by the party or the party's agents within the preceding 12 months to any Council Member. Participants and agents are requested to make this disclosure as well. The disclosure must include the name of the party or participant and any other person making the contribution, the name of the recipient, the amount of the contribution, and the date the contribution was made.*

#### **SPECIAL ASSISTANCE NEEDED**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

#### **CITY COUNCILMEMBERS**

**Lesa Heebner**  
Mayor

**Kristi Becker**  
Deputy Mayor / Councilmember District 2

**Jill MacDonald**  
Councilmember District 4

**David A. Zito**  
Councilmember District 1

**Jewel Edson**  
Councilmember District 3

Alyssa Muto  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

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#### **SPEAKERS:**

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

#### **READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

#### **CALL TO ORDER AND ROLL CALL:**

#### **CLOSED SESSION REPORT:**

#### **FLAG SALUTE:**



## **APPROVAL OF AGENDA:**

### **PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

None at the posting of this agenda

### **PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

- Tree Canopy Coverage Assessment Overview

## **ORAL COMMUNICATIONS:**

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

## **CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.*

## **CITY MANAGER / CITY ATTORNEY REPORTS:**

*An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.*

## **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on June 4, 2025.

#### **[Item A.1. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **A.2. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for May 31 – June 13, 2025.

### **[Item A.2. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **A.3. Fletcher Cove Beach Access Improvements.** (File 0730-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-060**:
  - a. Awarding a construction contract to A.B. Hashmi, Inc., in the amount of \$432,525, for the Fletcher Cove Beach Access Improvement Project, Bid 2025-05.
  - b. Approving an amount of \$52,000 for construction contingency.
  - c. Authorizing the City Manager to execute the construction contract on behalf of the City.
  - d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.
  - e. Authorizing \$23,800 transfer from Beach Related Reserve 100-34120 to Misc. CIP account 4596510.66610 and appropriating \$210,725 from the Measure S Fund – Construction account 1106510.66610 for the Fletcher Cove Beach Access Improvement Project.
  - f. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.
2. Adopt **Resolution 2025-062**:
  - a. Authorizing the City Manager to execute a professional services agreement for a one-year term, in an amount not to exceed \$25,301, with Verdantas Inc. for Geotechnical Engineering Special Inspection and Laboratory Testing for Fletcher Cove Beach Access Improvement Project, Bid No. 2025-05.
  - b. Authorizing an appropriation of \$25,301 from the Measure S Fund – Professional Services account 1106510.65300 for the Fletcher Cove Beach Access Improvement Project.
  - c. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.

### **[Item A.3. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.4. Council Meeting Automated Agenda Management System Software.**  
(File 0410-05)

Recommendation: That the City Council

1. Adopt **Resolution 2025-084** authorizing the City Manager to enter an agreement with eScribe for Council agenda management software services.

[Item A.4. Report \(click here\)](#)

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**NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)**

**B. PUBLIC HEARINGS:** (B.1. – B.5.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

**B.1. Public Hearing: 696 W Solana Circle. Applicant: Carl Johnson, Case # DRP24-013, APN: 298-320-10-00.** (File 0600-40)

The proposed project meets the minimum objective requirements under the Park Del Mar Development regulations and the underlying SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-061** conditionally approving a DRP to demolish a single-family residence, construct a replacement one-story, single-family residence with an attached two-car garage and perform associated site improvements at 696 W Solana Circle.

[Item B.1. Report \(click here\)](#)

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**B.2. Public Hearing: Nardo Avenue, Eight-Unit For-Lease Residential Development Vacant Lot. Applicant: Shantu Patel, Case: TE25-001, APN: 298-162-37. (File 0600-40)**

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive Public testimony, Close the Public Hearing.
2. If the City Council can make the required findings, adopt **Resolution 2025-079**, approving the request for a Time Extension for approvals and entitlements in Case No. 17-18-03 and setting the expiration date as July 13, 2026.

**[Item B.2. Report \(click here\)](#)**

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**B.3. Public Hearing: 506 Pacific Avenue, Applicant: Eric Buchanan, Case: TE25-002, APN: 263-042-17. (File 0600-40)**

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive Public testimony, Close the Public Hearing.
2. If the City Council can make the required findings, adopt **Resolution 2025-080**, approving the request for a Time Extension for approvals and entitlements in Case No. DRP20-014 and SDP20-020 and setting the expiration date as August 24, 2026.

**[Item B.3. Report \(click here\)](#)**

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**B.4. Public Hearing: 508 South Nardo Avenue, Applicant: Brian and Larna Hartnack, Case: TE25-003, APN: 298-121-68. (File 0600-40)**

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive Public testimony, Close the Public Hearing.
2. If the City Council can make the required findings, adopt **Resolution 2025-081**, approving the request for a Time Extension for approvals and entitlements in Case No. DRP22-024 and SDP22-018 and setting the expiration date as August 24, 2026.

**[Item B.4. Report \(click here\)](#)**

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**B.5. Public Hearing: 446 Seabright Lane, Applicant: Levitt. Case #: MOD25-006, APN: 263-061-14.** (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings to approve a Modification to the approved DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-082** conditionally approving a Modification to the approved DRP, to modify the landscape plan for a replacement single-family residence at 446 Seabright Lane, Solana Beach.

[Item B.5. Report \(click here\)](#)

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**C. STAFF REPORTS: (C.1.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

**C.1. City Manager's Employment First Amendment Agreement.** (File 0530-15)

Recommendation: That the Council Subcommittee recommends that Council

1. Consider and adopt **Resolution 2025-075** authorizing the Mayor to execute the First Amendment to the Employment Agreement between the City of Solana Beach and Alyssa Noelle Maxson Muto to reflect a base salary increase of 10% to \$275,000.00 annually, effective the first full pay period after May 6, 2025, an additional forty (40) hours of management leave accrued per year, an increase to the maximum vacation cash-out allowance to 120 hours annually, and an increase to the vehicle allowance to \$600.00 per month.

[Item C.1. Report \(click here\)](#)

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**LEGISLATIVE POLICY AND CORRESPONDENCE:**

[Document](#)

**WORK PLAN COMMENTS:**

*Adopted June 26, 2024*

**COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

## **COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1<sup>st</sup> Alternate-Zito, 2<sup>nd</sup> Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

### **STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

### **CITIZEN COMMISSION(S)**

- a. Climate & Resiliency Commission – Zito, Becker

## **ADJOURN:**

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***Next Regularly Scheduled Meeting is July 18, 2025***

*Always refer to the City's website for an updated schedule or contact City Hall.*

[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) 858-720-2400

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## **AFFIDAVIT OF POSTING**

STATE OF CALIFORNIA  
COUNTY OF SAN DIEGO  
CITY OF SOLANA BEACH

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I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the July 2, 2025 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on June 25, 2025 at 5:30 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., July 2, 2025, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk  
City of Solana Beach, CA

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### **UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate & Resiliency Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# **AGENDA**

**Joint Meeting - Closed Session**

**Wednesday, June 04, 2025 5:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

**Minutes contain formal actions taken at a City Council meeting.**



## **CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Kristi Becker, Jill MacDonald, David A. Zito, Jewel Edson  
Absent: None  
Also Present: Dan King, Assistant City Manager  
Johanna Canlas, City Attorney

## **PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):**

*Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session.*

## **CLOSED SESSION:**

### **1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Pursuant to Government Code Section 54956.9(d)(2)  
One (1) Potential case.

**No reportable action.**

## **ADJOURN:**

Mayor Heebner adjourned the meeting at 5:58 p.m.

Approved: \_\_\_\_\_



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# MINUTES

## Joint REGULAR Meeting

**Wednesday, June 04, 2025 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

### **Minutes contain formal actions taken at a City Council meeting.**

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#### CITY COUNCILMEMBERS

**Lesa Heebner**  
Mayor

**Kristi Becker**  
Deputy Mayor / Councilmember District 2

**Jill MacDonald**  
Councilmember District 4

**David A. Zito**  
Councilmember District 1

**Jewel Edson**  
Councilmember District 3

Alyssa Muto  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

#### **CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 6:03 p.m.

Present: Lesa Heebner, Kristi Becker, Jill MacDonald, David A. Zito, Jewel Edson

Absent: None

Also: Johanna Canlas, City Attorney

Present: Dan King, Assistant City Manager  
Megan Bavin, Deputy City Clerk  
Dan Goldberg, City Engineer  
Joseph Lim, Community Development Dir.  
Kristine Pratt, Sr. Accountant

**CLOSED SESSION REPORT:** None

#### **FLAG SALUTE:**

#### **APPROVAL OF AGENDA:**

**Motion:** Moved by Councilmember Zito and second by Councilmember Edson to approve. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

None at the posting of this agenda

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

None at the posting of this agenda

**ORAL COMMUNICATIONS:**

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

Diana Kutlow – Legislative update from Senator Blakespear

**CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.*

**CITY MANAGER / CITY ATTORNEY REPORTS:**

*An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.*

**A. CONSENT CALENDAR:** (Action Items) (A.1. - A.5.)

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*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

**A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on May 21, 2025.

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**A.2. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for May 03, 2025 – May 16, 2025.

[Item A.2. Report \(click here\)](#)

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**A.3. Fiscal Year (FY) 2024-25 Community Grant Recipient Financial Expenditure Report.** (File 0330-25)

Recommendation: That the City Council

1. Accept Solana Beach Civic & Historical Society's request for an extension to expend the remaining \$32.75 from the \$5,000 awarded to them for the 2024-25 Community Grant period
2. Accept this report for the public record and bring the item back in the future for authorization of payment of all FY24-25 Community Grants.

[Item A.3. Report \(click here\)](#)

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**A.4. State-Mandated Annual Fire Inspections Report in Compliance with SB 1205.** (File 0260-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-067** accepting a report on the status of all state-mandated annual fire inspections in the City of Solana Beach in conjunction with SB 1205 and California Health and Safety Code Section 13146.4.

[Item A.4. Report \(click here\)](#)

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**A.5. Highland Drive Median Planting Project NOC.** (File 0820-40)

Recommendation: That the City Council

1. Adopt **Resolution 2025-059:**
  - a. Authorizing the City Council to accept, as complete, the Highland Drive Median Planting Project, Bid No. 2024-10, constructed by Palm Engineering Construction Company.
  - b. Authorizing the City Clerk to file a Notice of Completion.

[Item A.5. Report \(click here\)](#)

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)**

## **C. STAFF REPORTS: (C.1. – C.2.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

### **C.1. Introduction (1<sup>st</sup> Reading) of Ordinance 539 Regarding Adoption of New Cal Fire Hazard Severity Zone Maps. (File 0260-10)**

Recommendation: That the City Council

1. Introduce **Ordinance 539** adopting Cal Fire's updated Fire Hazard Severity Zone (FHSZ) maps for Local Responsibility Areas (LRAs) as required by California Government Code Section 51179.

#### [Item C.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Staff presented a PowerPoint (on file).

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor to approve.  
**Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

### **C.2. Community Grant Program Requests for Fiscal Year 2025/26. (File 0330-25)**

Recommendation: That the City Council

1. Receive the report, Community Grant applications and presentations for the grant applicants. The City Council will finalize their allocations at a future City Council meeting.

#### [Item C.2. Report \(click here\)](#)

#### [Item C.2. Supplemental Docs \(updated 6-03-25\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Presentations by: Solana Beach Civic & Historical Society, Assistance League of Rancho San Dieguito, Boys & Girls Clubs of Northwest San Diego, California Western School of Law Community Law Project (CLP), Casa de Amistad, Community Resource Center, Jaliscience Folkloric Academy, La Colonia Community Foundation, North Coast Repertory Theater, Order of Mata Clinic of San Diego, Pathways to Citizenship, Sandpipers Square Dance Club, Solana Beach Backpacks for Kids, Inc., Solana Beach Community Connections, Solana Beach Community Theatre, Taking Inspired Action Solana (Tias), Wildlife Jewels

## **LEGISLATIVE POLICY AND CORRESPONDENCE:**

## **WORK PLAN COMMENTS:**



*Adopted June 26, 2024*

**COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

**STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)**

**CITIZEN COMMISSION(S)**

**ADJOURN:**

Mayor Heebner adjourned the meeting at 7:55 p.m.

Approved: \_\_\_\_\_

Megan Bavin, Deputy City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Finance – Rachel Jacobs, Finance Director  
**SUBJECT:** Register of Demands

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## **BACKGROUND:**

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

### **Register of Demands: 05/31/25 through 06/13/25**

Check Register - Disbursement Fund (Attachment 1)		\$ 1,188,885.52
Net Payroll Retiree Health	June 4, 2025	2,955.00
Net Payroll Council	June 12, 2025	5,191.24
Net Payroll Staff P25	June 6, 2025	226,561.27
<b>TOTAL</b>		<b>\$ <u>1,423,593.03</u></b>

## **DISCUSSION:**

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

The register of demands for May 31, 2025, through June 13, 2025, reflects total expenditures of \$1,423,593.03 from various City sources.

## **WORK PLAN:** N/A


CITY COUNCIL ACTION: _____ _____
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**OPTIONS:**

- Ratify the register of demands.
- Do not ratify and provide direction.

**CITY STAFF RECOMMENDATION:**

Staff recommends that the City Council ratify the above register of demands.

  
Alyssa Muto, City Manager

**Attachments:**

1. Check Register – Disbursement Fund



# City of Solana Beach

## Register of Demands

5/31/2025 - 6/13/2025

Department Vendor	Description	Date	Check/EFT Number	Amount
<b>100 - GENERAL FUND</b>				
CALPERS	P25 457 CONTRIBUTION	06/04/2025	9060425	\$23.41
INSTATAX	P25 TAX INPUT	06/04/2025	990120366	\$31,469.18
INSTATAX	P25 TAX INPUT	06/04/2025	990120366	\$2,493.76
INSTATAX	P25 TAX INPUT	06/04/2025	990120366	\$8,679.28
INSTATAX	P25 TAX INPUT	06/04/2025	990120366	\$12,402.36
INSTATAX	P25 TAX INPUT	06/04/2025	990120366	\$2,937.80
SAN DIEGO COUNTY SHERIFFS OFFICE	APR 25-CR TOW FEE/SB OVERTIME/CSO CRDIT FEB- APR 25	06/13/2025	108394	(\$109.42)
STERLING HEALTH SERVICES, INC.	P25 FSA/DCA CONTRIBUTIONS	06/13/2025	9002207	\$2,486.12
STERLING HEALTH SERVICES, INC.	P25 FSA/DCA CONTRIBUTIONS	06/13/2025	9002207	\$1,572.87
JOHN & JENNA PETERSON	RFND: GRD22-0012	06/13/2025	108388	\$55,904.88
MICHELLE & SEAN BUCHANAN	RFND: ENC24-0103	06/13/2025	108389	\$585.00
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant P25	06/05/2025	9002195	\$1,020.00
STATE OF COLORADO	MAY 25 CO TAXES	06/05/2025	990120368	\$452.20
CALPERS	PC12 457 CALPERS CONTRIBUTION	06/10/2025	9061025	\$777.21
STEVEN BEASLEY	RFND: FCCC 05/25/25	06/13/2025	108400	\$500.00
MISSION SQUARE PLAN 302817	Payroll Run 2 - Warrant PC12	06/13/2025	9002202	\$3,111.49
INBOUND DESIGN INC.	REISSUE CK#100504	06/13/2025	108384	\$49.00
FIDELITY SECURITY LIFE INSURANCE COMPANY	JUNE 25-GROUP ID:1051871	06/05/2025	108360	\$487.16
AFLAC	MAY 25	06/05/2025	108353	\$1,062.64
SELF INSURED SERVICES COMPANY	JUN 25-LIFE & ADD INS	06/05/2025	9002187	\$1,302.87
SELF INSURED SERVICES COMPANY	JUN 25-SUPP LIFE INS	06/05/2025	9002187	\$332.75
SELF INSURED SERVICES COMPANY	JUN 25-LTD	06/05/2025	9002187	\$1,230.13
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant P25	06/05/2025	9002191	\$10,717.18
CALPERS	PC11 PERS 05/08/25 PD (06/03/25 PERS)	06/03/2025	9060325	\$925.53
CALPERS	P25 457 CONTRIBUTION	06/04/2025	9060425	\$7,431.13
STERLING HEALTH SERVICES, INC.	P23/P24 FSA/DCA	06/05/2025	9002196	\$200.00
STERLING HEALTH SERVICES, INC.	P23/P24 FSA/DCA	06/05/2025	9002196	\$416.66
ERON JOKIPII	RE-ISSUE STALE DATED CK#106752	06/05/2025	108359	\$146,562.50
SELF INSURED SERVICES COMPANY	JUNE 25	06/05/2025	9002187	\$3,339.80
<b>TOTAL GENERAL FUND</b>				<b>\$298,363.49</b>
<b>1005100 - CITY COUNCIL</b>				
FRIENDS OF SOLANA BEACH LIBRARY	FY 25 FRIENDS OF THE LIBRARY	06/13/2025	9002201	\$10,000.00
<b>TOTAL CITY COUNCIL</b>				<b>\$10,000.00</b>
<b>1005150 - CITY CLERK</b>				
KFORCE INC.	TEMP SERVICES-05/22/25-CLK	06/05/2025	9002192	\$1,320.00
IRON MOUNTAIN	SHREDDING - 04/23/25-05/27/25	06/13/2025	108385	\$1,050.07
<b>TOTAL CITY CLERK</b>				<b>\$2,370.07</b>
<b>1005250 - LEGAL SERVICES</b>				
BURKE WILLIAMS & SORENSSEN	96-0001 - APR 25 PROF SVC	06/05/2025	9002188	\$7,552.50
BURKE WILLIAMS & SORENSSEN	96-0001.001 - APR 25 PROF SVC	06/05/2025	9002188	\$2,525.00
BURKE WILLIAMS & SORENSSEN	96-0002 - APR 25 PROF SVC	06/05/2025	9002188	\$118.80

BURKE WILLIAMS & SORENSEN	96-0006 - APR 25 PROF SVC	06/05/2025	9002188	\$3,801.60
BURKE WILLIAMS & SORENSEN	96-0007 - APR 25 PROF SVC	06/05/2025	9002188	\$344.50
BURKE WILLIAMS & SORENSEN	96-0014 - APR 25 PROF SVC	06/05/2025	9002188	\$1,313.40
BURKE WILLIAMS & SORENSEN	96-0037.003 - APR 25 PROF SVC	06/05/2025	9002188	\$1,039.50
BURKE WILLIAMS & SORENSEN	96-0040.005 - APR 25 PROF SVC	06/05/2025	9002188	\$5,060.90
BURKE WILLIAMS & SORENSEN	APR 25-RETAIN	06/05/2025	9002188	\$15,000.00

**TOTAL LEGAL SERVICES****\$36,756.20****1005300 - GENERAL FUND - FINANCE**

AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:COIN ENVELOPES	06/05/2025	9002186	\$7.35
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:COUNTERTOP SHELVING UNIT	06/05/2025	9002186	\$29.35
STAPLES CONTRACT & COMMERCIAL	HANGING FOLDERS	06/13/2025	108399	\$63.05

**TOTAL GENERAL FUND - FINANCE****\$99.75****1005350 - SUPPORT SERVICES**

STAPLES CONTRACT & COMMERCIAL	PAPER	06/05/2025	108366	\$282.71
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:KLEENEX	06/05/2025	9002186	\$27.31
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:BATTERIES/COFFEE	06/05/2025	9002186	\$62.17
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:ANNUAL MEMBERSHIP	06/05/2025	9002186	\$379.54
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:CREAMER	06/05/2025	9002186	\$26.98
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:HAND SOAP	06/05/2025	9002186	\$20.65
CULLIGAN OF SAN DIEGO	MAY 25- WATER / JUN 25-EQUIPMENT-LC	06/13/2025	108380	\$34.67
CULLIGAN OF SAN DIEGO	MAY 25- WATER / JUN 25-EQUIPMENT-CH	06/13/2025	108380	\$172.35

**TOTAL SUPPORT SERVICES****\$1,006.38****1005400 - HUMAN RESOURCES**

FEDEX	SHIPPING - 05/20/25	06/13/2025	108381	\$27.84
RYDER HARRIS	REIMB: MANDATED TRAINING	06/13/2025	108393	\$8.99

**TOTAL HUMAN RESOURCES****\$36.83****1005450 - INFORMATION SERVICES**

WESTERN AUDIO VISUAL	AV MAINTENANCE SUPPORT	06/13/2025	108404	\$499.00
VERIZON WIRELESS SD	670601022-00001 - 04/24/25-05/23/25	06/13/2025	108403	\$128.05

**TOTAL INFORMATION SERVICES****\$627.05****1005560 - BUILDING SERVICES**

ESGIL CORPORATION	APR 25-BUILDING/SAFETY PLAN REVIEW	06/05/2025	9002189	\$29,482.44
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**TOTAL BUILDING SERVICES****\$29,482.44****1005590 - CODE ENFORCEMENT**

DATATICKET INC.	APR 25-PARKING CITE ADMIN	06/05/2025	108357	\$360.00
DATATICKET INC.	APR 25-PARKING CITE ADMIN	06/05/2025	108357	\$1,493.86
VERIZON WIRELESS SD	442224168-0001 - 04/24/25-05/23/25	06/13/2025	108403	\$192.45
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$144.35

**TOTAL CODE ENFORCEMENT****\$2,190.66****1006110 - LAW ENFORCEMENT**

SAN DIEGO COUNTY SHERIFFS OFFICE	APR 25-LAW ENFORCEMENT SVC	06/13/2025	108394	\$425,621.14
SAN DIEGO COUNTY SHERIFFS OFFICE	APR 25-CR TOW FEE/SB OVERTIME/CSO CRDIT FEB-APR 25	06/13/2025	108394	(\$1,233.94)
SAN DIEGO COUNTY SHERIFFS OFFICE	APR 25-CR TOW FEE/SB OVERTIME/CSO CRDIT FEB-APR 25	06/13/2025	108394	\$962.67

**TOTAL LAW ENFORCEMENT****\$425,349.87****1006120 - FIRE DEPARTMENT**

WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$55.74
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**TOTAL FIRE DEPARTMENT****\$55.74****1006130 - ANIMAL CONTROL**

HABITAT PROTECTION, INC	MAY 25-DEAD ANIMAL REMOVAL	06/05/2025	9002190	\$330.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	JUN 25-ANIMAL SERVICES	06/13/2025	108395	\$7,603.00
<b>TOTAL ANIMAL CONTROL</b>				<b>\$7,933.00</b>
<b>1006150 - CIVIL DEFENSE</b>				
AT&T CALNET 3	9391012275-04/24/25-05/23/25	06/05/2025	108354	\$155.55
<b>TOTAL CIVIL DEFENSE</b>				<b>\$155.55</b>
<b>1006170 - MARINE SAFETY</b>				
GREG URUBURU	REIMB: MS REGIONAL MEETING FOOD	06/13/2025	108402	\$278.67
GOLDEN TELECOM, INC.	LG TOWER PHONE TRBL SHTNG	06/13/2025	108383	\$195.00
GOLDEN TELECOM, INC.	TP PHONE TRBL SHTNG	06/13/2025	108383	\$435.00
GLOBE AIRCRAFT COMPANY	VEHICLE GRAPHICS REMOVAL & APPLICATION	06/13/2025	108382	\$492.35
GLOBE AIRCRAFT COMPANY	VEHICLE GRAPHIC REMOVAL & APPLICATION	06/13/2025	108382	\$492.35
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$1,332.03
<b>TOTAL MARINE SAFETY</b>				<b>\$3,225.40</b>
<b>1006510 - ENGINEERING</b>				
UNDERGROUND SVC ALERT OF SOCAL INC	MAY 25-DIG ALERT	06/13/2025	9002209	\$98.80
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$151.94
JASON JUNG	NACTO CONF-05/22-05/31	06/13/2025	108387	\$2,989.98
<b>TOTAL ENGINEERING</b>				<b>\$3,240.72</b>
<b>1006520 - ENVIRONMENTAL SERVICES</b>				
CITY OF SAN DIEGO, CITY TREASURER	FY25 WQIP SAN DIEGUITO WATERSHED MANAGEMENT AREA	06/05/2025	108356	\$24,281.61
IDRAINS LLC	Y-STORMDRAIN VIDEO INSPECTIONS	06/05/2025	108352	\$1,300.00
IDRAINS LLC	H-STORMDRAIN MAINT	06/05/2025	108352	\$1,700.00
IDRAINS LLC	K-STORMDRAIN INSPECTIONS	06/05/2025	108352	\$1,700.00
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/05/2025	108361	\$16.96
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$16.97
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$16.96
IDRAINS LLC	P-STORM DRAIN MAINT-28	06/13/2025	108370	\$3,080.00
COUNTY OF SAN DIEGO_3710	FY24/25-STORMWATER SHARED COST PROGRAM	06/13/2025	108379	\$4,686.58
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$442.00
<b>TOTAL ENVIRONMENTAL SERVICES</b>				<b>\$37,241.08</b>
<b>1006530 - STREET MAINTENANCE</b>				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/05/2025	108361	\$27.56
WEST COAST ARBORISTS INC	APR 25 CITY-WIDE TREE MAINTENANCE	06/05/2025	108367	\$1,470.00
R&C STRUCTURES, INC	GRATE	06/05/2025	108363	\$528.53
BFS GROUP OF CALIFORNIA LLC	FLIP KNIFE PACK	06/05/2025	108358	\$26.09
BFS GROUP OF CALIFORNIA LLC	GLOVES/BLACK TOP PATCHS	06/05/2025	108358	\$328.35
BFS GROUP OF CALIFORNIA LLC	LANTERN BATTERYS/PAINTERS TAPE	06/05/2025	108358	\$104.62
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$400.57
BFS GROUP OF CALIFORNIA LLC	CHLORINE TABS	06/05/2025	108358	\$65.24
TRAFFIC SUPPLY, INC	SIGNS/BASES	06/05/2025	9002197	\$873.63
TRAFFIC SUPPLY, INC	CONES	06/05/2025	9002197	\$244.47
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$27.55
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$27.56
NISSHO OF CALIFORNIA	APR 25- CITY-WIDE LANDSCAPE	06/13/2025	9002203	\$2,178.12
<b>TOTAL STREET MAINTENANCE</b>				<b>\$6,302.29</b>
<b>1006540 - TRAFFIC SAFETY</b>				
CHEN RYAN ASSOCIATES	MAR-APR 25-TRAFFIC CONSULTING	06/13/2025	108376	\$14,730.00
ALL CITY MANAGEMENT SERVICES, INC	CROSSING GUARDS-05/11/25-05/24/25	06/13/2025	9002198	\$12,851.56
AT&T CALNET 3	9391012279 - 04/24/25-05/23/25	06/13/2025	108371	\$32.83



AT&T CALNET 3	9391012279 - 04/24/25-05/23/25	06/13/2025	108371	\$34.62
<b>TOTAL TRAFFIC SAFETY</b>				<b>\$27,649.01</b>
<b>1006550 - STREET CLEANING</b>				
SCA OF CA, LLC	MAY 25- STREET SWEEPING SERVICES	06/13/2025	9002206	\$3,952.53
<b>TOTAL STREET CLEANING</b>				<b>\$3,952.53</b>
<b>1006560 - PARK MAINTENANCE</b>				
RANCHO SANTA FE PROTECTIVE SERVICES INC	JUN 25- SECURITY PATROL SERVICES ONLY	06/05/2025	9002194	\$695.00
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/05/2025	108361	\$20.14
BFS GROUP OF CALIFORNIA LLC	MULCH/PROPANE EXCHANGE	06/05/2025	108358	\$82.53
RANCHO SANTA FE SECURITY SYS INC	JUN 25-RESTROOM LKUP/ALARM MONITORING	06/05/2025	108364	\$386.40
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$20.13
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$20.14
RANCHO SANTA FE SECURITY SYS INC	CODE ADDED-CH	06/13/2025	108391	\$10.00
RANCHO SANTA FE SECURITY SYS INC	CODE ADDED-CH	06/13/2025	108391	\$10.00
NISSHO OF CALIFORNIA	APR 25- CITY-WIDE LANDSCAPE	06/13/2025	9002203	\$14,322.61
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$82.87
<b>TOTAL PARK MAINTENANCE</b>				<b>\$15,649.82</b>
<b>1006570 - PUBLIC FACILITIES</b>				
SEASIDE HEATING & AIR CONDITIONING	MAY 25- HVAC SERVICES-LC	06/05/2025	108365	\$180.00
SEASIDE HEATING & AIR CONDITIONING	MAY 25- HVAC SERVICES-CH	06/05/2025	108365	\$360.00
SEASIDE HEATING & AIR CONDITIONING	MAY 25- HVAC SERVICES-CH	06/05/2025	108365	\$1,220.00
WEST COAST ARBORISTS INC	APR 25 CITY-WIDE TREE MAINTENANCE	06/05/2025	108367	\$1,470.00
BFS GROUP OF CALIFORNIA LLC	WALL MOUNT FAUCET	06/05/2025	108358	\$93.51
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$138.12
SEASIDE HEATING & AIR CONDITIONING	FY25 HVAC SERVICES-MS	06/13/2025	108397	\$120.00
NISSHO OF CALIFORNIA	APR 25- CITY-WIDE LANDSCAPE	06/13/2025	9002203	\$10,829.59
STANDARD PLUMBING SUPPLY COMPANY	HUB COUPLING/FLAT COVER	06/13/2025	108398	\$29.45
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-CH	06/13/2025	108377	\$301.54
<b>TOTAL PUBLIC FACILITIES</b>				<b>\$14,742.21</b>
<b>1007110 - GF-RECREATION</b>				
CALIFORNIA OFFICE CLEANING, INC	MAY 25-FCCC CLEANING	06/13/2025	9002200	\$150.00
ABLE PATROL & GUARD INC	MAY- FCCC GAURD SVC	06/13/2025	108369	\$324.00
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$41.98
<b>TOTAL GF-RECREATION</b>				<b>\$515.98</b>
<b>1205460 - SELF INSURANCE RETENTION</b>				
JON K TAKATA CORPORATION	LA COLONIA RESTORATION PROJECT	06/13/2025	108392	\$21,218.46
<b>TOTAL SELF INSURANCE RETENTION</b>				<b>\$21,218.46</b>
<b>1356170 - ASSET REPLACEMENT-MARN SFTY</b>				
MOTOROLA SOLUTIONS INC	ASSET REPLACEMENT/ TRUCK RADIO (COUNTY CONTRACT)	06/05/2025	108362	\$6,584.12
GLOBE AIRCRAFT COMPANY	LG GRAPHICS APPLIED VEHICLE	06/13/2025	108382	\$946.13
GLOBE AIRCRAFT COMPANY	GRAPHICS APPLIED TO VEHICLE	06/13/2025	108382	\$565.50
<b>TOTAL ASSET REPLACEMENT-MARN SFTY</b>				<b>\$8,095.75</b>
<b>1356510 - ASSET REPLACEMENT-ENGINEER</b>				
CENTRAL SQUARE	GIS SERVICES	06/05/2025	108355	\$90.00
<b>TOTAL ASSET REPLACEMENT-ENGINEER</b>				<b>\$90.00</b>
<b>1357110 - ASSET REPLACEMENT- RECREATION</b>				
AUTO TRUCK GROUP, LLC.	LIGHTBAR MOUNT/LIGHTBAR/PARTS/LABOR	06/13/2025	108401	\$1,392.64
<b>TOTAL ASSET REPLACEMENT- RECREATION</b>				<b>\$1,392.64</b>
<b>2037510 - HIGHWAY 101 LANDSC #33</b>				

NISSHO OF CALIFORNIA	APR 25- CITY-WIDE LANDSCAPE	06/13/2025	9002203	\$1,803.79
<b>TOTAL HIGHWAY 101 LANDSC #33</b>				<b>\$1,803.79</b>
<b>2047520 - MID 9C SANTA FE HILLS</b>				
SANTA FE HILLS HOA	JUN 25- SANTA FE HILLS HOA MID	06/13/2025	9002205	\$18,625.00
<b>TOTAL MID 9C SANTA FE HILLS</b>				<b>\$18,625.00</b>
<b>2057530 - MID 9E ISLA VERDE</b>				
ISLA VERDE HOA	JUN 25- ISLA VERDE HOA MID	06/13/2025	108386	\$433.33
<b>TOTAL MID 9E ISLA VERDE</b>				<b>\$433.33</b>
<b>2077550 - MID 9H SAN ELIJO #2</b>				
SAN ELIJO HILLS II HOA	JUN 25- SAN ELIJO HOA MID	06/13/2025	108396	\$11,100.00
<b>TOTAL MID 9H SAN ELIJO #2</b>				<b>\$11,100.00</b>
<b>2465200 - MISC GRANTS - CM</b>				
AMAZON.COM SALES, INC	INV:1K4C-HP6P-WJ91:BAMBOO UTENSIL DISPENSER	06/05/2025	9002186	\$184.05
<b>TOTAL MISC GRANTS - CM</b>				<b>\$184.05</b>
<b>2505570 - COASTAL BUSINESS/VISITORS</b>				
SAM CASTELLANO	SOUND EQUIPMENT-CONCERT @ THE COVE	06/13/2025	108375	\$1,440.00
CORONADO COMMUNITY BAND, INC	SUMMER CONCERT @ THE COVE-06/19/25	06/13/2025	108378	\$750.00
<b>TOTAL COASTAL BUSINESS/VISITORS</b>				<b>\$2,190.00</b>
<b>2556180 - JUNIOR LIFEGUARDS</b>				
BILL SMITH FOREIGN CAR SERVICE INC	JG TRUCK SVC/REPAIR	06/13/2025	108374	\$2,981.85
<b>TOTAL JUNIOR LIFEGUARDS</b>				<b>\$2,981.85</b>
<b>2706120 - PUBLIC SAFETY- FIRE</b>				
THE COUNSELING TEAM INTERNATIONAL	JUN 25-MENTAL WELLNESS SVC - FIRE	06/13/2025	9002208	\$468.00
<b>TOTAL PUBLIC SAFETY- FIRE</b>				<b>\$468.00</b>
<b>459 - MISC. CAPITAL PROJECTS</b>				
BERT W SALAS INC	FY24 SEWER & STORM DRAIN RETENTION	06/13/2025	108373	(\$9,882.29)
<b>TOTAL MISC. CAPITAL PROJECTS</b>				<b>(\$9,882.29)</b>
<b>4595450 - MISC.CAPITALPROJECTS-IS</b>				
AMAZON.COM SALES, INC	INV:1471-4QNG-MNM1:HDMI CABLE	06/05/2025	9002186	\$60.89
<b>TOTAL MISC.CAPITALPROJECTS-IS</b>				<b>\$60.89</b>
<b>4596510 - MISC.CAPITALPROJECTS-ENG</b>				
BERT W SALAS INC	FY24 SEWER & STORM DRAIN REHAB PROJECT	06/13/2025	108373	\$197,645.75
<b>TOTAL MISC.CAPITALPROJECTS-ENG</b>				<b>\$197,645.75</b>
<b>5097700 - SANITATION</b>				
IDRAINS LLC	J- SEWER-VACUUM	06/05/2025	108352	\$675.00
IDRAINS LLC	MAY 25-PREVENTIVE JETTER-CH	06/05/2025	108352	\$525.00
IDRAINS LLC	MAY 25-PREVENTIVE JETTER-LCCC	06/05/2025	108352	\$525.00
IDRAINS LLC	MAY 25-PREVENTIVE JETTER-FS	06/05/2025	108352	\$525.00
IDRAINS LLC	MAY 25-PREVENTIVE JETTER-PW	06/05/2025	108352	\$525.00
IDRAINS LLC	MAY 25-PREVENTIVE JETTER-MS	06/05/2025	108352	\$525.00
WEX FLEET UNIVERSAL	05/08/25-06/07/25-AUTO FUEL	06/13/2025	108405	\$165.75
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/05/2025	108361	\$10.59
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$10.60
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	06/13/2025	108390	\$10.59
IDRAINS LLC	O- SEWER-STORMDRAIN MAINT	06/13/2025	108370	\$1,340.00
IDRAINS LLC	J- SEWER-VACUUM	06/13/2025	108370	\$675.00
AT&T CALNET 3	9391012277 - 04/24/25-05/23/25	06/13/2025	108372	\$19.70
<b>TOTAL SANITATION</b>				<b>\$5,532.23</b>

**REPORT TOTAL: \$1,188,885.52**



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Engineering Department - Jason Jung, Senior Civil Engineer  
**SUBJECT:** **Consideration of Resolution 2025-060 Awarding a Construction Contract to A.B. Hashmi, Inc. and Resolution 2025-062 Approving a Professional Services Agreement with Verdantas Inc. for Geotechnical Engineering Special Inspection and Laboratory Testing for the Fletcher Cove Beach Access Improvements**

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### **BACKGROUND:**

The existing dissipator grate located adjacent to the Fletcher Cove ramp was installed in approximately 1998, as part of the North County Transit District (NCTD) Train Station project and associated drainage work. Due to the ocean weather and salt water, the dissipator grate is corroding and needs to be replaced. A Coastal Development Permit waiver from the California Coastal Commission was obtained in November 2023, for replacement of the dissipator grate and associated beach access ramp improvements.

A consultant prepared plans, specifications, and a cost estimate for removal and replacement of the beach access ramp and dissipator grate, and improvements to the shower area at Fletcher Cove. Staff advertised the project through the competitive bidding process and the City received 10 construction bids for the Fletcher Cove Beach Access Improvement Project, Bid 2025-05. The ten bids were opened by the City Clerk and read on May 8, 2025.

Staff also issued a Request for Proposals (RFP) to solicit proposals from consultants experienced in geotechnical engineering special inspection and laboratory testing and specifically having access to a testing laboratory to address the inspection and testing requirements for the reinforced concrete of the Fletcher Cove Beach Access Improvement Project.

COUNCIL ACTION:

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This item is before the City Council to consider adoption of Resolution 2025-060 (Attachment 1) that would award a construction contract to A.B. Hashmi, Inc., the lowest responsive and responsible bidder, for the Fletcher Cove Beach Access Improvement Project. In addition, before the City Council, is consideration of Resolution 2025-062 (Attachment 2) to authorize the City Manager to execute a Professional Services Agreement with Verdantas Inc. for Geotechnical Engineering Special Inspection and Laboratory Testing for the Fletcher Cove Beach Access Improvement Project.

### **DISCUSSION:**

The design documents for the Fletcher Cove Improvement Project, Bid 2025-05, were prepared and the project was advertised for construction bids in March 2025. On May 8, 2025, 10 bids for the Bid No. 2025-05 were received and publicly opened by the City Clerk. The bid results are listed below in Table 1:

**Table 1: Bid Results**

<b>Contractors</b>	<b>Base Bid</b>
A.B. Hashmi, Inc.	\$ 432,525.00
Blue Pacific Engineering Construction, Inc.	\$ 435,830.00
Fordyce Construction, Inc.	\$ 439,133.00
Wright Construction Engineering Corp.	\$ 442,260.00
HSCC, Inc.	\$ 453,000.00
Sierra Pacific West, Inc.	\$ 460,796.00
Montano Pipeline, Inc.	\$ 477,350.00
Western Rim Constructors, Inc.	\$ 562,865.00
Palm Engineering Construction Company, Inc.	\$ 633,100.00
Granite Construction Company	\$ 659,899.00

Wright Construction Engineering Corp. submitted a bid protest (Attachment 3) regarding the apparent low bidder A.B. Hashmi, Inc. and the third apparent low bidder, Fordyce Construction Inc. The bid protest stated that A.B. Hashmi, Inc. and Fordyce Construction Inc. failed to list subcontractors, failed to impress their signature, and had a bid item clerical error. Staff has determined that the three items outlined in their bid protest does not have legitimate reasons for rejecting the apparent low bid submitted by A.B. Hashmi, Inc.

The apparent low bid submitted by A.B. Hashmi, Inc. was found to be complete and responsive to the bid specifications. Prior work references were checked and found to be satisfactory, and A.B. Hashmi, Inc. has a valid contractor's license. Staff is recommending that A.B. Hashmi, Inc. be awarded the construction contract. The estimated contract duration is 70 working days (14 weeks). Since the waiver approved by the California Coastal Commission does not allow for work between Memorial Day and Labor Day, it is

anticipated that construction of the Project will begin in the Fall and be completed by January 2026.

City staff do not have the capability to conduct geotechnical engineering special inspection and laboratory testing. Verdantas Inc. was selected as a consultant who will independently conduct geotechnical engineering special inspection and laboratory testing on behalf of the City to verify all inspection and testing requirements for the reinforced concrete of the Fletcher Cove Beach Access Improvement Project are met.

### **CEQA COMPLIANCE STATEMENT:**

The Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) and 15302 of the State CEQA Guidelines in that the proposed project will be replacing the existing emergency vehicle ramp, sidewalk and other associated improvements that provide access to the public beach.

### **FISCAL IMPACT:**

The anticipated project costs are listed below.

Item	Amount
Construction Contract – A.B. Hashmi, Inc.	\$432,525
Construction Contingency (12%)	\$52,000
Professional Services Agreement with Verdantas Inc.	\$25,301
<b>Total</b>	<b>\$509,826</b>

The Fiscal Year (FY) 2024/25 Capital Improvement Plan (CIP) budget included \$250,000 for the replacements of the access ramp, dissipator, and shower at Fletcher Cove. The allocated budget did not account for the water line, conduit, and the increase in construction costs from the project's initial conception in 2017, which results in a construction shortfall of \$234,525. In addition, this budget did not account for the need to hire a geotechnical engineering consultant, which further increased the total shortfall to \$259,826. Staff is requesting a \$23,800 transfer from Beach Related Reserve 100-34120 to Misc CIP 4596510.66610 and an additional appropriation of \$210,725 from the Measure S Fund – Construction account 1106510.66610 and \$25,301 from the Measure S Fund – Professional Services account 1106510.65300 to supplement the previous funding that was rolled over to the current fiscal year to cover the shortfall. Final project costs will be reported to the City Council after the completion of the construction period as part of filing the Notice of Completion.

### **WORK PLAN:**

This project is consistent with Item 5 (Fletcher Cove Improvements) of the Environmental Sustainability and Energy section of the FY 2025/26 Work Plan.



**OPTIONS:**

- Adopt Staff recommendations and award construction contract.
- Modify aspects of this project and award construction contract as amended (if applicable).
- Reject construction bids and provide alternative direction to Staff.

**CITY STAFF RECOMMENDATION:**

Staff recommends that the City Council:


1. Adopt Resolution 2025-060:

- a. Awarding a construction contract to A.B. Hashmi, Inc., in the amount of \$432,525, for the Fletcher Cove Beach Access Improvement Project, Bid 2025-05.
- b. Approving an amount of \$52,000 for construction contingency.
- c. Authorizing the City Manager to execute the construction contract on behalf of the City.
- d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.
- e. Authorizing \$23,800 transfer from Beach Related Reserve 100-34120 to Misc. CIP account 4596510.66610 and appropriating \$210,725 from the Measure S Fund – Construction account 1106510.66610 for the Fletcher Cove Beach Access Improvement Project.
- f. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.

2. Adopt Resolution 2025-062:

- a. Authorizing the City Manager to execute a professional services agreement for a one-year term, in an amount not to exceed \$25,301, with Verdantas Inc. for Geotechnical Engineering Special Inspection and Laboratory Testing for Fletcher Cove Beach Access Improvement Project, Bid No. 2025-05.
- b. Authorizing an appropriation of \$25,301 from the Measure S Fund – Professional Services account 1106510.65300 for the Fletcher Cove Beach Access Improvement Project.

- c. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.

  
Ayssa Muto, City Manager

Attachments:

1. Resolution 2025-060
2. Resolution 2025-062
3. Bid protest submitted by Wright Construction Engineering Corp.

## **RESOLUTION 2025-060**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT TO A.B. HASHMI, INC. FOR THE FLETCHER COVE BEACH ACCESS IMPROVEMENTS**

**WHEREAS**, the Fiscal Year (FY) 2024/25 Capital Improvement Program (CIP) budget included \$250,000 for the replacement of the access ramp and dissipator grate, and installation of a shower at Fletcher Cove. The allocated budget did not account for the water line, conduit, and the increase in construction costs from the project's initial conception in 2017, which results in a construction shortfall of \$234,525. Staff is requesting a \$23,800 transfer from Beach Related Reserve 100-34120 to Misc. CIP 4596510.66610 and \$210,725 from the Measure S Construction Account 1106510.66610 to supplement the previous funding that was rolled over to the current fiscal year to cover the shortfall; and

**WHEREAS**, on May 8, 2025, 10 bids for the Fletcher Cove Beach Access Improvements Project, Bid 2025-05, were received and publicly opened by the City Clerk. At that time, it was determined that A.B. Hashmi, Inc. was the apparent low bidder with a construction estimate of \$432,525; and

**WHEREAS**, Staff recommends a construction contingency of approximately 12%, in the amount of \$52,000, for unanticipated extra work.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council awards a construction contract to A.B. Hashmi, Inc., in the amount of \$432,525, for the Fletcher Cove Beach Access Improvement Project, Bid 2025-05.
3. That the City Council approves an amount of \$52,000 for construction contingency.
4. That the City Council authorizes the City Manager to execute the construction contract on behalf of the City.
5. That the City Council authorizes the City Manager to approve cumulative change orders up to the construction contingency amount.
6. That the City Council authorizes \$23,800 transfer from Beach Related Reserve 100-34120 to Misc. CIP account 4596510.66610 and appropriates \$210,725 from the Measure S Fund – Construction account 1106510.66610 for the Fletcher Cove

Beach Access Improvements project.

7. That the City Council authorizes the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.

**PASSED AND ADOPTED** this 2nd day of July 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk

## **RESOLUTION 2025-062**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT WITH VERDANTAS INC. FOR GEOTECHNICAL ENGINEERING SPECIAL INSPECTION AND LABORATORY TESTING FOR THE FLETCHER COVE BEACH ACCESS IMPROVEMENTS, BID NO. 2025-05**

**WHEREAS**, the Fletcher Cove Beach Access Improvement Project will replace the access ramp and dissipator grate, and install a new shower which requires special inspections and various types of testing of the reinforced concrete to ensure a successful project; and

**WHEREAS**, to address the inspection and testing requirements of the Fletcher Cove Beach Access Improvement Project, Staff issued a Request for Proposals (RFP) to solicit proposals from consultants experienced in geotechnical engineering special inspection and laboratory testing and specifically having access to a testing laboratory; and

**WHEREAS**, after a detailed review of six proposals received in response to the RFP, Staff is recommending that a contract be pursued with Verdantas Inc. Although the other firms that submitted proposals have relevant geotechnical engineering special inspection and laboratory testing backgrounds and are well regarded in the area, the proposal and experience provided by Verdantas Inc. is superior to the other firms.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a professional services agreement for a one-year term, in an amount not to exceed \$25,301, with Verdantas Inc. for Geotechnical Engineering Special Inspection and Laboratory Testing for Fletcher Cove Beach Access Improvement Project, Bid No. 2025-05.
3. Authorizing appropriation of \$25,301 from the Measure S Fund – Professional Services account 1106510.65300 to the Fletcher Cove Beach Access Improvement Project.
4. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.

**PASSED AND ADOPTED** this 2<sup>nd</sup> day of July 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk

Wright Construction Engineering Corp  
2625 S. Santa Fe Avenue  
San Marcos, CA 92069  
Tel 760-599-3915 x 102  
Fax 760-599-3920  
Wwright@wcec.net



SENT VIA CERTIFIED MAIL & EMAIL  
(AIVEY@COSB.ORG)

May 19, 2025

To: City Clerk (Angela Ivey)  
City of Solana Beach  
635 South Highway 101,  
Solana Beach, CA 92075

RE: Fletcher Cove Improvements Project

Subject: Formal Bid Protest- Fordyce Construction, Inc & A.B. Hashmi, Inc.. Bid Proposals

To Whom It May Concern,

Wright Construction Engineering Corp hereby formally submits this bid protest per the guidelines of Public Contracting Code Section 10345(a)(2) (See Attached Exhibit "A") regarding the apparent low bidder A.B. Hashmi, Inc & the second apparent low bidder, Fordyce Construction, Inc for the Fletcher Cove Improvements Project that bid on May 8, 2025. Based on our review of their bid packages, we have identified material violations of the bid specifications and California Public Contracting Laws that render both A.B. Hashmi, Inc. and Fordyce Construction, Inc. bid packages as non-responsive and non-responsible bidder under the terms and applicable law.

- 1) **Failure to List Mandatory Subcontractors (Violation of California Subletting and Subcontracting Fair Practice Act).** A.B. Hashmi, Inc & Fordyce Construction, Inc. both **failed to list** subcontractors (See Attached Exhibit "B") for a key component of the project requirements (Surveying) of which this scope of work would have exceeded the 0.5% of their bid amount (See Attached Exhibit "C" as proof of Surveying Cost for required work), making theme mandatory to list under **California Public Contracting Code Section 4104**. Moreover, both A.B. Hashmi, Inc and Fordyce Construction, Inc. do not hold a California Land Surveyors License, which is required to perform the work independently and that this omission constitutes a **direct violation** of the **California Subletting and Subcontracting Fair Practices Act Section 4100 & 4114**, which states that failure to list the required subcontractors to perform the required work is subject for rejection of a bid proposal.
- 2) **Failure to Comply with Instruction to Bidders:** A.B. Hashmi, Inc had made multiple oversights within their bid package that did not follow the requirements set forth by the City of Solana Beach. The first issue with the bid package is on page 12 of the bid proposal & page 16 (See Attached Exhibit "D"), all bidders are required to Impress the Corporate Seal of the authorized signer in order to authenticate the signers capacity, of which A.B. Hashmi did not follow this requirement. On page 9 of the bid proposal, for Bid Item #16 See Attached Exhibit "E"): Installation of Conduits, A.B. Hashmi had made a numerical error within their bid for this item of work as they had listed a unit price of \$125 per linear foot, with an extended amount of \$17,250.00, but the correct extended amount for 115 linear feet of conduit should of reflected the amount of \$14,375.00.

**3) Competitive Prejudice and Bid Fairness Violation.** The violations illustrated above create an unfair competitive advantage for both A.B. Hashmi, Inc. and Fordyce Construction, Inc at the expense of all fully compliant bidders including Wright Construction Engineering Corp. Allowing a non-compliant bid to be considered furthermore **compromises the integrity of the public bidding process and violates California Competitive Bidding Laws (Public Contract Code Section 100 et seq.)**

A bid must conform to the material terms of the bid package. (DeSilva Gates Constr. v. Department of Transp. (2015) 242 Cal.App.4th 1409; Menefee v. County of Fresno (1985) 163 Cal.App.3d 1175.) A bid is responsive if it promises to do what the bidding instructions demand. (Williams v. Clovis Unified Sch. Dist. (2007) 146 Cal.App.4th 757; Valley Crest Landscape Inc. v. City of Davis (1996) 41 Cal.App.4th 1432, 1438.)

Responsiveness should be determined from the face of the bid. (Great W. Contractors, Inc. v. Irvine Unified Sch. Dist. (2010) 187 Cal.App.4th 1425.) However, a bid may be responsive even if there is a discrepancy in the bid, as long as the discrepancy is inconsequential, that is, the discrepancy must not (1) affect the amount of the bid; (2) give a bidder an advantage over others (e.g., give a bidder an opportunity to avoid its obligation to perform by withdrawing its bid without forfeiting its bid security – based on the right to request relief under Public Contract Code section 5103); (3) be a potential vehicle for favoritism; (4) influence potential bidders to refrain from bidding; or (5) affect the ability to make bid comparisons. (Ghilotti Constr. Co. v. City of Richmond (1996) 45 Cal.App.4th 897; Bay Cities Paving & Grading, Inc. v. San Leandro (2014) 223 Cal.App.4th 1181.) That being said, the City has no authority to waive errors that make the bid materially different than intended. (See Valley Crest Landscape, Inc. v. City of Davis (1996) 41 Cal.App.4th 1432.)

**Request for Corrective Action**

Given these clear violations, we formally request that the City of Oceanside:

- 1) Reject A.B. Hashmi, Inc and Fordyce Construction, Inc bid as non-responsive and non-responsible based on the aforementioned deficiencies.
- 2) Award the contract to the next lowest responsive and responsible bidder, which is Wright Construction Engineering Corp
- 3) If necessary, conduct a formal review hearing in accordance with Public Contracting Code Section 10306 to ensure the bid protest is properly adjudicated.

Wright Construction appreciates the opportunity to provide the City with a responsive bid proposal and for the City's prompt attention to this matter and we look forward to your decision. Please confirm receipt of this protest and provide a timeline for review.

Thank You,



**Wesley Wright**

WRIGHT CONSTRUCTION ENGINEERING CORP





# Fordyce Construction, Inc

(To Accompany Proposal)

**Bid No.: 2025-05**

The Bidder certifies that it has used the sub-bid of the following listed subcontractors in preparing this bid for the work and that the listed subcontractors will be used to perform the portions of the work as designated in this list in accordance with applicable provisions of the specifications and section 4100 et seq. of the Public Contract Code, "Subletting and Subcontracting Fair Practices Act." The Bidder further certifies that no additional subcontractor will be allowed to perform any portion of the Work in excess of one-half of one percent (0.5%) of the Bidder's total bid, or in the case of bids or offers for construction of streets and highways, including bridges, in excess of one-half of one percent (0.5%) or ten thousand dollars (\$10,000), whichever is greater, and that no changes in the subcontractors listed work will be made except upon the prior approval of the CITY.

## SUBCONTRACTOR'S BID ITEMS

[illegible]

Page 1 of 1 pages of this Subcontractor Designation form

\* Pursuant to Section 4104 (a)(2)(A) of the California Public Contract Code, receipt of the information preceded by an asterisk may be submitted by the Bidder up to 24 hours after the deadline for submitting bids contained in the "Notice Inviting Bids."



# Golden Triangle

Land Surveying, Inc.

MAY 6, 2025



STATE OF CALIFORNIA  
MICRO SMALL BUSINESS  
DIR REGISTRATION 1000015071  
SAN DIEGO CITY ELBE 4GT1335

DVBE CERTIFICATION #1770328

**RE: FLECTER COVE**

This office would like to provide the construction surveying required for the completion of the above project. I have enclosed a proposal for specific items that are normally required to complete a project by a general contractor.

However, if you require any further staking or a deletion of any proposal item please call with your request. My cell phone number is 760.207.1115

Sincerely,

**GOLDEN TRIANGLE LAND SURVEYING, INC.**

**A DVBE CERTIFIED COMPANY**

Willard Hall  
President  
PLS 6788

**PAGE 1 OF 2**

# Golden Triangle Land Surveying, Inc

RE: FLETCHER COVER

## FACE CURB TWO SITE PHASES

Stake at all angle points and 25 foot intervals on two site visit.

One site visit, one side; the second site visit; the other side

**TOTAL BASE BID \$ 6,400**

## WATER

**ADD \$ 1,300**

Stake at 50 foot intervals on one site visit separate from the curb.

### NOTES AND CLARIFICATIONS

- A. MINIMUM Three working days notice is required for each staking request.
- B. This bid is only for the specific items noted above and does not include: alluvial removal cross sections; asbuilts; replacement of lost, stolen or destroyed stakes; property corner research or offset, *replacement of lost or destroyed property corners, benchmarks or control points* **UNLESS SPECICALLY NOTED ABOVE.**
- C. Additional work is per schedule of rates available from our office. The minimum staking as outlined above is required or an additional charge will be incurred.
- D. *Traffic control provided and paid by General Contractor.*

# Exhibit "D"

1 of 2

IF A CORPORATION, SIGN HERE:

(1) Name under which business is conducted A. B. HASHMI, INC.

(2) [Signature]  
(Signature)

CEO  
(Title)

Impress Corporate Seal here

(3) Incorporated under the laws of the State of CALIFORNIA

(4) Place of Business 13066 DEER CANYON COURT  
(Street and Number) SAN DIEGO, CA 92131  
City and State

(5) Zip Code 92131 Telephone No. 760-672-8059

(6) E-Mail info@abhashmi.com

NOTARIAL ACKNOWLEDGMENT OF EXECUTION BY ALL SIGNATORIES MUST BE ATTACHED

If a corporation, list names below of president, vice president, secretary and assistant secretary.

<u>AHMAD HASHMI - CEO &amp; SEC.</u>	<u></u>
<u>NAZIA HASHMI - CFO</u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

# Exhibit "D"

2 of 2

## BIDDER'S BOND

(To Accompany Proposal)

Fletcher Cove Improvements

Bid No.: 2025-05

KNOW ALL MEN BY THESE PRESENTS that A B Hashmi, Inc.  
, as BIDDER, and Old Republic Surety Company  
, as SURETY, are held and firmly bound unto the City of  
Solana Beach (CITY), in the penal sum of Ten Percent of Total Bid Amount  
 dollars (\$10% of Bid Amount), which sum is not less than ten  
percent (10%) of the total amount bid by BIDDER to the CITY for the above stated project, and for the  
payment of which sum, BIDDER and SURETY agree to be bound, jointly and severally, firmly by these  
presents.

THE CONDITIONS OF THIS OBLIGATION ARE SUCH that, whereas BIDDER is about to submit a bid  
to the CITY for the above stated project, if said bid is rejected, or if said bid is accepted and a contract is  
awarded and entered into by BIDDER in the manner and time specified, then this obligation shall be null  
and void, otherwise it shall remain in full force and effect in favor of the CITY.

IN THE EVENT SUIT IS BROUGHT UPON THIS BOND by the CITY, and judgment is recovered, the  
SURETY shall pay all costs incurred by CITY in such suit, including a reasonable attorney's fee.

IN WITNESS WHEREOF the parties hereto have set their names, titles, hands and seals this \_\_\_\_  
23rd day of April, 2025.

BIDDER: A B Hashmi, Inc.

By: 

SURETY: Old Republic Surety Company

By: 

Kim Truong, Attorney-in-Fact

NOTORIAL ACKNOWLEDGMENT OF EXECUTION BY BIDDER AND SURETY,  
IN THE PROPER FORMAT, SHALL BE ATTACHED TO THIS BOND.



# Exhibit "E"

## CONTRACTOR'S PROPOSAL CITY OF SOLANA BEACH

Fletcher Cove Improvements  
Bid No.: 2025-05

City Council  
City of Solana Beach  
635 South Highway 101  
Solana Beach, CA 92075

The undersigned declares he/she has carefully examined the location of the work, read the Notice Inviting Bids, examined the Plans, Specifications, General Provisions, Contract Documents, and addenda thereto, and hereby proposes to furnish all labor, materials, equipment, transportation, and services required to do all the work to complete Bid No. 2025-05 in accordance with the Plans, Specifications, General Provisions, Contract Documents, and addenda thereto and that he/she will take in full payment therefore the following unit prices for each item complete, to wit:

### BID SCHEDULE

Estimate Quantities: The quantities given in the proposal and contract form are *approximate*, being given as a basis for the comparison of bids only, and the City does not expressly or by implication, agree that the actual amount of work will correspond therewith, but reserves the right to increase or decrease the amount of any class or portion of the work, or to omit any portion of the work, as may be deemed advisable or necessary by the City Engineer.

### BID ITEMS

Item	Description	Unit	Estimated Quantity	Unit Price	Extended Amount
1.	Mobilization & Demobilization (may not exceed 6% of the total bid amount)	LS	1	20000	20000.00
2.	Site Demolition and Removals	LS	1	70000	70000.00
3.	Replacements, Relocations and Adjustments	LS	1	5000	5000.00
4.	Aggregate Base	CY	60	150	9000.00
5.	PCC Sidewalk with monolithic curbs	SF	830	25	20750.00
6.	Reinforced Concrete Paving with monolithic curbs	SF	3200	35	112000.00
7.	Sloped Protection Barrier Structural Steel	LS	1	40000	40000.00
8.	Remove and Replace Stairway Railing	LS	1	10000	10000.00
9.	Furnish and Install Pedestrian Railing	LF	132	200	26400.00
10.	Install Shower	LS	1	10000	10000.00
11.	Furnish and Install 2" Water Line	LF	265	100	26500.00
12.	Wall Repair	SF	80	200	16000.00
13.	Remove and Replace Metal Gate	EA	1	10000	10000.00
14.	Erosion Control and Minor Water Pollution Control Plan (WPCP)	LS	1	A.B.H. 20000 10000	A.B.H. 20000.00 10000.00
15.	Traffic Control and Public Safety	LS	1	25000	25000.00
16.	Installation of Conduits	LF	115	125 10000	11500.00 17250.00
17.	Installation of Pull Box	EA	3	2500	7500.00





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** City Clerk's Department - Angela Ivey, City Clerk  
**SUBJECT:** **Council Meeting Automated Agenda Management System Software**

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### **BACKGROUND:**

The City's internal process for managing Council agendas is largely manual and relies on a system of shared files and tracking spreadsheets that is susceptible to error. The City previously used Granicus for approximately seven years but ended that contract around 2013 due to persistent issues with its voting system.

During the COVID-19 pandemic, the City shifted the process from printed reports to electronic formats due to the requirement for remote work. Despite that transition, the current workflow for preparing City Council staff reports and agendas continues to present several challenges. These include difficulties in maintaining version control, the absence of a clear audit trail for changes, reliance on email-based approvals, and the need for manual website updates requiring each report to be uploaded individually. This process can result in duplication of documents, inconsistent records, and difficulty tracking the status of reports.

The purpose of this report is to seek Council approval to implement a Council Agenda Report management software contract for 3 years, with two one-year extensions, that would streamline internal approval routing, enable efficient tracking, and facilitate online posting with robust search functionality.

### **DISCUSSION:**

An agenda management software system is used to streamline internal workflows by allowing authors to collaborate on edits and approvals within a single platform, ensuring consistent document versions and minimizing errors. It also enhances accessibility and tracking of all reports, supporting the seamless publishing of agendas to the City's website. Agenda management systems also simplify agenda creation and insertion of

COUNCIL ACTION:

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links within staff reports, and publish post-agenda supplemental items in a user-friendly, publicly accessible searchable format available in both HTML and PDF formats. This provides greater accessibility, allowing users to view content anytime, from anywhere, on a wide range of devices.

The benefits of an agenda management system to City Staff include improved and streamlined workflows throughout the pre- and post-Council meeting processes, centralized document version control to eliminate duplication, and a clear audit trail for all changes for both authors and approvers. The system also reduces the inefficiencies of email-based editing and provides remote access to users.

City Staff began conducting research in 2022 for municipal agenda management software vendors and determined that many local cities have contracted with eScribe. Through follow-up with those cities, Staff has received consistent positive feedback about their experiences with the transition and operations. Presently, eScribe has over 40 clients in California, including the cities of Chula Vista, Coronado, Imperial Beach, La Mesa, and National City, as well as the agencies of the Port of San Diego and SANDAG. The three most recent eScribe agreements signed in California were with the cities of Fairfield (2024), Hermosa Beach (2024), and Coronado (2025). eScribe has over 500 customers worldwide and is trusted by numerous public sector organizations.

The City intends to select eScribe under sole source provisions based on its unique capabilities, compatibility with the City's existing systems, and alignment with the City's operational and strategic needs. The eScribe software is a high-quality, robust, and secure web-based meeting management platform that is designed to evolve continuously, ensuring the City has access to the most up-to-date features, scalable services, and a user-friendly technology. Based on the research and functional demos conducted with City Staff, eScribe demonstrated the following key benefits:

- **Customizability and Workflow Focus:** eScribe's software is highly advanced and customizable and is designed for handling complex workflows. Its ability to adapt to the City's specific governance and procedural needs ensures efficiency and transparency with minimal disruption to City operations.
- **User Experience and Adoption:** eScribe's platform prioritizes a user-friendly and intuitive end-user experience through streamlined interfaces and responsive support.
- **Microsoft Office Integration:** Unlike some other vendors, eScribe seamlessly and fully integrates with Microsoft Word. This allows City Staff to maintain utilization of familiar tools in their existing processes while automating document generation within the platform's workflow. This is particularly helpful, as some other vendors require a conversion process to import or export into Microsoft Office software.
- **Proven Public Sector Track Record:** eScribe is trusted by a wide range of municipalities and public organizations, including several San Diego County jurisdictions. Its successful deployments in similar environments demonstrate

reliability, security, and support excellence—critical for the City's compliance and operational standards.

- Support and Partnership: eScribe offers reliable technical support and a team-based partnership approach to solving problems. Their commitment to public sector clients ensures continuous improvement and alignment with emerging municipal needs.

Given these distinguishing features that meet all of the City's operational, technical, and strategic requirements, eScribe qualifies as a sole source procurement as a service that is uniquely suited for the City's particular needs and purposes. Its specific combination of workflow detail, user-centric design, full Microsoft integration, and proven public sector experience makes it the best vendor capable of delivering the required functionality.

Subject to Council approval and finalization of the agreement, City Clerk Staff will lead the implementation of the system in coordination with the Information Technology Department. The team will ensure the software is properly installed and configured, and testing will be conducted in collaboration with departments to transition existing agenda creation processes into new, streamlined workflows. The full rollout is expected to take approximately 12 weeks.

With any agenda management system, there will be some changes to formatting that may be noticeable as the system is pre-configured. With that in mind, careful consideration has been given to ensure that the transition to the new system delivers clear benefits across all user groups:

#### Report Writers

Report writers will continue to use Microsoft Office to draft their reports inside this program, maintaining a familiar working environment. The key improvement lies in submitting reports through a centralized system that tracks approvals and maintains a full audit trail of comments and edits, eliminating the need to rely on multiple emails and shared drives.

#### Report Approvers (Leadership and Strategic Management Teams)

Approvers will benefit from a centralized platform that allows them to view and manage the entire report lifecycle. The system supports real-time tracking of updates and changes, enabling multiple approvers to access and review content, improving transparency and reducing delays caused by traditional email and file-sharing methods.

**CEQA COMPLIANCE STATEMENT:** Approval of the eScribe contract is not a “project” under the California Environmental Quality Act (CEQA) because it is not an activity that may cause a direct or reasonably foreseeable indirect physical change in the environment, per Public Resources Code section 21065 and CEQA Guidelines section 15378.

**FISCAL IMPACT:**

The fiscal impact is under \$15,000 a year; Year 1 includes a one-time setup fee of \$2,600, and an annual fee of \$12,020, for a total of \$14,620. The contract is for three years with two additional year extensions for a total amount not to exceed \$70,000 over five years (See page 16 of Attachment 2). The amount has been budgeted under Professional Services in the City Clerk Asset Replacement budget account 1355150.65300.

**WORK PLAN:** N/A


**OPTIONS:**

- Approve Staff recommendation.
- Do not approve Staff recommendation and provide alternative direction.

**CITY STAFF RECOMMENDATION:**

Staff recommends that the City Council:

1. Adopt Resolution 2025-084 authorizing the City Manager to enter an agreement with eScribe for Council agenda management software services.

  
Ayssa Muto, City Manager

**Attachments:**

1. Resolution 2025-084
2. eScribe proposal

## **RESOLUTION 2025-084**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE AN AGREEMENT WITH ESCRIBE SOFTWARE LTD. FOR AUTOMATED AGENDA MANAGEMENT SOFTWARE**

**WHEREAS**, the City Council and Staff place a priority on organizational effectiveness; and

**WHEREAS**, the process of City Council agenda preparation is a frequent and recurring workload of the legislative process; and

**WHEREAS**, moving from a manual process to an automated process will streamline the process, aiding authors and approvers in tracking editing of reports to reach completion using a single, user-friendly platform that ensures consistent document tracking and version control; and

**WHEREAS**, utilizing an automated software system to publish reports will enhance the public's access and improve searchability by utilizing a platform that displays agenda materials in a practical format that allows for searching, reviewing, and downloading documents on multiple devices at any time; and

**WHEREAS**, eScribe offers an agenda management software platform that provides functionality, components, and services that uniquely serve the City's operational purposes, including full Microsoft Office integration, reliable document and version tracking features, user-friendly and easy public access, and significant experience working with public agencies.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to execute an agreement with eScribe for automated agenda management software implementation and maintenance services in an amount not to exceed \$70,000 over a 5-year period.
3. That approval of this contract is not a "project" under the California Environmental Quality Act (CEQA) because it is not an activity that may cause a direct or reasonably foreseeable indirect impact on the physical environment.

**PASSED AND ADOPTED** this 2<sup>nd</sup> day of July, 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

# City of Solana Beach Meeting Management System Proposal

James Coulen

[jcoulén@eScribemeetings.com](mailto:jcoulen@eScribemeetings.com)

416-890-9808

**Date:** June 23, 2025

**Valid Until:** July 31, 2025

## Situational Analysis

The City of Solana Beach is looking for a meeting management system to help improve efficiencies around their meeting processes, both internally and for public transparency.

## Project Goals

Based on our discussions to date, it is understood that the City of Solana Beach is seeking a way to improve meeting management to achieve the following project goals:

- Digitally create and manage public meetings for staff, elected officials and public
- Improve staff efficiency with automated workflow and approval processes
- Reduce late items and changes to agenda items after they have been published
- Efficiently create and distribute paperless agendas to meeting attendees

## High Level Timeline

The eScribe implementation plan is formulated with consultation between the Customer Project Team and the eScribe Implementation Consultant upon the finalization of the agreement. Below is a sample implementation schedule and may change depending on the modules selected and Customer's timelines.

Here is an overview of what you can expect during the implementation process:

### **Kick-Off Call** (*Week 1*)

- Review current processes
- Identify current challenges
- Review modules in scope
- Identify project goals
- Review onboarding plan
- Introduce core project team
- Schedule weekly project meetings



**Set-Up & Configuration** *(Week 2-4)*

- Build meeting templates
- User settings & permissions
- In-scope configurations
- Template sign-off

**Administrator Training** *(Week 5-9)*

- Training through eScribe Academy (LMS)
- Managing user permissions & templates
- Core agenda & minutes training
- Organizational settings
- Regular coaching in project meetings
- Review customer learning & support resources

**Go-Live Prep** *(Week 10)*

- Review go-live plan & strategy
- Review adoption best practices
- Monitor adoption process
- Ongoing training through eScribe Academy (LMS)
- Regular coaching in project meetings

**Post-Launch Review** *(Week 11+)*

- Go-live debrief
- Administrator feedback
- End-user feedback
- Plan for module(s) rollout, if applicable
- Set up regular account review cadence

## Our Recommendation

eScribe provides a highly flexible and scalable solution tailored to meet your unique needs. To expedite your onboarding process and ensure a smooth experience, here is our recommendation to get you up and running quickly.

## eScribe Bundle Options

eScribe Packages	Essentials	Premium	Ultimate
Unlimited Users	✓	✓	✓
Unlimited Meetings	✓	✓	✓
Full Platform Search Functionality	✓	✓	✓
Meeting Type Set Up	✓	2	Up to 10
Document Set Up	✓	3	Unlimited
Storage	UP TO 5 GB	UP TO 5 GB	Unlimited
<b>Meeting Management</b>			
Unlimited Templates	✓	✓	✓
Video Streaming and Archival Options	✓	✓	✓
Minutes	✓	✓	✓
Meetings	✓	✓	✓
Agendas	✓	✓	✓
Motions	✓	✓	✓
Voting (traditional with capture & tabulation)	✓	✓	✓
Tasks	✓	✓	✓
Reporting	✓	✓	✓
Roll Call/Quorum Management	✓	✓	✓
Approval Workflows (for Documents, Agendas, & Minutes)	✓	✓	✓
Publishing	✓	✓	✓
<b>Industry Best Security &amp; Compliance</b>			
Built on Microsoft Azure Technology	✓	✓	✓
RSA 4096-bit Encryption Transit/Rest	✓	✓	✓
User & Group Permissions	✓	✓	✓
User Approvals/Approval Groups	✓	✓	✓

Advanced Features	Essentials	Premium	Ultimate
Document Manager	Add On	✓	✓
Electronic Voting	Add On	Add On	✓
Speaker List	Add On	Add On	✓
Single Sign-On (ADFS or Entra ID)	Add On	Add On	✓
Meetings Pro App User Licenses	Add On	Up to 25	Up to 100
Integrations (Options: Laserfiche, FileHold, & eSolutions)	Add On	Add On	Add On
Board Manager	Add On	Add On	Add On
Livestreaming Options			
YouTube or Vimeo	Add On	✓	✓
Livestreaming Lite	Add On	Add On	Add On
Livestreaming Plus	Add On	Add On	✓
Closed Captioning	Add On	Add On	✓
Services & Support			
Customer Community Portal	✓	✓	✓
Implementation Support	✓	✓	✓
Dedicated Customer Success Manager	✓	✓	✓
eScribe Academy Licenses	2	10	Up to 25

Available eScribe Modules	
<b>All eScribe Bundles include:</b> <ul style="list-style-type: none"> <li>• Unlimited Users</li> <li>• Unlimited Meetings</li> <li>• Full Platform Search Functionality</li> <li>• Meeting Type Set Up (amount bundle dependent)</li> <li>• Document Set Up (amount bundle dependent)</li> <li>• Storage (amount bundle dependent)</li> </ul>	
Meeting Management	
<b>Unlimited Templates</b>	<ul style="list-style-type: none"> <li>• Create unlimited, repeatable templates for meetings, motions, and minutes. Use pre-made email templates to speed up communications and ensure they are as efficient as possible.</li> </ul>

<b>Minutes</b>	<ul style="list-style-type: none"> <li>Collaborate on minutes seamlessly during and after your meetings.</li> </ul>
<b>Meetings</b>	<ul style="list-style-type: none"> <li>Administrators can look ahead and prepare for future meetings by adding details, motions, supporting documents, etc. in advance.</li> </ul>
<b>Agendas</b>	<ul style="list-style-type: none"> <li>Quickly create new agendas or revise existing for all of your meeting types.</li> </ul>
<b>Motions</b>	<ul style="list-style-type: none"> <li>Create unlimited motions within your meetings to support specific meeting goals.</li> </ul>
<b>Voting</b>	<ul style="list-style-type: none"> <li>Capture physical votes (traditional with capture &amp; tabulation) and use various voting types (majority, <math>\frac{2}{3}</math>, <math>\frac{3}{4}</math>, <math>\frac{4}{5}</math>, and unanimous) and voting options (recorded, secret, or weighted) to quickly tabulate and display results via Public Display.</li> </ul>
<b>Tasks</b>	<ul style="list-style-type: none"> <li>When you create a task, you have options to delegate the task, set a due date, and set the priority level. Tasks can also be added during meetings.</li> </ul>
<b>Reporting</b>	<ul style="list-style-type: none"> <li>Use pre-formatted reports to share reporting data for individual meetings. View these reports in-platform or export to Excel and prepare your reports to be submitted for wider circulation or public posting.</li> </ul>
<b>Roll Call/Quorum Management</b>	<ul style="list-style-type: none"> <li>View meeting attendees (both voting and non-voting participants) and mark present and absent statuses. Roll call actions correspond to the meeting state.</li> </ul>
<b>Approval Workflows</b>	<ul style="list-style-type: none"> <li>Set automated approval workflows for meeting packages (documents, agendas, and minutes).</li> </ul>
<b>Publishing</b>	<ul style="list-style-type: none"> <li>Easily publish meeting items to your organization's website via iFrame. No back-end work required!</li> </ul>
<b>Advanced Features</b>	
<b>Document Manager</b>	<ul style="list-style-type: none"> <li>Providing administrators and staff comprehensive management of all pre-meeting and post-meeting workflow activities</li> <li>Preparation and approval of reports and items for submission to meetings</li> </ul>

	<ul style="list-style-type: none"> <li>Easily manage submission deadlines and notifications to staff, reducing last minute changes to the agenda.</li> </ul>
<b>Single Sign-On</b>	<ul style="list-style-type: none"> <li>Microsoft Entra ID or ADFS</li> </ul>
<b>Participant Portal</b>	<ul style="list-style-type: none"> <li>Easy agenda access from tablets or computers to be best prepared for meetings</li> <li>Highlight, make notes, declare conflicts of interest.</li> <li>Control and enable access confidential documents for participants and administrators.</li> </ul>
<b>Livestreaming/Video</b>	
<b>YouTube/Vimeo* Integration</b>	<ul style="list-style-type: none"> <li>Connect your public facing agendas and YouTube or Vimeo video to enable timestamped agenda items indexed to agendas and minutes.</li> </ul>
<b>Live Streaming Plus (Includes Encoder)</b>	<ul style="list-style-type: none"> <li>Livestream and record all meetings, with automatic timestamping that is indexed to agendas and minutes.</li> </ul>
<b>Closed Captioning</b>	<ul style="list-style-type: none"> <li>Keep everyone in your community informed during the meeting with live closed captioning for all livestreams, including transcripts readily available shortly after the meeting ends.</li> </ul>
<b>Additional Modules</b>	
<b>Electronic Voting</b>	<ul style="list-style-type: none"> <li>Gather votes digitally by sending ballots directly to meeting voters through the eScribe platform. Then, votes are automatically tallied based on the kind of vote, and the results are visible to meeting participants and can be shared on a large display to the public.</li> </ul>
<b>Speaker List</b>	<ul style="list-style-type: none"> <li>Manage a speaker queue for public participants and other meeting participants to speak regarding agenda items. Speaker Lists can also be displayed for all participants via Public Display.</li> </ul>
<b>Public Comments (E-Comment)</b>	<ul style="list-style-type: none"> <li>Receive and publish comments from citizens before, during, and/or after meetings.</li> </ul>

<b>Board Manager*</b>	<ul style="list-style-type: none"> <li>Board Manager lets municipalities, school districts and all public sector entities easily manage and publish their boards' and members' details – in addition to managing vacancies, applications and appointments – through an intuitive, responsive interface.</li> </ul>
<b>Services &amp; Support</b>	
<ul style="list-style-type: none"> <li>Migration of public facing agendas and minutes</li> <li>Customer Community Portal</li> <li>Dedicated Implementation Coordinator and Client Education Specialist</li> <li>Dedicated Customer Success Manager</li> <li>eScribe Academy Licenses</li> </ul>	
<b>NOTE:</b> <i>Items with the * next to them will add an additional cost (Add-On)</i>	

## Why eScribe?

### The Leader in Public Meeting Management

Founded in 2006, eScribe was created with a singular focus: to make public meeting management easier for clerks and their communities. Whereas other solutions offer a wide range of functionalities like payment processing, front-end website operations, and more, eScribe is proud to provide a best-in-class, streamlined solution focused solely on optimizing public meetings.

This best-in-class approach to the meeting management category frees eScribe's team of engineers, product designers, and customer success managers to fully optimize the meeting experience for meeting administrators, municipal stakeholders, and, most importantly, community residents.

Serving hundreds of communities of every size across the United States and Canada, eScribe customers consistently rate their experience as reliably easy, convenient, and effective. It's one reason communities choose eScribe again and again, resulting in a category-leading customer retention rate of more than 95%.

All of your meeting items in one secure, digital platform.

Say goodbye to disconnected systems and processes. With eScribe, everything required for your public meetings is easily findable and safeguarded by the latest protocols for cloud-based security.

eScribe streamlines the entire meeting lifecycle, allowing you to easily prepare for, conduct, and follow up on post-meeting items.

### **Centralized Location for All Records and Resources**

Enjoy peace of mind knowing all of your meeting items are in a digital, cloud-based meeting management platform. By providing admins and other users with a designated, centralized location for materials, meeting preparation, and collaboration – including viewing, editing, and approving documents – can occur in real time.

With centralized digital records available for public posting, eScribe can also provide convenient community access to relevant information as required by law. By going digital with eScribe, citizens and other parties can view meeting agendas, livestreams of meetings, recordings, and minutes in one accessible online portal.

Whether you're posting meeting items to an existing website or going digital for the first time, eScribe has a range of public posting options to ensure your meetings are transparent, accountable, and conformant to the latest accessibility standards.

### **Security and Compliance**

eScribe is committed to keeping your information secure, and we understand the critical importance of data security in the public sector.

That's why our best-in-class security features and capabilities ensure every customer, large or small, benefits from an enterprise-grade security architecture. eScribe offers full control over your data and who can access it. Work confidently and ensure the right people see the right information. Unparalleled security and data protection features like user and permission management give you confidence and control over your organization's most sensitive data.

eScribe's platform operates on Microsoft's industry-leading Azure Cloud infrastructure, which is SOC2 Type 2 and ISO 27001 certified. And eScribe's SSO

capabilities ensure a safe and seamless login experience – bolstering security while ensuring meetings start hassle-free.

### **Own and Control Your Data**

Our time-tested approach to privacy and data protection is grounded in our commitment to organizations' ownership of and control over the collection, use, and distribution of their information. We strive to be transparent in our privacy practices, offer you meaningful privacy choices, and responsibly manage the data we store and process. One measure of our commitment to the privacy of customer data is our adoption of the world's first code of practice for cloud privacy, ISO/IEC 27018.

*Learn more about privacy [here](#).*

## **Onboarding**

While a few vendors have solutions with features to address some of the pain points associated with meetings, features on their own don't necessarily drive benefits. While features are an important consideration at eScribe, we've learned that the ultimate success of platform implementation is driven more by end user buy in to the improved way of doing things. That is why more projects fail from lack of user adoption than virtually any other reason.

While training end users on proper system use is an important component, there are additional critical factors to consider. To ensure a successful implementation we assign a dedicated team and follow a repeatable framework that has been developed over hundreds of successful implementations spanning customers both large and small.

## **Your eScribe Success Team**

Customer experience is very important to us. We understand it can be daunting to migrate to new software. That is why you will have access to a dedicated team of experienced eScribe professionals supporting you every step of the way, reducing the impact on your internal staff and IT department, and ensuring a successful roll-out, including:



- *Corporate Project Sponsor*
- *Implementation Consultant*
- *Training & Process Workshops*
- *Customer Support*
- *Customer Success Manager*

## Project Management

eScribe is a flexible cloud-based platform that can be personalized with the look and feel of an organization while still aligning with “best-practices” and automated processes to assist users before, during and after meetings.

Your Implementation Consultant will guide you through the process of setting up your project for success and long-term satisfaction through the whole organization. Throughout a series of project meetings, you will be led through a tried-and-true process to take your organization from configuration, training, initial go live, and subsequent roll out to the rest of the organization. Your Implementation Consultant will work with you to build an implementation plan that aligns with your key success criteria and desired timelines.

## Configuration

Your Implementation Consultant will work with you to communicate with staff and coordinate the gathering of user, meeting and process information and configuring eScribe for first use, including:

- Project Planning and ongoing Coordination
- User and Permissions Configuration
- Meeting Types Configuration
- Agenda & Minute Templates & Workflow Configuration
- Report & Document Templates & Workflow Configuration
- Live Streaming Configuration
- Internet Publishing Configuration
- Scheduling End User Training
  - Meeting Administrators
  - Site Administrators
  - Staff Contributors
  - Meeting Participants

- Maintaining project documentation and resolving open items

## Training & Process Workshops

### Approach

eScribe's implementation plan has been established over years of implementing eScribe's services to hundreds of public sector organizations. The process is designed to streamline the process of integrating our services into your day to day operations. Our team of experts will work closely with you to develop a customized plan that meets your specific needs and goals. With a focus on efficiency, cost-effectiveness, and minimal disruption to your daily operations, eScribe's implementation plan is designed to help you achieve success quickly and effectively.

### eScribe Academy

eScribe Administrators will have an opportunity to leverage eScribe Academy, our online learning system (LMS) to learn the core fundamentals of eScribe at a self lead pace. Each session includes quizzes to ensure viewers are understanding the content that they must pass to progress.

New eScribe Administrators will begin their onboarding process by following a standard **Learning Path** that guides you through a list of courses focused on the requirements of creating and managing meetings. This learning path is self-paced, allowing you to complete courses at your own pace with each course's completion time listed. These courses are divided into lessons and milestones, with each course becoming accessible once the previous one is completed. You also have the option to retake any course for added flexibility. Additionally, each course includes Supplemental **Resources** available for download during training. Completed courses will be available for reference as needed

Each eScribe Administrator should have their own unique license for the system as they will receive an eScribe Certificate with their name after training is completed. Certificates can be downloaded and added to their resume and LinkedIn profile! Administrators will be eScribe Certified!

### Workshop Sessions

In addition to user training available through eScribe Academy, you will participate in optional one on one workshop sessions with our team of experts. Workshops are usually scheduled in 30–60 minutes increments, with most customers taking advantage of 4–5 hours of workshop time throughout the onboarding process.

These workshop sessions will focus on any specific processes that you may have that require further discussion in order to best align eScribe services to your organization's needs as well as any questions that have risen from practice following the product training.

These sessions are designed to complement the product training through eScribe Academy to ensure that each Customer can use their eScribe system to its fullest potential. It is recommended that to make best use of these workshop sessions, they are scheduled once users have had a chance to practice after training to have a basic understanding of the flow of information throughout the eScribe system.

### Train the Trainer

eScribe recommends a “train the trainer” approach to implementation as it allows for a scalable and sustainable adoption roll out within your organization, as there will always be individuals within your organization who are in-house experts to assist others.

By training key champions within the organization to become trainers themselves, you can ensure that knowledge and skills are effectively disseminated throughout the entire organization. This not only saves time and resources in the long run, but also creates a culture of continuous learning and development.

Additionally, train the trainer approach allows you to tailor content and discussions to meet the specific needs and business processes of your organization, ensuring that training content is relevant and applicable to your unique environment. Furthermore, by empowering internal trainers to become champions with your eScribe roll out, you are fostering a sense of ownership and accountability within the organization.

### Dedicated Go Live Support

In order to ensure that your first meeting gets off to a strong start, your eScribe Implementation Consultant will support you through agenda prep, conducting, and live streaming your first live eScribe meeting to ensure administrative users are comfortable with all aspects of the meeting lifecycle. As you progress closer to your go live targets, your Implementation Consultant will work with you to plan a mock meeting session, as we normally recommend these mock meetings are held to practice the use of the eScribe system, as well as any process changes that are taking place as part of launch.

## eScribe Online Resources

### Educational Webinars

The eScribe Customer Education team also leads educational webinars on topics as requested and voted on by customers offering how-to instructions and time-saving tips to help users get the most from eScribe. There is no additional cost for these webinars. Sign up for one or as many as you like.

### Customer Community Portal (CCP)

To further empower our customers, the CCP can be used to submit and track support tickets.

Some key features of CCP include:

- **Knowledge Base** – A library of user reference, and help articles
- **FAQ section** – “How-to” guides and technical troubleshooting assistance
- **Announcements** – Including product release notes, promotions, company updates

### Realtime Technical Support

We are very proud of our solution, but even prouder of our post sale relationship with our customers.

Our support team is just a few clicks or call away and prides itself on their responsiveness and knowledge of both eScribe and the meeting processes we support.

eScribe customers can access our support in three ways:

1. Customer Community Portal
2. [support@escribemeetings.com](mailto:support@escribemeetings.com)
3. 1-855-299-0023

Standard support hours are from Monday to Friday, 8:30am to 8pm EST with extended phone support available until 11pm EST excluding statutory holidays. Emergency and extended support are available by request.

Key features of Technical Support include:

- Online access to eScribe's trouble ticketing portal to log and update service requests, communicate directly with support personnel and access eScribe's online technical repository.
- Live answering and monitoring of customer tickets during regular support hours.
- Unlimited technical assistance by telephone or electronic mail for designated individuals
- Provide any updates to eScribe software and its documentation automatically at no additional charge.

## Customer Success Program

As your implementation of eScribe comes to an end, your Customer Success Manager (CSM) will take center stage working to help your further roll out and adoption of the eScribe services across your organization. Your CSM is your champion, your main point of contact, your advisor, as you continue to leverage eScribe in your day to day lives. Your CSM will schedule regular Account Review calls with you to understand evolving priorities and what we can do to further assist you and your organization.

Whether it's to get updates on future product roadmaps, act as your point of escalation on an issue, or discuss potential process changes, your CSM is there to guide you along the way.

## Optional Services

In addition to our core services, customers may require additional services to assist with implementation and user adoption, which are available for an additional fee.

### **One-on-One Training**

For larger end-user groups or in cases where the customer would like to incorporate customized business process training into the curriculum, we offer one-on-one training sessions with a dedicated trainer. One-on-one training can be delivered remotely, or on-site as required.

### **Legacy Data Migration**

In many cases eScribe's robust platform can import legacy meeting information from internal or competitive systems to provide users with a seamless experience. We would be happy to provide a custom statement of work and quotation based on a review of available data and structure.

## Pricing

eScribe is pleased to offer, the following annual subscription fees and one-time setup fees to meet the requirements as outlined. eScribe leverages a detailed onboarding approach developed over hundreds of successful customer implementations, allowing us to provide a fixed price, including; activation of the solution on the cloud, customer specific configuration of meeting types, content templates, and initial workflow configuration, administrator, contributor, and participant training, in addition to one on one workshop sessions and go live support for key initial meetings.

### Essentials Bundle with Document Manager

eScribe Annual Service and Support Fees				
Module	License Type	License Fee	Quantity	Cost
eScribe Essentials Bundle with Document Manager	Annual	\$ 14,220	1	\$ 14,220
eScribe Meeting Manager		INCL		
eScribe Participant Access		INCL		
eScribe Internet Publishing		INCL		
eScribe Document Manager		INCL		
Forms Authentication		INCL		
Discount on Software			1%	-\$ 2,200
<b>Total - Annual Software and Support Fees</b>				<b>\$ 12,020</b>
Implementation Fees		Service Fee	Quantity	Cost
eScribe Essentials Setup/Training	One time	\$ 4,100	1	\$ 4,100
2 Meeting Types, 2 Report Template, 5 Workflows		INCL		
2 x eScribe Academy Licenses		INCL		
Discount on Services			1%	-\$ 1,500
<b>Total - One-time Implementation Fees</b>				<b>\$ 2,600</b>

	Year 1	Year 2	Year 3	Year 4	Year 5
<b>Annual</b>	\$ 12,020	\$ 12,621	\$ 13,252	\$ 13,915	\$ 14,610
<b>One-Time</b>	\$ 2,600	0	0	0	0
<b>Total</b>	\$ 14,620	\$ 12,621	\$ 13,252	\$ 13,915	\$ 14,610

## Pricing Notes:

- All fees are in \$USD (exclusive of taxes), based on a three (3) year term and are valid for sixty (60) days from the date of this response.
- Implementation fees are for remote support. Onsite personnel can be arranged. Additional travel and living expenses would apply in addition to the Implementation Fees.
- Year 1 Subscription and Implementation Services Fees are invoiced upon commencement of the project.
- Subsequent year(s) Subscription Fees will be due on the anniversary date and will increase from the previous years Subscription Fees by six percent (6%).
- Payment Terms are Net 30 from date of invoice.
- Fees do not include the migration of any existing meeting content. Should you wish to migrate legacy data, eScribe would be happy to provide a separate statement of work and costs based on specific requirements.
- ADFS or Entra ID single sign on capability can be provided – additional costs apply.

## Contact

We look forward to the potential of working on this important project with you. Should you have any questions about this proposal, please do not hesitate to reach out.

James Coulen  
Senior Account Executive  
416-890-9808  
[jcoulen@escribemeetings.com](mailto:jcoulen@escribemeetings.com)  
<https://escribemeetings.com>





## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Community Development Department - Tiffany Wade, Associate Planner  
**SUBJECT:** **Public Hearing: DRP for a Replacement One-Story Single-Family Residence and Attached Two-Car Garage at 696 W Solana Circle (Case # DRP24-013; Applicant: Carl Johnson; APN: 298-320-10-00; Resolution No. 2025-061)**

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### **BACKGROUND:**

The Applicant, Carl Johnson, is requesting Council approval of a Development Review Permit (DRP) to demolish an existing one-story, single-family residence and attached garage to construct a replacement one-story, single-family residence and attached garage, and perform associated site improvements. The 4,628 square-foot lot is located at 696 W Solana Circle and is within the Medium Residential (MR) Zone and Park Del Mar Development. The Applicant proposes to construct a 1,967 square-foot one-story, single-family residence with an attached 432-square-foot garage. The proposed development would include grading in the amount of 690 cubic yards aggregate. The maximum building height is proposed at 14.00 feet above existing grade and 171.75 feet above Mean Sea Level (MSL).

An application for a DRP shall be required for any structure or site development which meets the criteria listed in SBMC Section 17.68.040(B)(1)(a-n). The project meets the following criteria for the requirement of a DRP:

- (d) Grading in excess of 100 cubic yards; and,
- (n.i) Construction in excess of 60 percent of the maximum allowable floor area.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2025-061 (Attachment 1).

### **DISCUSSION:**

The subject property is located on the east side of West Solana Circle. The 4,628 square-foot lot is a rectangular shape with a depth of 89 feet and width of 52 feet. The property

<b>CITY COUNCIL ACTION:</b>

fronts West Solana Circle to the west, with residential properties to the north, south and east.

The surrounding properties are located within the Medium Residential (MR) Zone and the Park Del Mar Development.

The existing topography slopes down from the rear of the property to West Solana Circle with an approximately seven-foot grade differential.

The Applicant is requesting approval of a DRP to construct a new one-story single-family residence with an attached two-car garage. The property is currently developed with a 1,404 square-foot one-story, single-family residence and attached two-car garage, which would be demolished should the proposed project receive approval. The finished floor would be built approximately three (3) feet above the elevation of West Solana Circle. Associated site improvements would include grading, drainage, hardscape, landscape and a spa. The project plans are included in Attachment 2.

Table 1 (below) provides a comparison of the Park Del Mar Development regulations with the Applicant's proposed design.

Table 1			
LOT INFORMATION			
<b>Property Address:</b> 696 W Solana Cir.		<b>Zoning Designation:</b> Park Del Mar (MR)	
<b>Lot Size:</b> 4,628 SF		<b># of Units Allowed:</b> 1 SFR, 1 ADU, 1 JADU	
<b>Max. Allowable Living SF</b> 2,000 SF		<b># of Units Requested:</b> 1 SFR	
<b>Max. Allowable Garage SF</b> 600 SF			
<b>Max. Allowable Total SF</b> 2,400 SF			
<b>Proposed Total SF</b> 1,199 SF			
<b>Below Max. SF by</b> 201 SF			
<b>Max. Allowable Height:</b> 16.00 ft			
<b>Max. Proposed Height:</b> 14.00 ft			
<b>Highest Point/Ridge:</b> 171.75 MSL			
<b>Overlay Zone(s):</b> N/A			
		<b>Setbacks:</b>	<b>Required</b> <b>Proposed</b>
		Front (E)	10' – 0" 11' – 2"
		Side (N)	5' – 0" 8' – 8"
		Side (S)	2' – 6" 2' – 6"
		Rear (W)	5' – 0" 5' – 7"
PROPOSED PROJECT INFORMATION			
<b>Square Footage / Floor Area Breakdown:</b>		<b>Required Permits:</b>	
Proposed Living Area:	1,967 SF	<b>DRP: grading in excess of 100 cubic yards</b> A DRP is required for: 1) construction in excess of 60% of the maximum allowable floor area, and 2) aggregate grading in excess of 100 CY.	
Proposed Garage:	432 SF		
Subtotal:	2,399 SF		
Garage Exemption:	- 400 SF		
Total Proposed Floor Area:	1,999 SF		
<b>Proposed Grading:</b> 690 CY Aggregate Grading (Cut: 131 CY; Fill: 56; Removal and Recompaction: 429 CY; Export: 74)			
<b>Proposed Parking:</b> Attached Two-Car Garage		<b>Existing Development:</b>	
<b>Proposed Fences and Walls:</b> Yes		One-Story Single-Family Residence and	
<b>Proposed Accessory Dwelling Unit:</b> No		Attached Garage	
<b>Proposed Accessory Structure:</b> No			

Staff has prepared draft findings for approval of the DRP in the attached Resolution 2025-061 for the City Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and recommended conditions of approval from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval (Attachment 1). The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-061.

**Development Review Permit Compliance (SBMC Section 17.68.40):**

A DRP is required because the proposed development includes grading in excess of 100 cubic yards and construction of a residence in excess of 60 percent of the maximum allowable floor area for the property. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-061 provides full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

**DRP Finding #1**

**General Plan Consistency**

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. This property is designated

Medium Density Residential and is intended to provide for residential development in areas characterized primarily by detached single-family dwellings on older subdivided lots and two-family and multiple-family dwellings within newer, large lot, planned developments at a maximum of 5-7 dwelling units per acre. The proposed project includes one (1) dwelling unit. Therefore, the project is consistent with the density and use intended in the General Plan.

The proposed development could also be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

### Specific Plans and Special Overlays

#### Park Del Mar Development

The subject property is also located in the Park Del Mar Development, which has specific development regulations (Attachment 3) set forth in a Use Permit issued in 1963 by the County of San Diego prior to the City's incorporation. At the request of the Park Del Mar Homeowner's Association, the Solana Beach City Council approved a Conditional Use Permit in 2001 to modify the Use Permit issued by the County to clarify the specific development regulations, which differ from the underlying zone. The Park Del Mar Development regulations, therefore, supersede those of the MR Zone. The primary use of each site in the development is limited to one detached, single-family dwelling with one garage or carport. Each dwelling unit is limited to a maximum of 2,000 square feet and the garage or carport to a maximum of 600 square feet. In addition, the overall square footage on the site cannot exceed 2,400 square feet. In accordance with the underlying SBMC Zoning regulations, detached accessory structures are permitted and are deducted from the total allowed garage or carport square footage. The regulations also limit all structure heights to 16 feet above the lower of finished or proposed grade. Specific setback dimensions are also provided for each lot in the community. As proposed, the project complies with the regulations of the Park Del Mar Development.

### Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the MR Zone is intended for residential development in areas characterized primarily by detached single-family dwellings on older subdivided lots and two-family and multiple-family dwellings within newer, large lot, planned development. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below. As designed, the project is consistent with the specific development standards of the Park Del Mar Development as well as the permitted uses of the underlying MR Zone as described in SBMC Sections 17.20.010 and 17.12.020.

#### Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for properties within the MR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The Park Del Mar Development regulations, however, supersede the setback requirements within the City's zoning ordinance. Pursuant to Park Del Mar Development regulations the subject property requires a 10-foot front yard setback, a 5-foot side yard setback, a 2.5-foot side yard setback (adjacent to the panhandle) and a 5-foot rear yard setback. As designed, the project meets all required setbacks.

#### Maximum Floor Area Ratio:

Within the Park Del Mar Development, dwellings are limited to a maximum of 2,000 square feet and the garage or carport to a maximum of 600 square feet. In addition, the overall square footage on the site cannot exceed 2,400 square feet.

The Applicant is proposing to demolish all existing structures and construct a replacement 1,967 square-foot one-story single-family residence with a 432 square-foot two-car garage. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 432 square-foot garage would accommodate two (2) unobstructed parking spaces; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable exemption, the total proposed floor area would be 1,999 square feet, which is 401 square feet below the maximum allowable for the property. The proposed floor area (1,999 square feet) is 83% of the allowable floor area (2,400 square feet).

#### Maximum Building Height:

Within the Park Del Mar Development, all structure heights are limited to 16 feet above the lower of finished or proposed grade. The maximum height of the proposed residence would be 14 feet above the proposed grade with a maximum elevation of 171.75 MSL.

#### Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces for a single-family residence. Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car garage accessed by West Solana Circle via the shared panhandle driveway.

#### Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are

allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

#### **Landscape Water Efficiency:**

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

#### **DRP Finding #2**

The development review criteria topics referenced in DRP Finding #2 and SBMC Section 17.68.040(F) are listed below with further discussion as to how they relate to the proposed Project:

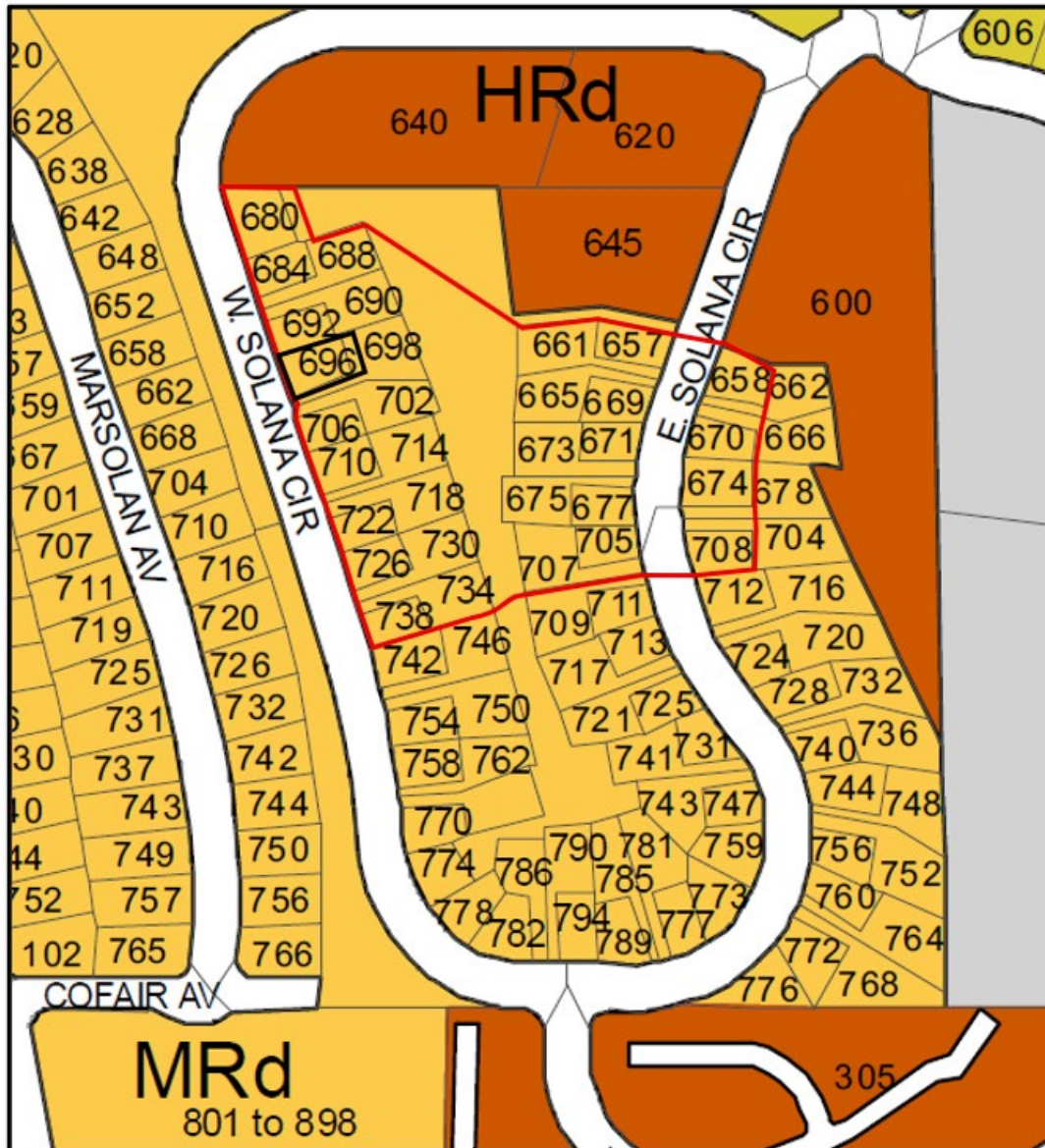
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

#### **Relationship with Adjacent Land Uses:**

The subject property is located within the MR Zone and Park Del Mar Development. Properties surrounding the lot are located within the same zone and part of the Park Del Mar Development. They are developed with one-story, single-family residences.

### Neighborhood Comparison:

Staff compared the proposed project to 31 other properties within the surrounding area. This area includes properties along West Solana Circle and both sides of East Solana Circle as shown on the following map:



The properties evaluated in this comparison are located in the MR Zone and the Park Del Mar Development. The existing homes range in size from 1,240 square feet to 2,225 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage as follows:

Project Gross Building Area: 2,399 ft<sup>2</sup>  
 Delete Garage: - 432 ft<sup>2</sup>  
 Project Area for Comparison to Assessor's Data: 1,967 ft<sup>2</sup>

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

#	Property Address	Lot Size in ft <sup>2</sup> (SanGis)	Existing ft <sup>2</sup> (Assessor)	Proposed / Recently Approved ft <sup>2</sup>	Max. Allowable ft <sup>2</sup>	Zone
1	657 E SOLANA CIRCLE	4,716	1,746		2,400	MR/PDM
2	661 E SOLANA CIRCLE	7,331	1,240	1,831	2,400	MR/PDM
3	665 E SOLANA CIRCLE	7,479	1,847		2,400	MR/PDM
4	669 E SOLANA CIRCLE	4,699	1,822		2,400	MR/PDM
5	671 E SOLANA CIRCLE	4,266	1,675	2,000	2,400	MR/PDM
6	673 E SOLANA CIRCLE	7,245	1,674		2,400	MR/PDM
7	675 E SOLANA CIRCLE	6,640	1,604		2,400	MR/PDM
8	677 E SOLANA CIRCLE	4,095	1,358		2,400	MR/PDM
9	705 E SOLANA CIRCLE	3,990	1,330		2,400	MR/PDM
10	707 E SOLANA CIRCLE	7,852	1,518		2,400	MR/PDM
13	658 E SOLANA CIRCLE	4,965	1,472		2,400	MR/PDM
14	670 E SOLANA CIRCLE	4,109	1,479		2,400	MR/PDM
15	674 E SOLANA CIRCLE	5,513	1,426		2,400	MR/PDM
16	708 E SOLANA CIRCLE	4,841	1,591		2,400	MR/PDM
17	680 W SOLANA CIRCLE	6,000	1,671		2,400	MR/PDM
18	684 W SOLANA CIRCLE	4,303	2,225		2,400	MR/PDM
19	688 W SOLANA CIRCLE	6,932	1,969		2,400	MR/PDM
20	690 W SOLANA CIRCLE	7,093	1,512		2,400	MR/PDM
21	692 W SOLANA CIRCLE	3,961	1,632		2,400	MR/PDM
22	<b>696 W SOLANA CIRCLE</b>	<b>4,822</b>	<b>1,404</b>	<b>1,967</b>	<b>2,400</b>	<b>MR/PDM</b>
23	698 W SOLANA CIRCLE	8,268	1,930		2,400	MR/PDM
24	702 W SOLANA CIRCLE	6,793	1,518		2,400	MR/PDM
25	706 W SOLANA CIRCLE	4,047	1,591		2,400	MR/PDM
26	710 W SOLANA CIRCLE	4,574	1,927		2,400	MR/PDM
27	714 W SOLANA CIRCLE	7,254	1,814		2,400	MR/PDM
28	718 W SOLANA CIRCLE	7,157	1,479		2,400	MR/PDM
29	722 W SOLANA CIRCLE	4,284	1,390	1,915	2,400	MR/PDM
30	726 W SOLANA CIRCLE	4,300	1,989		2,400	MR/PDM
31	730 W SOLANA CIRCLE	7,050	1,566		2,400	MR/PDM
32	734 W SOLANA CIRCLE	7,200	1,715		2,400	MR/PDM



The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020, and the Park Del Mar Development Regulations. The proposed floor area is consistent with nearby residential development and the proposed project could be found to be compatible with and complimentary to nearby existing development.

#### Building and Structure Placement:

The project site is currently developed with a one-story, single-family residence and attached garage. The Applicant proposes to demolish the existing structure and replace it with a one-story, single-family residence with an attached two-car garage.

The Park Del Mar Development regulations allow reduced setback areas as compared to the underlying MR Zone. Park Del Mar regulations require a 10-foot front yard setback, 5-foot side yard setback, 2.5-foot side-yard setback (adjacent to panhandle) and a 5-foot rear yard setback, on street abutting lots. The proposed residence is setback 11.67 feet from the front property line, 8.67 feet from the north side property line, 2.5 feet from the south side property line, and 5.58 feet from the rear property line.

The 1,967 square foot residence consists of a kitchen, dining room, family room, primary suite, bedroom, bathroom, office and laundry room. The garage is proposed to be located at the southeast corner of the lot and would be maintain access from West Solana Circle via the shared panhandle driveway.

The SBMC parking regulations require two (2) off-street parking spaces, 9' x 19' clear, per single-family residence. The SBMC indicates that when required spaces are provided in a garage, up to 200 square feet of floor area is exempted for each required space. As designed, the proposed residence would provide two (2) parking spaces in the garage; therefore, the project is afforded a 400 square-foot exemption and the total proposed floor area would be 1,999 square feet, which is 401 square feet under the maximum allowable floor area for the lot pursuant to Park Del Mar Regulations.

#### Landscape:

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does

not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

#### Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the attached 432 square-foot two-car garage. The garage would be accessed by the existing shared panhandle driveway via West Solana Circle. Pedestrian access to the property would be taken from a walkway from the panhandle driveway. The trash enclosure would be located east of the garage in the rear yard.

#### Grading:

The proposed grading quantities include 131 cubic yards of cut, 56 cubic yards of fill, 429 cubic yards of removal and recompaction, and 74 cubic yards of export. The proposed total aggregate amount of grading is 690 cubic yards.

#### Lighting:

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

#### Usable Open Space:

The project consists of the construction of a new single-family residence; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

#### **Public Frontage & Public Right-of-Way Improvements:**

The existing property frontage is improved with a sloped grass area and a 6-inch concrete curb and gutter. If approved, the sloped grass area will be a landscaped area sloped at 2% towards the curb and gutter.

#### **Public Hearing Notice:**

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on June 18, 2022. As of the date of preparation of this Staff Report, Staff has not received any

formal correspondence from neighbors or interested parties in support of, or in opposition to, the proposed project.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Section 15303 is a Class 3 exemption for new construction or the conversion of small structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORKPLAN:** N/A


**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2025-061.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

**CITY STAFF RECOMMENDATION:**

The proposed project meets the minimum objective requirements under the Park Del Mar Development regulations and the underlying SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-061 conditionally approving a DRP to demolish a single-family residence, construct a replacement one-story, single-family residence with an attached two-car garage and perform associated site improvements at 696 W Solana Circle.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-061
2. Project Plans
3. Park Del Mar Development Regulations
4. Applicant Letter to Council

## RESOLUTION 2025-061

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT FOR THE CONSTRUCTION OF A REPLACEMENT SINGLE-STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE AND ASSOCIATED IMPROVEMENTS ON A PROPERTY WITHIN THE PARK DEL MAR DEVELOPMENT, LOCATED AT 696 WEST SOLANA CIRCLE, SOLANA BEACH**

**APPLICANT: Carl Johnson**  
**CASE NO.: DRP 24-013**

**WHEREAS**, Carl Johnson (hereinafter referred to as “Applicant”) has submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on July 2, 2025, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the hearing and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the project is exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines.
3. That the request for a DRP to construct a new 1,967 square-foot single-story, single-family residence and attached 432 square-foot two-car garage on a 4,628 square-foot lot in the Medium Residential (MR) Zone and Park Del Mar Development, is conditionally approved based upon the following Findings and subject to the following Conditions:
4. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City

of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones, and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for five to seven dwelling units per acre. Further, the proposed development is consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The proposed project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) Permitted Uses and Structures (SBMC 17.20.020), which provides for use of the property as a single-family residence. The proposed project also adheres to the specific development regulations established for the Park Del Mar Development.

The design of the project is consistent with the provisions for minimum setbacks, the maximum floor area ratio (FAR), maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040(F):*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The subject property is located within the MR Zone and Park Del Mar Development. Properties surrounding the lot are located within the same zone and part of the Park Del Mar Development. They are developed with single-story, single-family residences.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The project site is currently developed with a single-story, single-family residence and attached garage. The Applicant proposes to demolish the existing structure and replace it with a single-story, single-family residence with an attached two-car garage.

The Park Del Mar Development regulations allow reduced setback areas as compared to the underlying MR Zone. Park Del Mar regulations require a 10-foot front yard setback, 5-foot side yard setback, 2.5-foot side-yard setback (adjacent to panhandle) and a 5-foot rear yard setback, on street abutting lots. The proposed residence is setback 11.67 feet from the front property line, 8.67 feet from the north side property line, 2.5 feet from the south side property line, and 5.58 feet from the rear property line.

The 1,967 square foot residence consists of a kitchen, dining room, family room, primary suite, bedroom, bathroom, office and laundry room. The garage is proposed to be located at the southeast corner of the lot and would be maintain access from West Solana Circle via the shared panhandle driveway.

The SBMC parking regulations require two (2) off-street parking spaces, 9' x 19' clear, per single-family residence. The SBMC indicates that when required spaces are provided in a garage, up to 200 square feet of floor area is exempted for each required space. As designed, the proposed residence would provide two (2) parking spaces in the garage; therefore, the project is afforded a 400 square-foot exemption and the total proposed floor area would be 1,999 square feet, which is 401 square feet under the maximum allowable floor area for the lot pursuant to Park Del Mar Regulations.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations

would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces would be located within the attached 432 square-foot two-car garage. The garage would be accessed by the existing shared panhandle driveway via West Solana Circle. Pedestrian access to the property would be taken from a walkway from the panhandle driveway. The trash enclosure would be located east of the garage in the rear yard.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The proposed grading quantities include 131 cubic yards of cut, 56 cubic yards of fill, 429 cubic yards of removal and recompaction, and 74 cubic yards of export. The proposed total aggregate amount of grading is 690 cubic yards.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*



A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a new single-family residence, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. All required permits and approvals issued by the City, including variances, conditional use permits, comprehensive sign plans, and coastal development permits, have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the DRP. As a condition of project approval, the Applicant will be required to obtain approval from the CCC prior to issuance of Building Permits.

The project will not exceed 16 feet above the existing grade; therefore, a Structure Development Permit (SDP) is not required.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.*

As a condition of project approval, the Applicant will be required to obtain approval from the California Coastal Commission (CCC) prior to the issuance of Building Permits.

## 5. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

### A. Community Development Department Conditions:

- I. The Applicant shall pay required Public Facilities Fees, as established by SBMC Section 17.72.020 and Resolution 1987-36.

- II. Building Permit plans must be in substantial conformance with the plans presented to the City Council on July 2, 2025 and located in the project file with a submittal date of June 24, 2025.
  - III. The residence will not exceed 14 feet in height above the existing grade or 171.75 feet above MSL.
  - IV. Any proposed onsite fences, walls, and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
  - V. The Applicant shall obtain required CCC approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a Grading or Building Permit.
  - VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
  - VII. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC 17.60.060.
  - VIII. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.
  - IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on East Solana Circle and minimize impact to the surrounding neighbors.
  - X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- B. Fire Department Conditions: Please note that this list provides detailed Fire Department requirements and is not meant to be an all-inclusive plan check list of the Fire Department comments.
- I. POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”: Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a

clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility per the *Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.3 and 503.4.3*.

- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the *2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1*.
- III. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the *2019 California Fire Code Chapter 5 Section 505.1*.
- IV. ADDRESS NUMBERS FOR STRUCTURES LOCATED OFF ROADWAY: Where structures are located off a roadway on long easements/driveways, a monument marker shall be placed at the entrance where the easement/driveway intersects the main roadway. Permanent address numbers with height conforming to Fire Department standards shall be affixed to this marker per *2019 California Fire Code Chapter 5 Section 505.2*.
- V. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the *Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2*.
- VI. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and *per the 2019 California Building Code Chapter 15 Section 1505*.

- VII. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the *2019 California Fire Code Chapter 12 Section 1204*.

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an **Encroachment Permit** in accordance with SBMC Section 11.20 for all work performed within the public right of way or public sewer easement within the driveway, including the work listed. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
  - a. Construction of damaged curb/gutter from installation of sidewalk underdrain pipes as directed by the Engineering Department.
  - b. Installation of sidewalk underdrain pipe.
  - c. Installation of proposed 6-inch sewer lateral.
- II. The Applicant shall record an **Encroachment Maintenance and Removal Agreement (EMRA)** with the County of San Diego **prior to final inspection of the building permit and release of the Grading Bond**. The EMRA shall be recorded against this property for all private improvements in the public right of way including but not limited to:
  - a. Sidewalk underdrain pipes per SDRSD D-27
  - b. Planter/landscaping in the Public ROW
  - c. Lateral wall at North end of property
- III. **The Applicant shall complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements.**
- IV. All construction demolition materials shall be **recycled** according to the City's Construction and Demolition recycling program and an approved **Waste Management Plan** shall be submitted.
- V. **Construction fencing** shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

GRADING:

- I. The Applicant shall obtain a **Grading Permit** in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior

to the issuance of a grading permit shall include, but not be limited to, the following:

- a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
- b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. The report shall provide a drainage discharge design which would represent the pre-existing condition to the maximum extent feasible. All recommendations of this report shall be incorporated into the Preliminary Grading Plan.
- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit. This includes the shared driveway.
- f. Cut and fill slopes shall be set back from site boundaries and buildings in accordance with SBMC 15.40.140 and to the satisfaction of the City Engineer.

- g. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- h. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- i. The Applicant shall obtain a haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- j. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- l. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- n. No increased cross lot drainage shall be allowed.

- o. Prior to obtaining a building permit, the Applicant shall submit a building **pad certification** statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demolition permit is required for removing existing structures before grading, the applicant shall obtain the demo permit separately in order to certify the grading prior to issuance of the Building Permit.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.
7. EXPIRATION: The DRP for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council, subject to SBMC Section 17.72.110.
8. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a special meeting of the City Council of the City of Solana Beach, California, held on the 2nd day of July, 2025, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# JOHNSON RESIDENCE

696 W SOLANA CIRCLE, SOLANA BEACH, CA 92075



**West Edge Architects**  
PETER M. MITSAKOS & ASSOCIATES, INC.  
128 Sierra Street,  
Suite C  
El Segundo, California 90245  
310 821 2399

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## JOHNSON RESIDENCE

696 W SOLANA CIRCLE,  
SOLANA BEACH, CA 92075

DEVELOPMENT REVIEW  
PERMIT  
DRP24-013

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 04/23/2025

PROJECT #: 2301

COVER SHEET

SCALE:

**A0.0**



# JOHNSON RESIDENCE

696 W SOLANA CIRCLE, SOLANA BEACH, CA 92075

## SYMBOLS

INTERIOR ELEVATION  
CALLOUT

SECTION CALLOUT

ELEVATION

HANDICAP ACCESSIBLE

DETAIL CALL OUT

DOOR NUMBER

SECTION DETAIL  
CALL OUT

FIXTURE SYMBOL

KEY NOTE

ROOM NAME  
ROOM NUMBER

PARTITION TYPE

## ABBREVIATIONS

AT	ABOVE FINISHED FLOOR	LAM.	LAMINATED
A.C.T.	ACOUSTICAL CEILING TILE	MANUF.	MANUFACTURER
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
ALUM.	ALUMINUM	MECH.	MECHANICAL
ATC	ACOUSTIC TILE CEILING SYSTEM	MIN.	MINIMUM
BD.	BOARD	MTD.	MOUNTED
BLDG.	BUILDING	MTL.	METAL
CALC.	CALCULATION	N.A.	NOT APPLICABLE
CPT	CARPET	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	N.T.S.	NOT TO SCALE
CL.	CENTERLINE	N.S.F.	NET SQUARE FOOTAGE (FEET)
CLNG.	CEILING	N	NORTH
COL.	COLUMN	(N)	NEW
CONC.	CONCRETE	O.C.	ON-CENTER
C.T.	CERAMIC TILE	O.H.	OPPOSITE HAND
C.W.F.	CLEAR WOOD FINISH	PTD.	PAINTED
DN.	DOWN	PL	PLASTIC LAMINATE
DS	DRAFT STOP	PLY.	PLYWOOD
DW	DRYWALL	PTD.	PAINTED
EA.	EACH	QTY	QUANTITY
ENG.	ENGINEER	RAG.	RETURN AIR GRILLE
EQ.	EQUAL	RB	RUBBER BASE
(E)	EXISTING	RD.	ROAD
FIN.	FINISH(ED)	REF.	REFER, REFERENCE
F.F.	FIRE EXTINGUISHER	REQD.	REQUIRED
F.L.	FROM FINISH	S.A.R.	SUPPLY AIR REGISTER
FLR.	FLOOR	S.D.	SELF-DRILLING
GA	GAUGE	S.S.	STAINLESS STEEL OR SOLID SURFACE
GL	GLASS	ST.	SELF-TAPPING
G.I.	GALVANIZED IRON	SIM.	SIMILAR
GWB.	GYPSUM WALL BOARD	SH.	SHELF (YES)
GYP.	GYPSUM	SMS.	SHEET METAL SCREW
G.S.F.	GROSS SQUARE FOOTAGE (FEET)	SPEC.	SPECIFICATION (S)
HCAP.	HANDICAP	STD.	STANDARD
H.M.	HOLLOW METAL	STL.	STEEL
HT.	HEIGHT	TEMP.	TEMPERED
H.V.A.C.	HEATING / VENTILATION	T-STAT	THERMOSTAT
		THK.	THICK
		TYP.	TYPICAL
		T.B.D.	TO BE DETERMINED
		U.N.O.	UNLESS NOTED OTHERWISE
		V.I.F.	VERIFY IN FIELD
		W.	WITH
		WD	WOOD

## APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE  
(BASED ON 2021 INTERNATIONAL BUILDING CODE)
- 2022 CALIFORNIA GREEN BUILDING CODE  
(BASED ON CBC TITLE 24, PART 11)
- 2022 CALIFORNIA ELECTRICAL CODE  
(BASED ON 2020 NATIONAL ELECTRICAL CODE)
- 2022 CALIFORNIA MECHANICAL CODE  
(BASED ON 2021 UNIFORM MECHANICAL CODE)
- 2022 CALIFORNIA PLUMBING CODE  
(BASED ON 2021 UNIFORM PLUMBING CODE)
- 2022 ENERGY STANDARDS

## PROJECT DIRECTORY

- OWNER**  
Carl Johnson  
696 W Solana Circle,  
Solana Beach, CA 92075
- ARCHITECT**  
West Edge Architects  
Project Architect: Peter Mitsakos  
128 Sierra Street, Suite C  
El Segundo, CA 90245  
peter@westedgearchitects.com  
Tel: 310 821 2399
- STRUCTURAL ENGINEER**  
Niver Engineering  
Project Manager: Ken Niver  
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niverengineering@gmail.com  
Tel: 310 443 8677
- CIVIL ENGINEER**  
C.W. Howe Partners, Inc.  
Project Manager: Gabriel Gonzalez  
4358 Sepulveda Blvd  
Culver City, CA 90230  
gabriel@cwhowe.com  
Tel: 310 838 0383 ext. 218
- GEOTECHNICAL ENGINEER**  
Geotechnical Exploration Inc.  
Project Manager: Hector G. Extreña  
7420 Trade Street  
San Diego, CA 92121  
Tel: 858 549 7222

## PROJECT DESCRIPTION

DEMOLITION OF EXISTING ONE STORY SINGLE FAMILY RESIDENCE. NEW CONSTRUCTION OF ONE STORY SINGLE FAMILY RESIDENCE. INCLUDES TWO CAR GARAGE

## BUILDING DATA

**SITE ADDRESS**  
696 W SOLANA CIRCLE,  
SOLANA BEACH, CA 92075

**LEGAL DESCRIPTION**  
LOT NUMBER: 8  
MAP NO. 5070  
APN: 298-320-10  
ZONE: MR/PDM

**CONSTRUCTION TYPE**  
TYPE V-B SPRINKLERED

**LOT SIZE:** 4,628 SF  
**EXISTING BUILDING:** 1,404 SF

**(N) BUILDING AREA:** 2,399 SF  
**INTERIOR AREA:** 1,967 SF  
**GARAGE:** 432 SF

### SETBACKS

FRONT YARD SETBACK	10'-0"	11'-2"
SIDE YARD SETBACK	5'-0"	8'-8"
SIDE YARD SETBACK (ADJACENT TO PARALLEL)	2'-6"	2'-6"
REAR YARD SETBACK	5'-0"	5'-7"

### PROPERTY SQUARE FOOTAGE

	(E) S.F.	PROPOSED TOTAL S.F.
NON-LANDSCAPE AREA	2,424 S.F.	3,752 S.F.
IRRIGATED LANDSCAPE	2,052 S.F.	876 S.F.
NON-IRRIGATED LANDSCAPE	0 S.F.	0 S.F.
WATER FEATURES	0 S.F.	20 S.F.
DECORATIVE HARDSCAPE	0 S.F.	0 S.F.

### SITE GRADING

SITE GRADING	26 C.Y.
EXCAVATION FOR FOOTINGS	49 C.Y.
REMOVAL & RE-COMPACTION FOR CONSTRUCTION	429 C.Y.
TOTAL GRADING	504 C.Y.

### EARTHWORK QUANTITIES

CUT	131 C.Y.
FILL	56 C.Y.
REMOVAL & RE-COMPACTION FOR CONSTRUCTION	429 C.Y.
EXPORT	74 C.Y.

## SHEET INDEX

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C2.1 CROSS SECTIONS  
C3 EROSION CONTROL PLAN  
C3.1 EROSION CONTROL DETAILS

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A2.0 SITE PLAN  
A2.1 ARCHITECTURAL GRADING PLAN  
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A3.1 ROOF PLAN  
A4.0 SECTIONS  
A5.0 EXTERIOR ELEVATIONS  
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A5.2 EXTERIOR ELEVATIONS

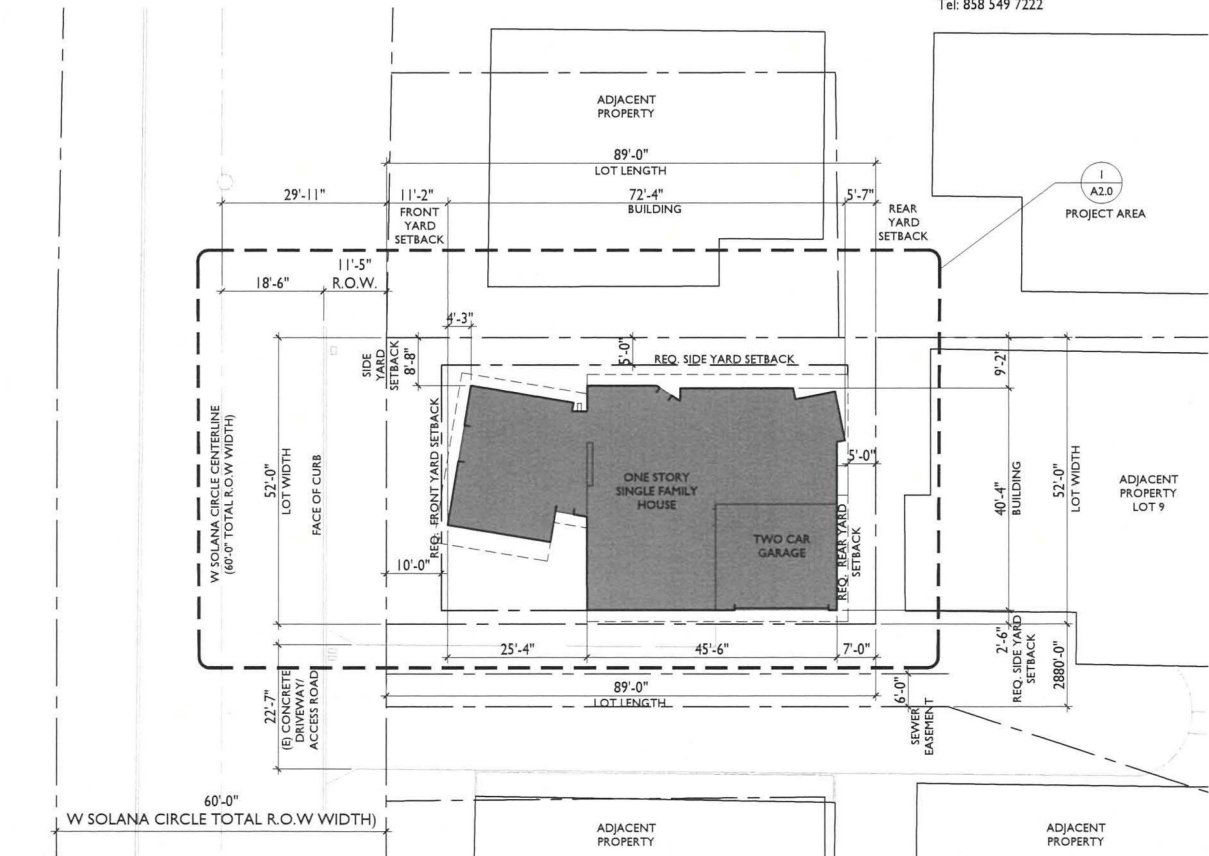
L1.0 LANDSCAPE PLAN  
L2.0 PLANTING SCHEDULE  
L3.0 IRRIGATION PLAN

### FOR REFERENCE ONLY

- BOUNDARY AND TOPOGRAPHIC SURVEY

### FLOOR AREA BREAKDOWN

LIVING AREA	1,967 S.F.
GARAGE	432 S.F.
SUBTOTAL FLOOR AREA	2,399 S.F.
OFF-STREET PARKING EXEMPTION	-400 S.F.
TOTAL PROPOSED FLOOR AREA	1,999 S.F.
MAXIMUM FLOOR AREA (LOT AREA X .6)	2,777 S.F.
MAXIMUM FLOOR AREA ALLOWED BY PARK DEL MAR DEVELOPMENT	2,400 S.F.
STRUCTURE HEIGHT	
EXISTING STRUCTURE HEIGHT	14'-3"
MAXIMUM HEIGHT ALLOWED	16'-0"
PROPOSED HEIGHT	14'-0"

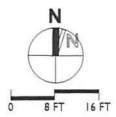


## PLOT PLAN LEDGEND

- AREA THAT HAS BEEN INCLUDED IN FLOOR AREA RATIO
- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

## 2 PLOT PLAN

Scale: 1/16" = 1'-0"



## VICINITY MAP

Scale: N.T.S.



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## JOHNSON RESIDENCE

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DEVELOPMENT REVIEW  
PERMIT  
DRP24-013

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 04/23/2025

PROJECT #: 2301

## GENERAL INFORMATION

SCALE: AS SHOWN

# A0.1



# GENERAL NOTES

## GENERAL NOTES - SECTION I

- 1 COMPLIANCE WITH GOVERNMENTAL REGULATIONS: THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNMENTAL REGULATIONS AND AGENCIES HAVING AUTHORITY OVER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY LAW AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- 2 SAFETY: THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY AND GENERAL ORDER OF THE PROJECT SITE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY CONSTRUCTION SITE.
- 3 SECURITY: THE CONTRACTOR IS RESPONSIBLE FOR THE SECURITY OF THE CONSTRUCTION SITE.
- 4 OWNERSHIP OF MATERIALS: THE CONTRACTOR OWNS AND IS RESPONSIBLE FOR ALL CONSTRUCTION MATERIAL PRIOR TO THEIR INSTALLATION AND APPROVAL BY THE ARCHITECT.
- 5 CONDITIONS OF THE SITE: VERIFY ALL CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. COMMENCEMENT OF CONSTRUCTION ACTIVITIES BY THE CONTRACTOR INDICATES ACCEPTANCE OF THE CONDITIONS UNDER WHICH THE WORK SHALL BE ACCOMPLISHED, INCLUDING, BUT NOT LIMITED TO ANY RESTRICTIONS OR REQUIREMENTS THE BUILDING OWNERS MAY IMPOSE REGARDING CONSTRUCTION ACTIVITIES.
- 6 COORDINATION WITH PROPERTY OWNER: THE CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE PROPERTY OWNER WITH REGARD TO THE REGULATION OF CONSTRUCTION ACTIVITY ON THE CONSTRUCTION SITE.
- 7 WORK INCLUDED IN THE CONTRACT: ALL INCIDENTAL WORK OR MATERIALS NOT SPECIFICALLY INDICATED HEREIN WHICH ARE REQUIRED BY GOOD PRACTICE OR ESTABLISHED BUILDING CODE REQUIREMENTS OR AS REQUIRED BY BUILDING DEPARTMENT FIELD INSPECTORS TO COMPLETE THE WORK IN A SATISFACTORY MANNER, SHALL BE COMPLETED OR FURNISHED WITHOUT EXTRA CHARGE.
- 8 SEPARATE CONTRACTS: ITEMS OF WORK INDICATED ON THE DRAWINGS AS N.I.C. SHALL BE PERFORMED, FURNISHED OR LET UNDER A SEPARATE CONTRACT BY THE OWNER OR BUILDING OWNER. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OWNER AND THE BUILDING OWNER AND ACCOMMODATE THEIR WORK AND THE WORK OF OTHER SEPARATE CONTRACTORS SO AS NOT TO CAUSE DELAY TO ANY OF THE WORK.
- 9 INCONSISTENCIES IN THE DOCUMENTS: ANY INCONSISTENCIES IN THE DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION WITHOUT DELAY. THE BETTER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED ACCORDING TO THE ARCHITECT'S INTERPRETATION.
- 10 DIMENSIONS: VERIFY ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. IN THE EVENT THERE ARE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE DRAWINGS AND CONDITIONS IN THE FIELD OR INCONSISTENCIES BETWEEN DRAWINGS, OR OMISSIONS, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT TO RECEIVE CLARIFICATION, PRIOR TO COMMENCING THE WORK IN QUESTION. DO NOT SCALE THE DRAWINGS!
- 11 DEVIATIONS FROM THE DOCUMENTS: NO DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- 12 DETAILS: DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- 13 JOBSITE DOCUMENTS: THE CONTRACTOR SHALL MAINTAIN ONE SET OF CONSTRUCTION DOCUMENTS ON THE PROJECT SITE AT ALL TIMES.
- 14 WORK THAT CANNOT BE EXECUTED ACCORDING TO THE DOCUMENTS: EACH SUBCONTRACTOR IS CONSIDERED AN EXPERT IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF A BID, AND THE PERFORMANCE OF THE WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED FOR IN THE DOCUMENTS THAT CANNOT BE EXECUTED AS SHOWN OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. IF THE WORK IS EXECUTED AS CALLED FOR IN THE DOCUMENTS, IT IS ASSUMED THAT THERE IS NO OBJECTION TO THOSE DOCUMENTS.
- 15 SITE CONDITIONS: VERIFY CONDITIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT WOULD PREVENT THE EXECUTION OF THE WORK OR ANY DISCREPANCIES BETWEEN THE CONDITIONS DEPICTED ON THE DRAWINGS AND THE ACTUAL CONDITIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK.
- 16 LINES AND LEVELS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PROJECT LINES AND LEVELS. COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK, AND CALL TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. OTHERWISE, NO ALLOWANCE FOR DISCREPANCIES WILL BE GRANTED.
- 17 PROTECTION OF ADJACENT PROPERTY: TAKE ALL NECESSARY MEASURES TO FULLY PROTECT ALL ADJACENT PROPERTIES.
- 18 CUTTING AND DEMOLITION: PROVIDE ALL REQUIRED PROTECTION PRIOR TO CUTTING, INCLUDING BUT NOT NECESSARILY LIMITED TO SHORING, BRACING AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE EXISTING WORK. CAREFULLY PROTECT ALL EXISTING FINISHES TO REMAIN SUCH AS WALLCOVERING, CARPET, SUSPENDED CEILING AND DOORS. PERFORM ALL CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATIONS OF NEW WORK, AND PERFORM FITTING AND ADJUSTMENT OF PRODUCTS TO FINISHED INSTALLATION COMPLYING WITH THE SPECIFIED TOLERANCES AND FINISHES. SEE DEMOLITION NOTES FOR ADDITIONAL REQUIREMENTS.
- 19 SHORING AND BRACING: PROVIDE TEMPORARY BRACES, SHORES AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURE AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-WAYS MAY BE SUBJECTED DURING CONSTRUCTION.
- 20 FIELD MEASUREMENTS: OBTAIN ALL FIELD MEASUREMENTS REQUIRED FOR THE ACCURATE FABRICATION AND INSTALLATION OF THE WORK INCLUDED IN THIS CONTRACT. ACCURATE MEASUREMENTS ARE THE CONTRACTOR'S RESPONSIBILITY.
- 21 RELOCATION OF WORK: NOTIFY THE ARCHITECT PRIOR TO PERFORMING THE WORK WHEN CONSTRUCTION CONDITIONS DICTATE THE RELOCATION OF ANY ITEM FROM THE POSITION SHOWN ON THE DRAWINGS.
- 22 STORAGE OF MATERIALS: RETAIN ALL STORED ITEMS IN AN ORDERLY ARRANGEMENT ALLOWING MAXIMUM ACCESS NOT IMPEDING WALKWAYS AND PROVIDING THE REQUIRED PROTECTION OF MATERIALS.
- 23 IN ADDITION TO COMPLYING WITH PERTINENT CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION, COMPLY WITH THE GYPSUM ASSOCIATION "RECOMMENDED SPECIFICATIONS FOR APPLICATION AND FINISH OF GYPSUM BOARD" AND SPECIFICATIONS FOR METAL LATHING AND FURRING, PUBLISHED BY THE METAL LATH AND STEEL FRAMING ASSOCIATION.
- 24 CONSTRUCTION ACTIVITY SHALL NOT BEGIN BEFORE 7 A.M. OR CONTINUE LATER THAN 7 P.M. / 6 P.M. ON SATURDAYS, SUNDAYS & HOLIDAY (9:53.070(6)).
- 25 MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTER (4.407.4).

## GENERAL NOTES - SECTION II

- 1 NOT USED
- 2 NOT USED
- 3 ENERGY EFFICIENCY REQUIREMENT.  
ALL ELECTRICAL AND MECHANICAL WORK SHALL CONFORM TO CALIFORNIA TITILE 24 REQUIREMENTS AND ANY OTHER APPLICABLE ORDINANCES, AND SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTORS.
- 4 COORDINATION.  
A. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND EITHER THE STRUCTURAL OR CIVIL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.  
B. VERIFY CONDITIONS AND LOCATIONS OF ALL EXISTING UTILITIES AND ANY OTHER ITEMS THAT MAY AFFECT THE INSTALLATION OF ALL NEW WORK AT THE LOCATIONS AND HEIGHT INDICATED ON THE DRAWINGS.  
C. COORDINATE ALL TRADES AND / OR PREPARE COMPOSITE SHOP DRAWINGS TO ENSURE CLEARANCES FOR ALL NEW AND EXISTING FIXTURES, DUCTS, STRUCTURE, CEILING, ETC. TO MAINTAIN THE SPECIFIED CEILING OR FIXTURE HEIGHT ABOVE FINISH FLOOR AS NOTED.  
D. COORDINATE AND PROVIDE ALL ACCESS AS INDICATED OR REQUIRED FOR EQUIPMENT MAINTENANCE. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- 5 CEILING BRACING AND SUPPORT. BRACE ALL INSTALLED CEILINGS, SOFFITS, AND FIXTURES PER CODE REQUIREMENTS.
- 6 DRYWALL CEILINGS.  
A. ALL GYP. BOARD CEILINGS SHALL BE PAINTED UNLESS NOTED OTHERWISE.  
B. INSTALL ACCESS PANELS AS REQUIRED. COORDINATE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE FLUSH MOUNTED AND PAINTED TO MATCH CEILINGS.
- 7 TYPICAL SWITCH HEIGHT.  
ALL SWITCHES SHALL BE 36" AND THERMOSTATS SHALL BE 42" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL HEIGHTS GIVEN ARE TO CENTERLINE OF COVER PLATE MOUNTED VERTICALLY. WHEN MORE THAN ONE SWITCH IS SHOWN AT THE SAME LOCATION THEY SHALL BE GANGED AND FINISHED WITH A ONE PIECE COVER PLATE.
- 8 NOT USED.
- 9 SEE DETAILS FOR BACKING AT WALLS.
- 10 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED.
- 11 ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.

## GENERAL NOTES - SECTION III

- 1 THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 2 AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. SEPARATE PLUMBING PERMIT IS REQUIRED.

## FIRE PROTECTION

1. STRUCTURE SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AS DEFERRED SUBMITTAL AND APPROVED BY THE SOLANA BEACH FIRE DEPARTMENT PRIOR TO INSTALLATION PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.230 SECTION 903.2.
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
5. ALL OUTDOOR COOKING DEVICES ARE REQUIRED TO FOLLOW THE SOLANA BEACH RECREATIONAL FIRE POLICY/COOKING FIRES USING COAL, NATURAL GAS OR PROPANE, SHOULD NOT BE CONDUCTED WITHIN 10 FEET OF COMBUSTIBLES OR UNDER EAVES. DISTANCE CAN BE REDUCED TO A MINIMUM OF 3 FEET FROM COMBUSTIBLE CONSTRUCTION IF USING A STUCCO OR BRICK PURPOSE-BUILT BBQ.
6. CONSTRUCTION MATERIALS: PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING CONSTRUCTION MATERIALS TO THE PROJECT SITE ALL THE FOLLOWING CONDITIONS SHALL BE COMPLETED TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 33: ALL WET AND DRY UTILITIES SHALL BE INSTALLED AND APPROVED BY THE APPROPRIATE INSPECTING DEPARTMENT OR AGENCY. WATER SUPPLY FOR FIRE PROTECTION (FIRE HYDRANTS AND STANDPIPES) SHALL BE INSTALLED, IN SERVICE AND ACCEPTED BY THE FIRE DEPARTMENT AND APPLICABLE WATER DISTRICT.
7. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: ALL ROADWAYS SHALL BE A MINIMUM OF 20 FEET IN WIDTH DURING CONSTRUCTION AND MAINTAINED FREE AND CLEAR, INCLUDING THE PARKING OF VEHICLES PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 5 SECTION 503.4 AND 503.2.1.
8.
9.
10.



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## JOHNSON RESIDENCE

696 W SOLANA CIRCLE,  
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DEVELOPMENT REVIEW  
PERMIT  
DRP24-013

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 04/23/2025

PROJECT #: 2301

## GENERAL NOTES

SCALE:

A0.2



GENERAL NOTES

1. APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
2. FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
3. IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
4. A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
5. ALL SLOPES OVER THREE FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
6. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

UNDERGROUND SERVICE ALERT

811

CITY OF SOLANA BEACH PUBLIC WORKS 858 720-2470

7. THE SOILS REPORT TITLED JOB NO. 23-14219, PREPARED BY GEOTECHNICAL EXPLORATION, INC., AND DATED 30 JUNE 2023, SHALL BE CONSIDERED AS PART OF THIS GRADING PLAN. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN SAID REPORT.

8. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.

9. THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.

10. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARNING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY, MONDAY THROUGH FRIDAY AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.

11. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL SURFACES TO NATURAL GROUND AND ADJUTTING CUT OR FILL SURFACES.

12. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE EXCAVATION AND GRADING CODE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS, WHICH DAMAGE ADJACENT PROPERTY.

13. SLOPE RATIOS: CUT 2:1 FILL 2:1  
CUT: 3 CY. FILL: 55 CY.  
IMPORT/(EXPORT): 74 CY.  
NOTE: A SEPARATE PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.

14. SPECIAL CONDITIONS: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.

15. ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT IS COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.

16. THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH AT (858) 720-2470, 24 HOURS BEFORE GRADING OPERATIONS BEGIN.

17. FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPING PLAN.

18. ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO BEGINNING WORK.

19. UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. SBGR-\_\_\_\_\_ HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN." THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH GRADING OPERATION.

20. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

EROSION CONTROL NOTES

1. STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.

2. EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.

3. EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:

NON-IRRIGATED HYDROSEED MIX WITH A BONDED FIBER MATRIX APPLIED AT 4,000 LB/ACRE

LBS./ACRE	% PURITY/ACRE	SEED SPECIES
20	70% PLUS	ATRIPLEX GLAUCA
50		PLANTAGE INSULARIS
8		ENCELIS FARINOSA
6	SCARIFIED	LOTUS SCOPARIUS
7	50% PLUS	EXCHSCHOLZIA CALIFORNIA
TOTAL 91 LBS.		

4. THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.

5. CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.

6. SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.

7. SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.

8. THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.

9. THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.

10. THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.

11. IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE AT THE DEVELOPER'S EXPENSE.

AS-BUILT:

UPON COMPLETION, AND PRIOR TO RELEASING THE SECURITIES, THE ENGINEER OF WORK SHALL "AS-BUILT" THE ORIGINAL MYLAR PLANS. INITIALLY, TWO COPIES OF RED-LINED PLANS SHOWING ALL AS-BUILT INFORMATION, INCLUDING ALL NEW UNDERGROUND FACILITIES (MAIN LINES, SERVICES AND LATERALS), IS TO BE SUBMITTED TO THE ENGINEERING DEPARTMENT. WHEN THE RED-LINES ARE APPROVED, THE ORIGINAL MYLAR PLANS WILL BE CHECKED OUT TO THE ENGINEER. THE ENGINEER SHALL MAKE THE CHANGES, SIGN EACH SHEET UNDER "AS-BUILT", AND RETURN ORIGINAL MYLARS TO THE CITY.



PRELIMINARY GRADING PLAN

JOHNSON RESIDENCE  
696 W SOLANA CIRCLE  
SOLANA BEACH, CA 92076

OWNER/DEVELOPER CERTIFICATE

I, \_\_\_\_\_ AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER/DEVELOPER SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 9 MONTHS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

SIGNED \_\_\_\_\_

DATE \_\_\_\_\_

ENGINEER OF WORK CERTIFICATE

I, \_\_\_\_\_ HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND CITY OF SOLANA BEACH RESOLUTION NO. \_\_\_\_\_

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH AND ANY OTHER PUBLIC AGENCY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

R.C.E. NO. \_\_\_\_\_ EXP. \_\_\_\_\_

FIRM \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE \_\_\_\_\_

ENGINEER OF WORK AS-BUILT CERTIFICATE

I, \_\_\_\_\_ HEREBY DECLARE THAT THE PREPARATION OF THESE AS-BUILT DRAWINGS AND THAT THE INFORMATION SHOWN IS BASED ON ACTUAL SITE INVESTIGATIONS AND SURVEYS OF THE IMPROVEMENTS BETWEEN THE DATES OF \_\_\_\_\_ AND \_\_\_\_\_ TO THE BEST OF MY KNOWLEDGE AND EXPERIENCE THE INFORMATION SHOWN ON THESE PLANS PROVIDE AN ACCURATE AND CORRECT REPRESENTATION OF THE AS-BUILT CONDITIONS.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

R.C.E. NO. \_\_\_\_\_ EXP. \_\_\_\_\_

FLOOD STATEMENT

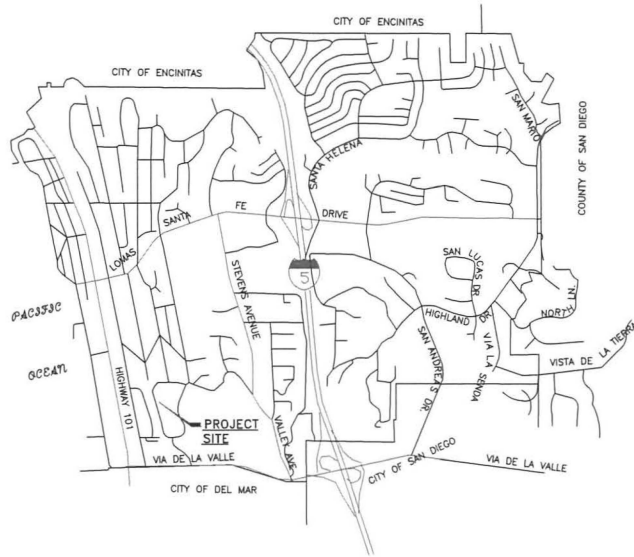
I, \_\_\_\_\_ A REGISTERED CIVIL ENGINEER/SURVEYOR, HEREBY CERTIFY THAT THE PAD STRUCTURES SHOWN ON THIS AS-BUILT GRADING PLAN HAVE BEEN VERIFIED BY ME AND THAT SAID ELEVATIONS ARE AT OR ABOVE THE BASE FLOOD ELEVATION SHOWN ON THE FLOOD INSURANCE RATE MAP OF THE COUNTY OF SAN DIEGO.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

R.C.E./P.L.S. NO. \_\_\_\_\_ EXP. \_\_\_\_\_

SHEET INDEX

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	PRELIMINARY GRADING PLAN
C2.1	CROSS SECTION
C3	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS



VICINITY MAP

SOIL ENGINEER CERTIFICATE

I, \_\_\_\_\_ A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA, PRINCIPALLY DOING BUSINESS IN THE FIELD OF APPLIED SOIL MECHANICS, HEREBY CERTIFY THAT A SAMPLING AND STUDY OF THE SOIL AND CONDITIONS PREVALENT WITHIN THE SITE WAS MADE BY ME OR UNDER MY DIRECTION BETWEEN THE DATES \_\_\_\_\_ AND \_\_\_\_\_. I HAVE REVIEWED THE PROJECT DESIGN AND GRADING SHOWN HEREIN IS CONSISTENT WITH THE RECOMMENDATIONS CONTAINED IN THE APPROVED SOILS AND GEOTECHNICAL REPORTS FOR THE PROJECT. ONE COMPLETE COPY OF THE FINAL SOILS REPORT COMPILED FROM THIS STUDY, WITH MY RECOMMENDATIONS, HAS BEEN SUBMITTED TO THE OFFICE OF THE CITY ENGINEER.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

R.C.E. NO. \_\_\_\_\_ EXP. \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE \_\_\_\_\_

SOILS ENGINEER AS-BUILT CERTIFICATE

TO THE BEST OF MY KNOWLEDGE AND EXPERIENCE THE GRADING CONFORMS WITH THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT AND PLANS WITH THE EXCEPTION THAT ANY CHANGES OR DEVIATIONS FROM THE PLANS DUE TO UNFORESEEN FIELD CONDITIONS HAVE BEEN IDENTIFIED IN THE FINAL SOILS REPORT FOR THE PROJECT. ONE COMPLETE COPY OF THE FINAL SOILS REPORT COMPILED FROM THIS STUDY, WITH MY RECOMMENDATIONS, HAS BEEN SUBMITTED TO THE OFFICE OF THE CITY ENGINEER.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

R.C.E./P.L.S. NO. \_\_\_\_\_ EXP. \_\_\_\_\_

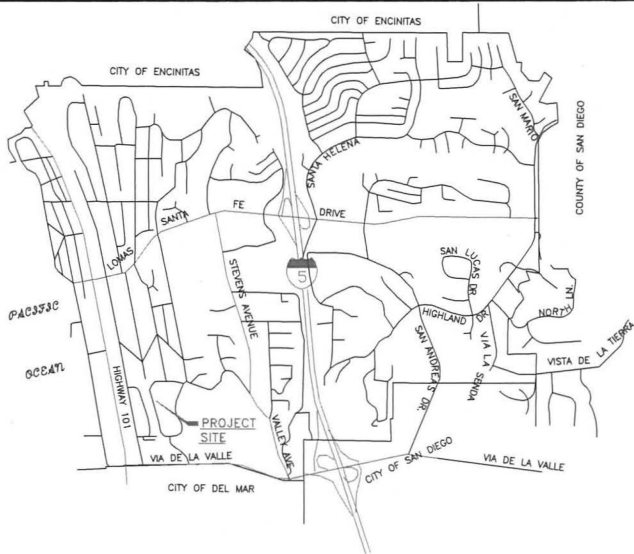
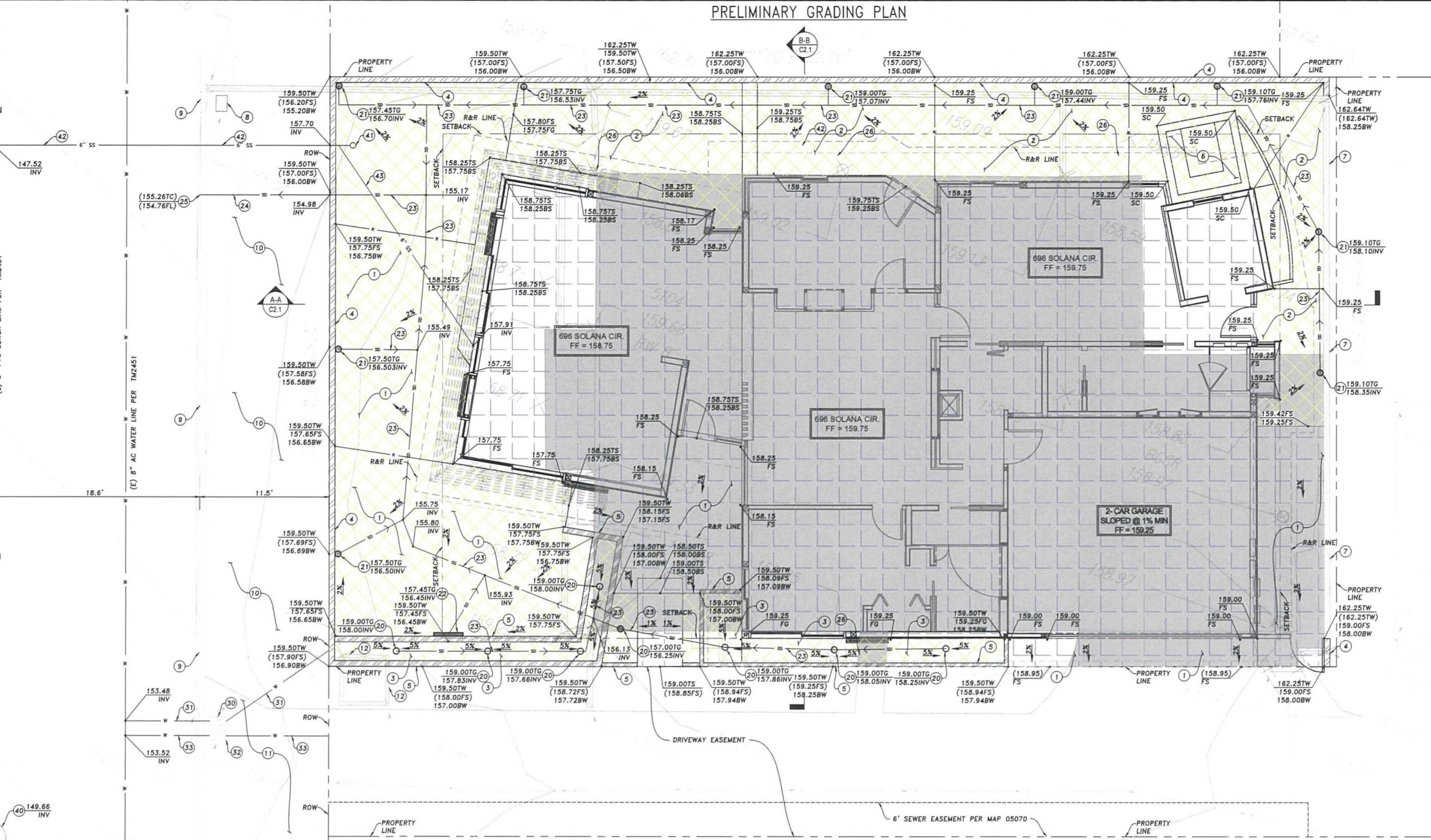
COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

		ENGINEER OF WORK		CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
	C. W. Howe Partners Inc. <i>Structural and Civil Engineering</i> 4358 Sepulveda Blvd. Suite 200, CA 90230 (310) 838-0383 office@cwhowe.com	GG Drawn By	By: _____ Date: _____			By: _____ Date: _____	By: _____ Date: _____	DESCRIPTION: SOLB-1 RECORDED FROM ROS 18971  ELEV.: 71.45			



WEST SOLANA CIRCLE

PRELIMINARY GRADING PLAN



VICINITY MAP

ABBREVIATIONS:

BW BOTTOM OF WALL  
(E) EXISTING  
EG EDGE OF GUTTER  
FG FINISHED GRADE  
FS FINISHED SURFACE  
FL FLOW LINE  
HP HIGH POINT  
INV INVERT  
LF LINEAR FEET  
LP LOW POINT  
PROP PROPOSED  
ROW RIGHT OF WAY  
SD STORM DRAIN  
SPPWC STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION  
STD STANDARD  
TC TOP OF CURB  
TG TOP OF GRATE

LEGEND AND SYMBOLS:

PROPERTY LINE  
CENTERLINE  
STORM DRAIN  
SUB DRAIN  
RIDGE LINE  
FLOW LINE  
REMOVE AND RECOMPACTION  
PROP ELEVATION  
EXIST ELEVATION  
PLANTER WALL  
SITE WALL  
STORM AREA DRAIN  
STORM ATRIUM DRAIN  
STORM TRENCH DRAIN  
EXISTING 8" SEWER LINE  
EXISTING 6" SEWER LINE  
EXISTING WATER LINE  
EXISTING IMPERVIOUS AREA (2464.8 FT<sup>2</sup>)  
PROPOSED IMPERVIOUS AREA (2761.8 FT<sup>2</sup>)  
PROPOSED PERVIOUS AREA (1689.0 FT<sup>2</sup>)

IMPERVIOUS AREA CALCULATION:

EXISTING IMPERVIOUS AREA: 2464.8 FT<sup>2</sup>  
EXISTING PERVIOUS AREA: 1986.0 FT<sup>2</sup>  
PROPOSED IMPERVIOUS AREA: 2761.8 FT<sup>2</sup>  
PROPOSED PERVIOUS AREA: 1689.0 FT<sup>2</sup>  
PROPOSED INCREASE IN IMPERVIOUS AREA: 297 FT<sup>2</sup>

PROJECT INFORMATION:

**SITE ADDRESS**  
696 W SOLANA CIRCLE,  
SOLANA BEACH, CA 92075  
APN: 298-320-10

**SOILS ENGINEER**  
GEOTECHNICAL EXPLORATION, INC.  
740 TRADE STREET  
SAN DIEGO, CA 92121  
JAIME A. CERROS, PE  
JOB NO. 23-14219  
858-549-7222

**CIVIL ENGINEER**  
C.W. HOWE PARTNERS, INC.  
4358 SEPULVEDA BLVD  
CULVER CITY, CA 90230  
KATHERINE BAAD, PE  
PROJECT NO. C-24W07  
310-838-0363

SURVEY INFORMATION:

**SURVEYOR'S INFORMATION**  
ODAY CONSULTANTS  
2710 LOKER AVENUE WEST SUITE 100  
CARLSBAD, CALIFORNIA 92010  
760-931-7700  
JOB NO. 23-1006  
DATE: 02/14/2023

**OWNER'S INFORMATION**  
MR CARL JOHNSON  
775 STARLIGHT HEIGHTS DRIVE  
LA CANADA, CA 91011

**ARCHITECT**  
WEST EDGE ARCHITECTS  
128 SIERRA STREET SUITE C  
EL SEGUNDO, CALIFORNIA 90245  
PETER M. MITSAKOS  
PROJECT NO. 2301  
310-821-2399

**BENCHMARK**  
VERTICAL BENCHMARK: SOLB-1  
RECORDED FROM ROS 18971  
ELEVATION: 71.45 DATUM: NAVD 88

EARTHWORK QUANTITIES:

	13'	CUBIC YARDS
CUT	56	CUBIC YARDS
FILL	429	CUBIC YARDS
R&R	74	CUBIC YARDS
EXPORT		

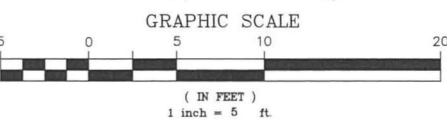
THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE QUANTITIES ARE FOR DESIGN AND BONDING PURPOSES ONLY. DUE TO UNFORSEEN SITE CONDITIONS THESE NUMBER MAY DIFFER FROM FINAL CUT AND FILL ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPUTING HIS OWN QUANTITIES FOR CONTRACT AND CONSTRUCTION PURPOSES.

SURFACE IMPROVEMENTS:

- PROPOSED CONCRETE WITH TILES FINISH AREA INCLUDING OPEN JOINTS PER ARCHITECTURAL PLANS.
- PROPOSED LANDSCAPE AREAS WITH GRAVEL WALKWAYS PER ARCHITECTURAL AND LANDSCAPE PLANS.
- PROPOSED LANDSCAPE AREA PER ARCHITECTURAL AND LANDSCAPE PLANS.
- PROPOSED SITE WALL. FOUNDATION PER STRUCTURAL PLAN.
- PROPOSED PLANTER WALL.
- PROPOSED IN-GROUND SPA.
- EXISTING WALL, PROTECT-IN-PLACE.
- EXISTING TELEPHONE/FIBER OPTICS BOX, PROTECT-IN-PLACE.
- EXISTING 6" CURB, PROTECT-IN-PLACE.
- PROPOSED LANDSCAPE AREA PER LANDSCAPE PLANS.
- EXISTING DRIVEWAY AREA, PROTECT-IN-PLACE.
- REMOVED EXISTING 9" BLOCK PLANTER.

STORM DRAIN IMPROVEMENTS:

- CONTRACTOR TO INSTALL 3" ATRIUM DRAIN NDS PART No. 70 OR APPROVED EQUIVALENT.
- CONTRACTOR TO INSTALL 4" ROUND DRAIN NDS PART No. 11 OR APPROVED EQUIVALENT.
- CONTRACTOR TO INSTALL 3" TRENCH DRAIN KIT NDS PART No. 764 OR APPROVED EQUIVALENT.
- INSTALL 4" PVC STORM DRAIN, SCHEDULE 40 ASTM D1785. SLOPE AT 2% MINIMUM.
- INSTALL 4" PVC PIPE UNDER PUBLIC RIGHT-OF-WAY. SLOPE AT 2% MINIMUM PER SDRSD STD. PLAN D-27.
- INSTALL 4" CURB DRAIN PER SDRSD STD. PLAN D-27.
- REFER TO ARCHITECTURAL SITE PLAN FOR ROOF GUTTER/SPLASH BLOCK LOCATIONS



SEWER IMPROVEMENTS:

- EXISTING MANHOLE, PROTECT-IN-PLACE.
- PROPOSED SEWER CLEANOUT.
- EXISTING SEWER LATERAL, PROTECT-IN-PLACE.
- PROPOSED SEWER LATERAL.

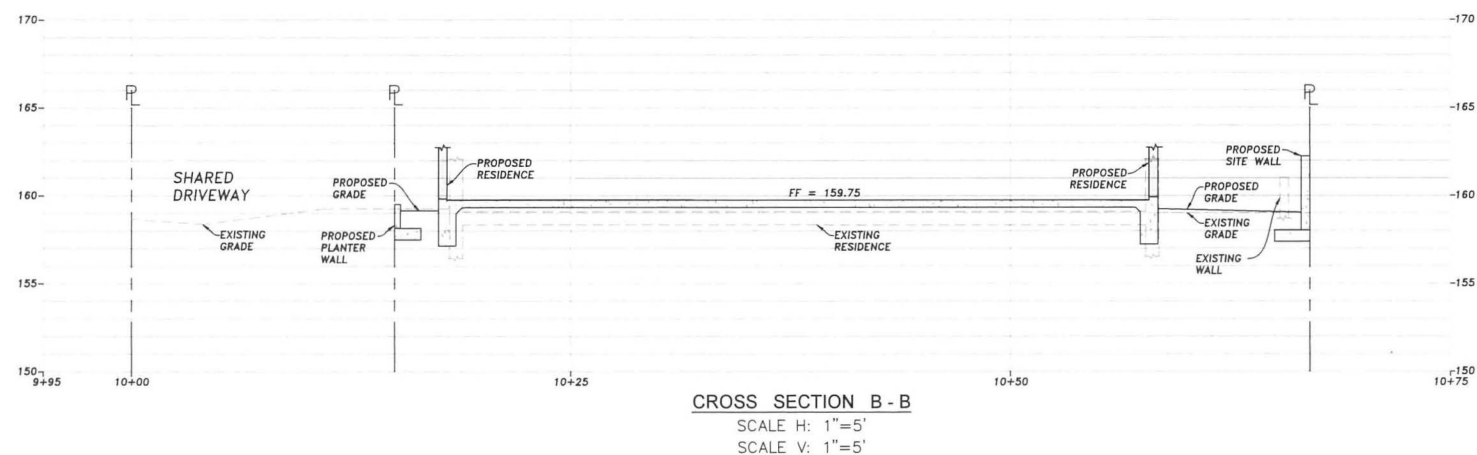
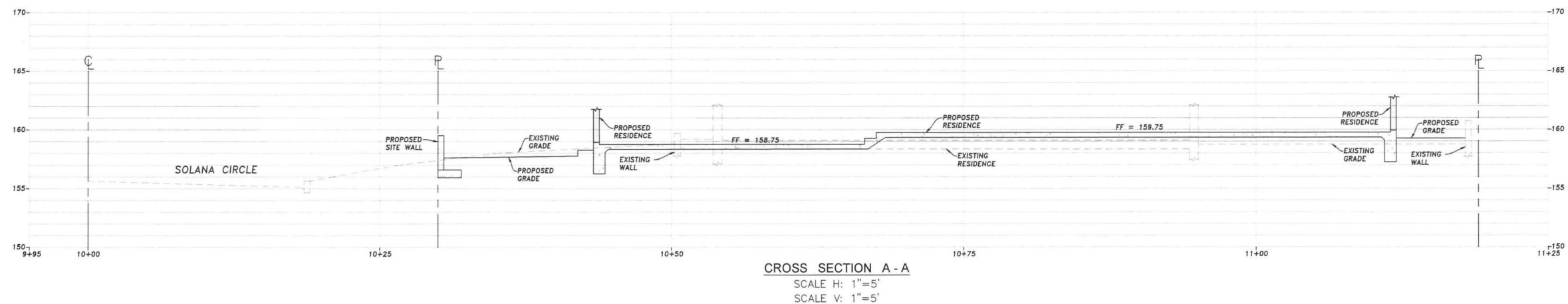
WATER IMPROVEMENTS:

- EXISTING WATER METER, PROTECT-IN-PLACE.
- EXISTING WATER LATERAL LINE, PROTECT-IN-PLACE.
- EXISTING NEIGHBOR WATER METER, PROTECT-IN-PLACE.
- EXISTING NEIGHBOR WATER LATERAL LINE, PROTECT-IN-PLACE.

COASTAL COMMISSION PERMIT NO.

ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
C. W. Howe Partners Inc. Structural and Civil Engineering 4358 Sepulveda Blvd Culver City, CA 90230 (310) 838-0363 coffice@howepartners.com						GRADING PLANS FOR: <b>696 W SOLANA CRL, SOLANA BEACH, CA 92075</b> JOHNSON RESIDENCE		C-2 Sheet 2 of 5
GG Drawn By: KATHERINE F. BAAD Date: R.C.E. 64669			By: _____ Date: _____ By: _____ Date: _____	By: _____ Date: _____ By: DANIEL GOLDBERG, City Engineer R.C.E.: 57292 Exp: 12-31-2025	DESCRIPTION: SOLB-1 RECORDED FROM ROS 18971 ELEV.: 71.45 DATUM: NAVD 88			

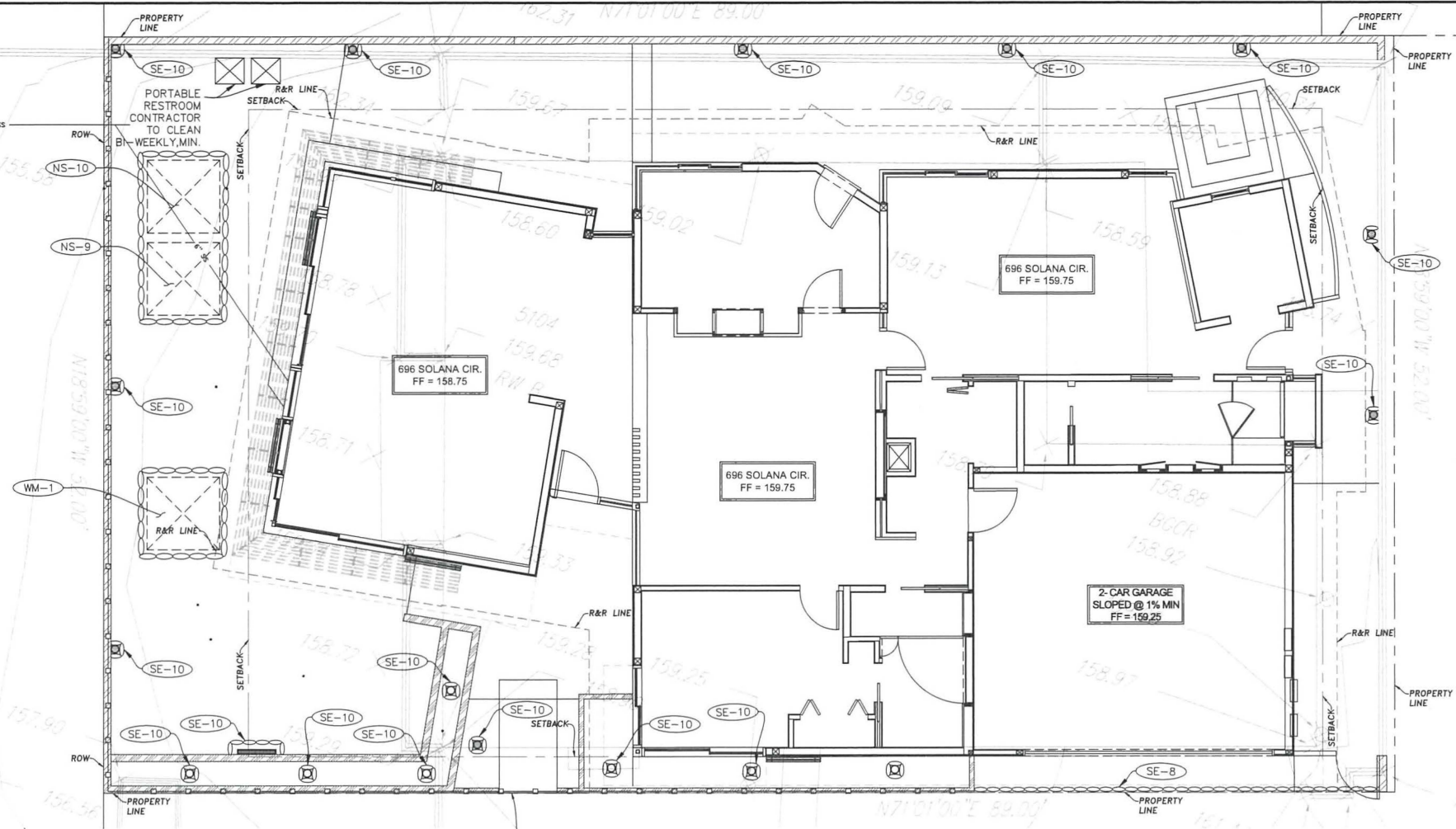




COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

		ENGINEER OF WORK		CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
C. W. Howe Partners Inc. Structural and Civil Engineering 4356 Sepulveda Blvd. Suite 200, CA 90230 (310) 835-0383      cff@howepartners.com	GG	By: _____	Date: _____				By: _____	Date: _____	DESCRIPTION: SOLB-1 RECORDED FROM ROS 18971  ELEV.: 71.45			

WEST SOLANA CIRCLE



EROSION CONTROL NOTES:

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL. BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL. EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:

NON-IRRIGATED HYDROSEED MIX WITH A BONDED FIBER MATRIX APPLIED AT 4,000 LB/ACRE		
LBS./ACRE	% PURITY/ACRE SEED	SEED SPECIES
20	70% PLUS	ATRIPEX GLAUCA
50		PLANTAGE INSULARIS
8		ENCELIS FARINOSA
6	SCARIFIED	LOTUS SCOPARIUS
7	50% PLUS	EXCHSCHOLZIA CALIFORNIA
TOTAL 91 LBS.		

- THE TOPS OF ALL SLOPES SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAGS CHECK DAMS SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2% IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE OFFICE OF THE CITY ENGINEER AND AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVES THE DEVELOPMENT.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE AT THE DEVELOPER'S EXPENSE.

CONSTRUCTION NOTES

- SE-10 INSTALL SANDBAGS AND FILTER FABRIC AT CATCH BASIN PER BMP SE-10 ON SHEET C3.1
- SE-8 INSTALL SANDBAGS PER BMP SE-10 ON SHEET C3.1
- NS-9 INSTALL VEHICLE/EQUIPMENT FUELING PER BMP NS-9 ON SHEET C3.1
- NS-10 INSTALL CONCRETE WASTE MANAGEMENT PER BMP NS-10 ON SHEET C3.1
- WM-1 INSTALL MATERIAL DELIVERY & STORAGE PER BMP WM-1 ON SHEET C3.1

NOTE: ALL DRAINS AND CATCH BASINS ON RIVERA DRIVE STREET PUBLIC RIGHT OF WAY TO BE VERIFIED ON SITE BY A CONTRACTOR

LEGEND

- SANDBAGS
- CHAIN LINK FENCE

ATTACHMENT 'A' NOTES

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO DRAINAGE SYSTEMS.
- NON-STORM WATER RUN-OFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ADDITIONAL BMPS WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.
- STRUCTURAL BMPS MUST BE ACCESSIBLE FOR INSPECTION BY CITY PERSONNEL DURING REGULAR BUSINESS HOURS.

THE FOLLOWING BMPS AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS)

EROSION CONTROL	TEMPORARY SEDIMENT CONTROL	WM4- SPILL PREVENTION AND CONTROL
EC1- SCHEDULING	SE1- SILT FENCE	WM5- SOLID WASTE MANAGEMENT
EC2- PRESERVATION OF EXISTING VEGETATION	SE2- SEDIMENT BASIN	WM6- HAZARDOUS WASTE MANAGEMENT
EC3- HYDRAULIC MULCH	SE3- SEDIMENT TRAP	WM7- CONTAMINATION SOIL MANAGEMENT
EC4- HYDROSEEDING	SE4- CHECK DAM	WM8- CONCRETE WASTE MANAGEMENT
EC5- SOIL BINDERS	SE5- FIBER ROLLS	WM9- SANITARY/SEPTIC WASTE MANAGEMENT
EC6- STRAW MULCH	SE6- GRAVEL BAG BERM	WM10- LIQUID WASTE MANAGEMENT WIND EROSION CONTROL
EC7- GEOTEXTILES & MATS	SE7- STREET SWEEPING AND VACUUMING	WE1- WIND EROSION CONTROL
EC8- WOOD MULCHING	SE8- SANDBAG BARRIER	WE2- EQUIPMENT TRACKING CONTROL
EC9- EARTH DIKES AND DRAINAGE SWALES	SE9- STRAW BALE BARRIER	TC1- STABILIZED CONSTRUCTION ENTRANCE EXIT
EC10- VELOCITY DISSIPATION DEVICES	SE10- STORM DRAIN INLET PROTECTION	TC2- STABILIZED CONSTRUCTION ROADWAY
EC11- SLOPE DRAINS	WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL	TC3- ENTRANCE/OUTLET TIRE WASH
EC12- STREAMBANK STABILIZATION	WM1- MATERIAL DELIVERY AND STORAGE	
EC13- POLYACRYLAMIDE	WM2- MATERIAL USE	
	WM3- STOCKPILE MANAGEMENT	



INSTALL COUNTY/CITY APPROVED STORMWATER STENCIL "NO DUMPING THIS DRAINS TO THE OCEAN" OR APPROVED EQUIVALENT.



COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
C. W. Howe Partners Inc. Structural and Civil Engineering 4358 Sequoias Blvd. Suite 200, CA 92023 (310) 838-0383 office@cwhowe.com			By: _____ Date: _____	By: _____ Date: _____ DANIEL GOLDBERG, City Engineer R.C.E.: 57292 Exp: 12-31-2025	DESCRIPTION: SOLB-1 RECORDED FROM ROS 18971 ELEV.: 71.45 DATUM: NAVD 88	GRADING PLANS FOR: 696 W SOLANA CRL, SOLANA BEACH, CA 92075 JOHNSON RESIDENCE		C-3 Sheet 4 of 5





SE-8 SAND BAG BARRIER



TC-1 STABILIZED CONSTRUCTION ENTRANCE



1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
2. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.
4. CONCRETE WASHOUT AREA SHALL BE LINED WITH A MINIMUM 10 MIL. POLYETHYLENE SHEETING. REFER TO BMP #WM-8 FROM THE 2003 CALIFORNIA CONSTRUCTION BMP HANDBOOK

NS-10 CONCRETE WASTE MANAGEMENT



1. FUELING SHALL BE PERFORMED IN A DESIGNATED AREA, AWAY FROM DRAINAGE COURSES.
2. ABSORBENT CLEANUP MATERIAL SHALL BE ON SITE AND USED IMMEDIATELY IN THE EVENT OF A SPILL.

NS-9 VEHICLE/EQUIPMENT FUELING



1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
2. ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

## MATERIAL STORAGE



1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
4. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE.
6. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT THE 8 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
7. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
8. MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

### CRITERIA FOR SILT FENCE MATERIALS

1. FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 IN. LONG. WOOD POSTS WILL BE 2 BY 2 IN. HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
2. SILT FENCE FABRIC (SEE CHART BELOW)

FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH	90 LB. MINIMUM	ASTM D 1682
MULLEN BURST STRENGTH	190 PSI MINIMUM	ASTM D 3786
SLURRY FLOW RATE	0.3 GAL./MIN/FT MAXIMUM	
EQUIVALENT OPENING SIZE	40-80	US STD. SIEVE CW-02215
ULTRAVIOLET RADIATION STABILITY	90% MINIMUM	ASTM-G-26

SE-1 SILT FENCE



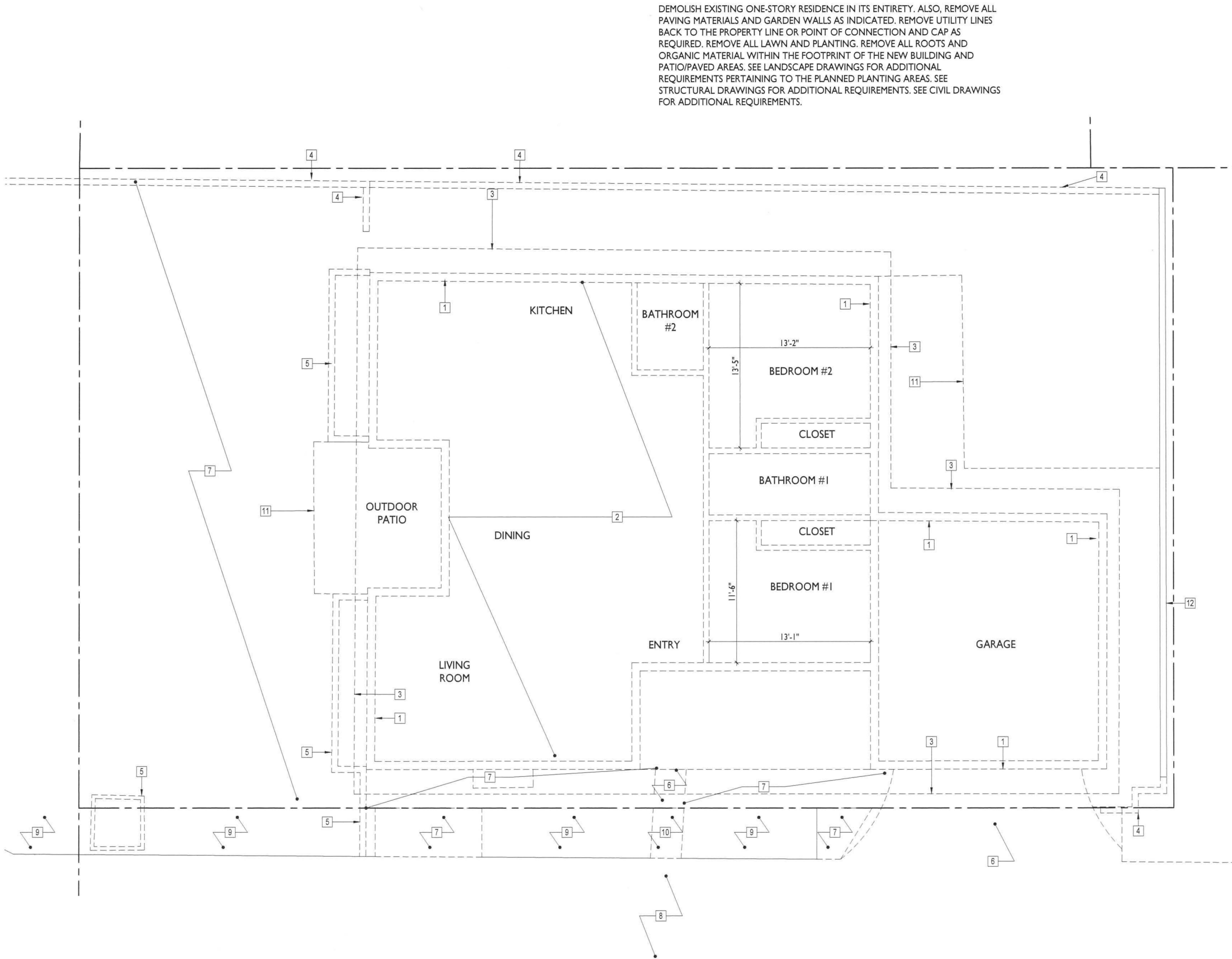
- NOTES:

1. LEAKING VEHICLES AND EQUIPMENT SHALL NOT BE ALLOWED ON-SITE. EQUIPMENT AND VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS AND SHALL BE REPAIRED IMMEDIATELY. CLEAN UP SPILLS AND LEAKS PROMPTLY WITH ABSORBENT MATERIALS; DO NOT FLUSH WITH WATER.
2. VEHICLES AND EQUIPMENT SHALL BE MAINTAINED, AND REPAIRED, ON-SITE ONLY IN DESIGNATED AREAS. PREVENT RUN-ON AND RUN-OFF FROM DESIGNATED AREAS. CONTAINMENT DEVICES SHALL BE PROVIDED AND AREAS SHALL BE COVERED IF NECESSARY.
3. DESIGNATE ON-SITE VEHICLE AND EQUIPMENT MAINTENANCE AREAS, AWAY FROM STORM DRAIN INLETS AND WATER COURSES.
4. ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN OR DROP CLOTH, TO CATCH SPILLS AND LEAKS WHEN REMOVING OR CHANGING FLUIDS.
5. LEGALLY DISPOSE OF USED OILS, FLUIDS, AND LUBRICANTS.
6. PROVIDE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL, FUEL, AND CHEMICAL DRUMS.
7. MAINTAIN AN ADEQUATE SUPPLY OF ABSORBENT SPILL CLEANUP MATERIALS IN DESIGNATED AREA.

NS-10 EQUIPMENT REPAIR/MAINTENANCE

[illegible]





## GENERAL NOTES

- THIS DEMOLITION PLAN IS INTENDED TO INDICATE ONLY THE GENERAL SCOPE OF THE DEMOLITION WORK REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND COMPLETE ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH THE WORK THAT IS INDICATED ON, OR CAN BE LOGICALLY INFERRED FROM, THE CONSTRUCTION DOCUMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE ALL THE WASTE AND DEBRIS RESULTING FROM THE DEMOLITION AND CONSTRUCTION ACTIVITIES.
- ALL WASTE MATERIALS MUST BE DISPOSED OF IN A LAWFUL MANNER.
- REMOVAL OF HAZARDOUS MATERIALS MUST BE COMPLETED PRIOR TO ALL OTHER DEMOLITION.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY AND CONSTRUCTION FROM DEMOLITION ACTIVITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THOSE ACTIVITIES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ORDINANCES WHILE UNDERTAKING ANY DEMOLITION WORK.
- WHERE NEW CONSTRUCTION IS TO OCCUR, PREPARE ADJACENT SURFACE TO MEET, JOIN & ALIGN WITH NEW MATERIAL.
- COMPLY WITH ALL GENERAL DEMOLITION & SUSTAINABILITY REQUIREMENTS OF THE PROJECT, INCLUDING RECYCLING REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR QUANTIFYING REFUSE YARDAGE, BIN QUANTITIES AND REMOVAL OF ALL ITEMS TO THE VENDOR REFUSE CONTAINERS OUTSIDE OF THE BUILDING. ALL SALVAGE ITEMS SHOULD BE COORDINATED BETWEEN THE OWNER AND THE CONTRACTOR FOR STORAGE. CONTRACTOR SHALL VERIFY THE MEANS AND METHODS FOR REMOVAL AND REVIEW WITH THE OWNER AND THE ARCHITECT PRIOR TO DEMOLITION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL REQUIREMENTS INCLUDING STORM WATER POLLUTION PREVENTION REQUIREMENTS.

## DEMOLITION PLAN KEYNOTES

- (E) PERIMETER WALL OF (E) HOUSE
- INTERIOR AREA OF (E) HOUSE
- EXTENT OF (E) ROOF EAVE
- DEMOLISH (E) BLOCK WALL
- DEMOLISH (E) CURB/PLANTER
- DEMOLISH (E) PAVING AS REQUIRED
- REMOVE (E) PLANTING AND PREPARE FOR NEW PAVING WORK TO HATCH / BLEND WITH ADJACENT (E) PAVING
- (E) PAVING TO REMAIN: NEW PAVING TO MEET (E) PAVING W/ FLUSH AND SMOOTH JOINTS
- (E) PLANTER TO REMAIN: REMOVE ALL PLANTING AND IRRIGATION (IF ANY). PREPARE FOR NEW PLANTING. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS
- REMOVE (E) PAVING AND PREPARE FOR NEW PLANTING. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS
- LIMIT OF (E) CONCRETE HARDSCAPE TO BE REMOVED
- (E) EAST SITE WALL TO REMAIN

## DEMOLITION PLAN LEGEND

- — — — — PROPERTY LINE
- — — — — EXISTING WALLS TO BE DEMOLISHED.



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NO.	DESCRIPTION	DATE

DATE: 04/23/2025

PROJECT #: 2301

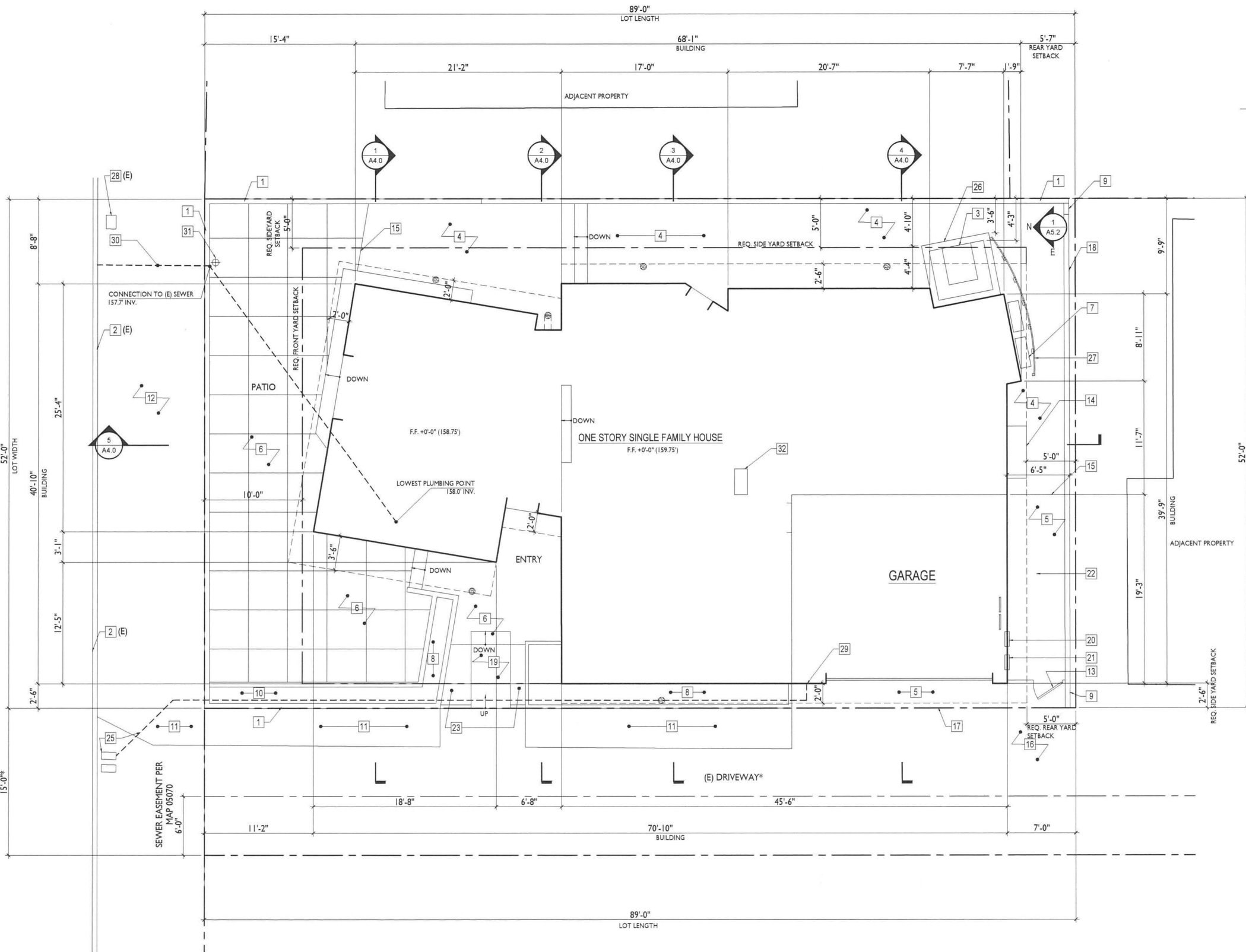
## DEMOLITION PLAN

SCALE: AS SHOWN

# AI.0

## DEMOLITION PLAN

Scale: 1/4" = 1'-0"

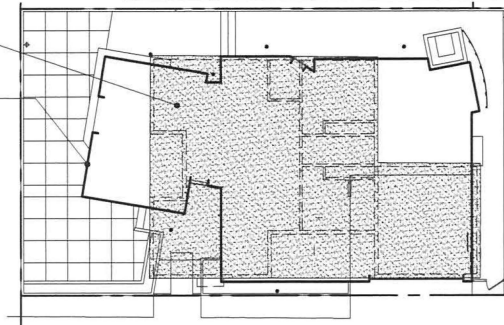


\*DRIVEWAY EASEMENT PER GRANT DEED DATED OCTOBER 24, 2018 FOR APN: 298-320-10 AS PARCEL 3. AN EASEMENT FOR ROAD PURPOSES ACROSS THE WESTERLY 94 FEET OF THE SOUTHERLY 15 FEET OF LOT 9 OF SAID PARK DEL MAR

## EXISTING AND PROPOSED FOOTPRINTS

HATCHED AREA SHOWS  
FOOTPRINT OF (E) SFC

HEAVY OUTLINE SHOWS  
FOOTPRINT OF PROPOSED SFD



## SITE PLAN GENERAL NOTES

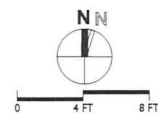
- DIMENSIONS: ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE OF WALL FOR NEW CONSTRUCTION. FACE OF FINISH FOR EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- LAYOUT: "CHALKMARK" LOCATIONS OF ALL CRITICAL DIMENSIONS FOR REVIEW BY ARCHITECT PRIOR TO CONSTRUCTION OF PARTITIONS. ARCHITECT WILL REVIEW FOR CONSISTENCY WITH DESIGN INTENT. NOTIFY ARCHITECT IF NUMERICAL DIMENSIONS DO NOT RESULT IN ALIGNMENTS INDICATED ON PLANS.
- SEE GRADING PLAN FOR FINISHED SURFACE ELEVATIONS AND DRAINAGE.
- SEE LANDSCAPE PLAN FOR PLANTING AND IRRIGATION.
- SEE FLOORPLAN FOR BUILDING INTERIOR INFORMATION.
- OBTAIN AN ENCROACHMENT PERMIT IN ACCORDANCE WITH SBMC SECTION 11.20; THE FRONTAGE IMPROVEMENTS SHALL BE DONE TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO THE OCCUPANCY OF THE PROPOSED PROJECT. FOR WORK DONE TO REPAIR CURB/GUTTER FROM INSTALLATION OF SIDEWALK UNDERDRAIN PIPES IN THE PUBLIC RIGHT-OF-WAY AS DIRECTED BY THE ENGINEERING DEPARTMENT.
- THE APPLICANT SHALL RECORD AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WITH THE COUNTY OF SAN DIEGO PRIOR TO FINAL INSPECTION OF THE BUILDING PERMIT. THE EMRA SHALL BE RECORDED AGAINST THIS PROPERTY FOR ALL PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO:
  - SIDEWALK UNDERDRAIN PIPES PER SDSOS D-27
  - PLANTER/LANDSCAPING IN THE PUBLIC ROW

## SITE PLAN KEYNOTES

- SITE WALL
- CONCRETE CURB
- IN-GROUND HOT TUB- LINE INDICATES WATER'S EDGE. SPA TO HAVE A LOCKABLE SAFETY COVER THAT MEETS ASTM SPECIFICATION F-1346
- DECORATIVE GRAVEL PATH THROUGH IRRIGATED, LANDSCAPED AREA
- FINISHED CONCRETE SLAB
- CONCRETE PATIO SLAB W/ PORCELAIN TILE FINISH SURFACE
- MECHANICAL EQUIPMENT
- RAISED PLANTER
- EXTEND (E) SITE WALL TO MEET NEW SITE WALL; MATCH HEIGHT OF (E) WALL
- NOT USED
- PLANTING AND IRRIGATION IN FLUSH PLANTER. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS
- SLOPED, IRRIGATED PLANTING AREA
- 36" WIDE ACCOYA WOOD PANEL GATE WITH LOUVERS
- OUTLINE OF BAY WINDOW
- EDGE OF PAVING
- AREA OF NEW ASPHALT PAVING (2" OF ASPHALT OVER 4" OF GRAVEL BASE OVER COMPACTED SOIL) MEET (E) ADJACENT ASPHALT SURFACE FLUSH W/ STRAIGHT, INTACT EDGES. PREPARE AS REQUIRED.
- CONCRETE SLAB TO MEET (E) ASPHALT DRIVE SURFACE W/ FLUSH JOINT. SEAL JOINT AS REQUIRED. REPAIR ASPHALT AS REQUIRED.
- (E) GARDEN WALL
- CONCRETE BRIDGE
- ELECTRICAL PANEL AND MOTOR
- SOLAR PANEL, INVERTER(S)
- RECYCLING BINS
- GRAVEL FILLED, CONCRETE LINED STORM WATER CATCH BASIN
- NOT USED
- (E) WATER METER AND WATER LATERAL
- IN-GROUND HOT TUB- LINE INDICATES CORING'S EDGE. SEE NOTE #3
- LOUVERED PANEL EQUIPMENT SCREEN. PANELS ARE REMOVABLE TO ACCESS/MAINTAIN EQUIPMENT. SEE ELEVATIONS FOR MATERIALS
- (E) TELEPHONE/FIBER OPTICS BOX. PROTECT IN PLACE
- WATER CONNECTION TO HOUSE
- LOCATION OF EXISTING SEWER LATERAL. ALL PLUMBING FIXTURES INTO (E) SEWER LATERAL TO SLOPE A MINIMUM OF 1% AT THE INVERT LEVEL
- LOCATION OF MAIN LINE CLEAN OUT
- OPENING IN SLAB FOR BELOW SLAB SUPPLY AIR DUCT (SEE HVAC PLAN FOR ADDITIONAL INFORMATION)

## SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF BUILDING
- ROOF EAVE ABOVE



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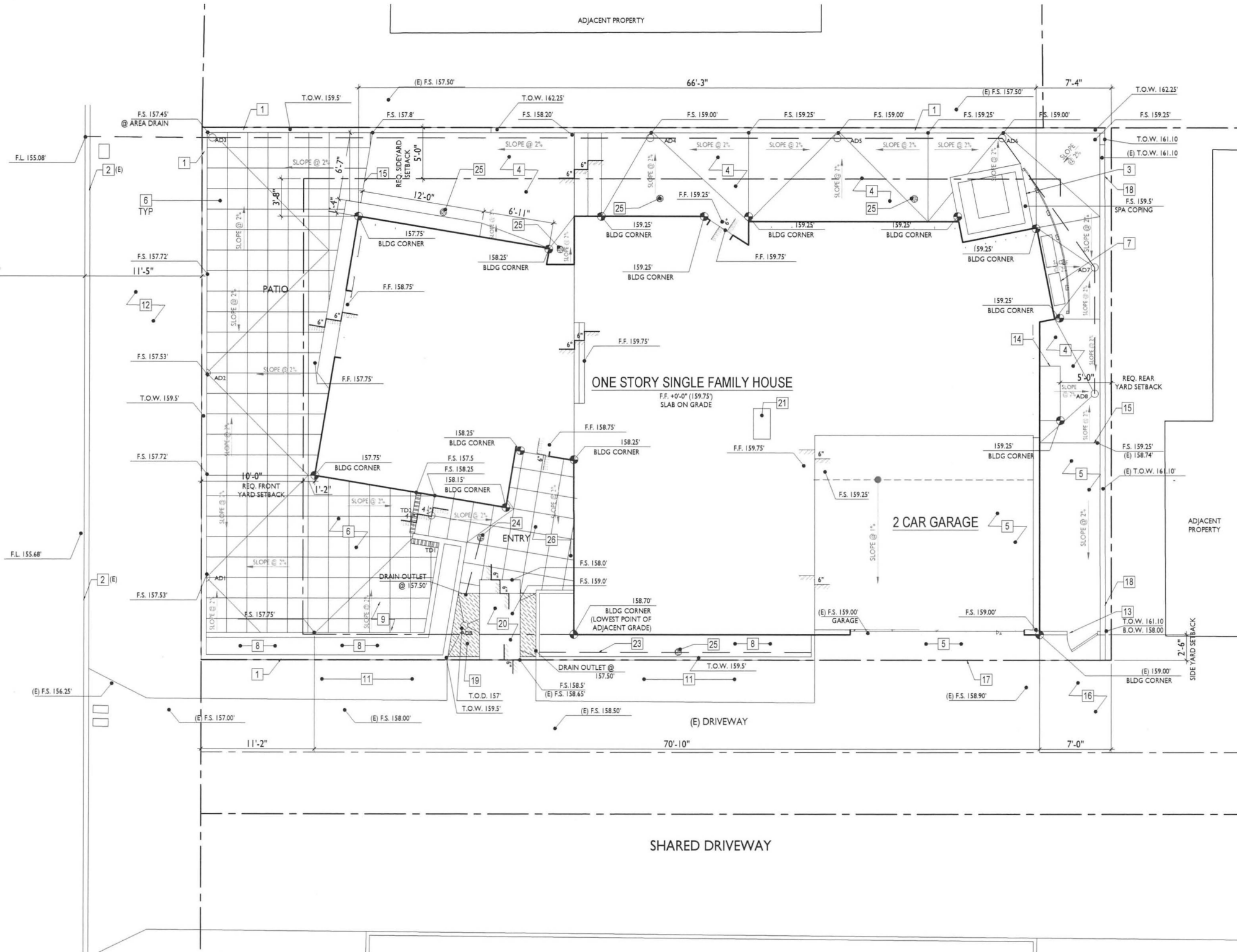
## SITE PLAN

SCALE: AS SHOWN

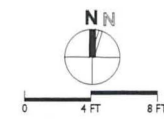
A2.0



CENTERLINE OF SOLANA CIRCLE



SEE CIVIL DRAWINGS FOR PRECISE GRADING NUMBERS



- NOTE:
- AD3-8 TO BE CONNECTED BY BELOW GRADE PVC STORM WATER DRAINLINES LEADING TO OUTLET THROUGH CURB FACE.
  - AD1, AD9, TD1 & TD2 TO BE CONNECTED BY BELOW GRADE PVC STORM WATER DRAINLINES LEADING TO OUTLET THROUGH CURB FACE.
  - SIZE STORM WATER DRAIN SYSTEM PER CODE, BUT ALL LINE SHOULD BE  $\geq 3"$  DIA PIPE.

## SITE GRADING & DRAINAGE NOTES

- CONTRACTOR TO COMPLY W/ ALL STORM WATER PROTECTION PROTOCOLS MANDATED BY CODE.
- ALL AREA DRAINS ARE CONNECTED TO OUTLETS AT FACE OF CURB VIA CONTINUOUS PVC PIPE SIZED PER CODE AND SLOPED GREATER OR EQUAL TO 1% UNTO.
- SEE ARCHITECTURAL FINISH PLAN FOR DIMENSIONS & INFORMATION REGARDING FINISH MATERIALS.
- SEE LANDSCAPE PLANS FOR INFORMATION REGARDING PLANTING IRRIGATION & LANDSCAPE LIGHTING.
- SEE CIVIL ENGINEER'S DRAWINGS FOR ADDITIONAL INFORMATION.

## GRADING PLAN KEYNOTES

- SITE WALL
- CONCRETE CURB
- IN-GROUND SPA W/ LOCKING COVER
- DECORATIVE GRAVEL PATH THROUGH IRRIGATED, LANDSCAPED AREA
- FINISHED CONCRETE SLAB
- 48"x48" CONCRETE PAVES W/ 3" GRAVEL FILLED JOINTS BETWEEN ADJACENT PAVES; W/ PORCELAIN TILE FINISH SURFACE. SEE FINISH PLAN FOR LAYOUT
- RAISED PLANTER
- BBQ ALCOVE
- NOT USED
- FLUSH PLANTER
- SLOPED, IRRIGATED PLANTING AREA
- GATE
- OUTLINE OF BAY WINDOW
- EDGE OF PAVING
- AREA OF NEW CONCRETE PAVEMENT AS REQUIRED (OVER 4" OF GRAVEL BASE OVER COMPACTED SOIL). MEET (E) ADJACENT SURFACE FLUSH W/ STRAIGHT, INTACT EDGES. PREPARE AS REQUIRED.
- CONCRETE SLAB TO MEET (E) CONCRETE DRIVE SURFACE W/ FLUSH JOINT. SEAL JOINT AS REQUIRED.
- (E) GARDEN WALL
- DECORATIVE ROCK & GRAVEL FILLED STORMWATER CATCHMENT
- CONCRETE BRIDGE OVER CATCHMENT
- OPENING IN SLAB FOR BELOW SLAB SUPPLY AIR DUCT (SEE HVAC PLAN FOR ADDITIONAL INFORMATION)
- NOT USED
- FRENCH DRAIN
- WATER CATCHMENT FOR ROOF RUN-OFF FROM RAIN CHAIN & GUTTER
- SPLASH BLOCK FOR ROOF RUN-OFF FROM RAIN CHAIN & GUTTER
- CONCRETE SLAB W/ PORCELAIN TILE FINISH SURFACE
- NOT USED

## GRADING PLAN LEGEND

---	PROPERTY LINE
---	OUTLINE OF BUILDING
F.L.	FLOW LINE
F.S.	FINISHED SURFACE
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
→	DIRECTION OF SLOPE DOWN
---	FOLD IN SURFACE PLANE
---	TRENCH DRAIN
○ AD#	AREA DRAIN
---	BELOW GRADE PVC STORM WATER DRAIN $\geq 3"$ DIA
---	GRAVEL BOTTOM CATCH BASIN

SEE C2.2 FOR EARTH WORK EXHIBIT



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ARCHITECTURAL  
GRADING PLAN

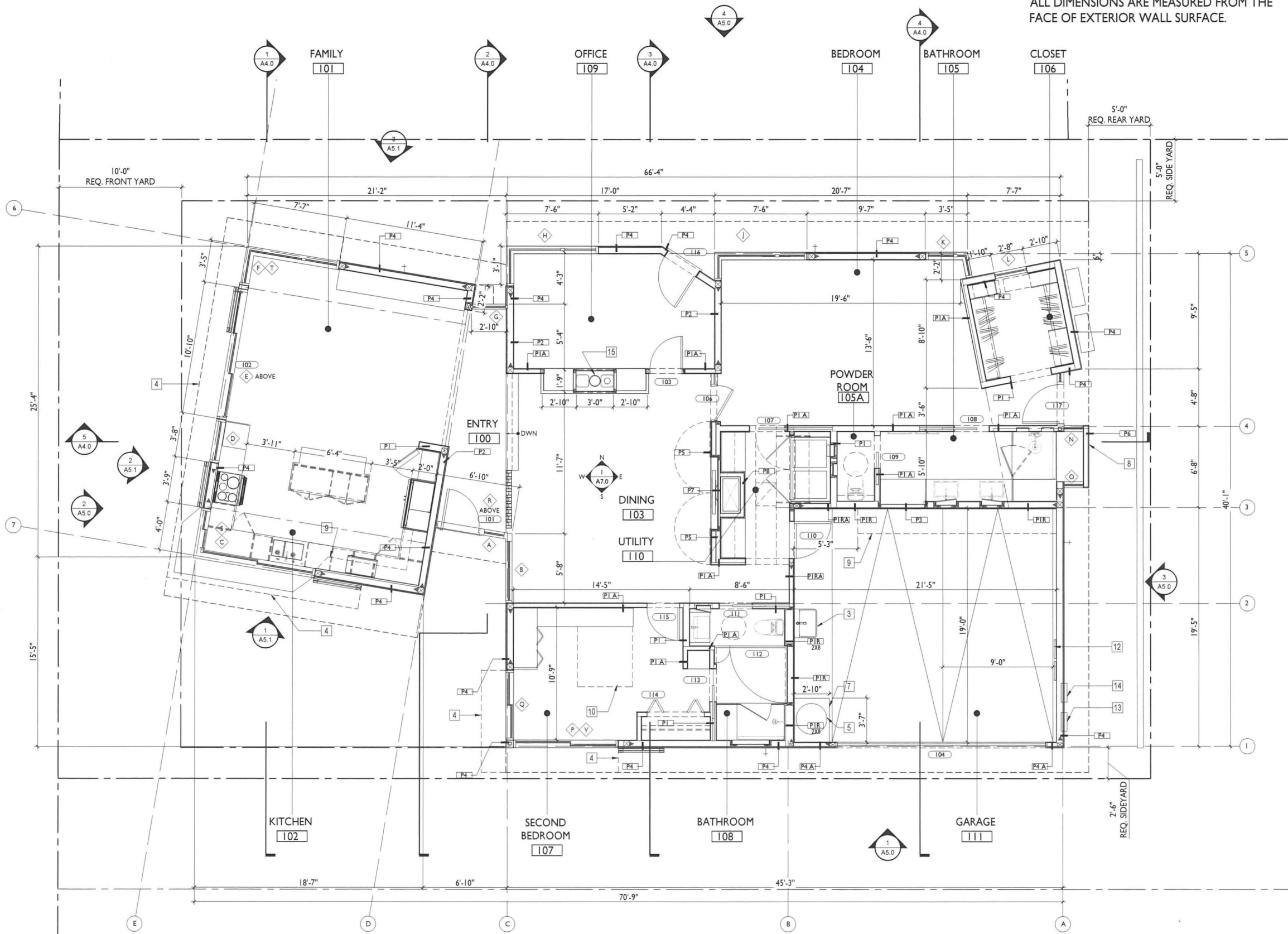
SCALE: AS SHOWN

A2.1

## GRADING PLAN

Scale: 3/16" = 1'-0"





NOTE:  
ALL DIMENSIONS ARE MEASURED FROM THE  
FACE OF EXTERIOR WALL SURFACE.

GENERAL NOTES

- A. DIMENSIONS: ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE OF WALL FOR NEW CONSTRUCTION. FACE OF FINISH FOR EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- B. LAYOUT: "CHALKMARK" LOCATIONS OF PARTITIONS, DOORS, CASEWORK AND OTHER CRITICAL DIMENSIONS FOR REVIEW BY ARCHITECT PRIOR TO CONSTRUCTION OF PARTITIONS. ARCHITECT WILL REVIEW FOR CONSISTENCY WITH DESIGN INTENT. NOTIFY ARCHITECT IF NUMERICAL DIMENSIONS DO NOT RESULT IN ALIGNMENTS INDICATED ON PLANS.
- C. BACKING: CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.
- D. DOOR OPENINGS: DIMENSIONS TO EDGE OF DOOR LOCATING DOOR OPENINGS ARE TO THE INSIDE OF JAMB UNLESS NOTED OTHERWISE.
- E. DOOR OPENINGS: JAMB AT HINGE SIDE OF DOOR SHALL BE 4" FROM FACE OF PERPENDICULAR WALL AT CORNER ALLOWING FOR A 90 DEGREE SWING, U.N.O.
- F. FINISH CARPENTRY: INSTALL FINISH CARPENTRY WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY SECURELY TO SUPPORTS AND SUBSTRATES. USE FINE FINISH NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED. COUNTERSINK AND FILL NAIL HOLES TO MATCH FINISH.
- G. WIDTH OF COUNTERS, CASEWORK, CABINETS, MILLWORK: WIDTH DIMENSIONS ARE SHOWN CONSISTENTLY FROM FACE OF WALL PARTITION TO LEADING EDGE OF MILLWORK OR FACE OF CABINET. ITEMS SUCH AS SPLASH ARE INCLUDED IN WIDTH. REFER TO INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- H. FINISHES: PREPARE ALL FLOOR, WALL AND CEILING SUBSTRATES FOR THE INSTALLATION OR APPLICATION OF FINISHES PER FINISH SCHEDULE.
- I. GYP. BOARD: CEILING CONSTRUCTION: REFER TO REFLECTED CEILING PLAN FOR LOCATION OF ALL GYP. BOARD CEILINGS, SOFFITS, LIGHT COVES OR OTHER CUSTOM GYP. BOARD FEATURES AND FOR PARTITION LOCATIONS WHEN THEY ALIGN.
- J. FINISH FLOOR ELEVATION: CONFIRM SUB-FLOOR HAS BEEN LEVELLED TO TOLERANCES ACCEPTABLE TO FLOOR FINISH SUBCONTRACTORS AND EQUIPMENT.
- K. ANY TIME A BUILDING OR PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1-FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.
- L. ALL PARTITIONS TO HAVE BATT INSULATION U.N.O.
- M. SEE FINISH PLAN, POWER & DATA, AND REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- N. GAND PLUMBING VENTS WHEREVER POSSIBLE TO LIMIT ROOF PENETRATIONS. SEE ROOF PLAN TO AVOID CONFLICTS.

FLOOR PLAN KEYNOTES

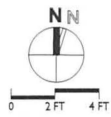
1. NOT USED  
2. NOT USED  
3. UTILITY SINK  
4. TRELIS ABOVE  
5. ELECTRIC HEAT PUMP WATER HEATER  
6. NOT USED  
7. CONCRETE HOUSEKEEPING PAD  
8. BAY WINDOW  
9. OVERHEAD CABINETS  
10. MURPHY BED  
11. NOT USED  
12. EV HOME CHARGING DEVICE  
13. ELECTRICAL PANEL & METER  
14. SOLAR PANEL INVERTERS  
15. GAS/DIRECT VENT FIREPLACE

AREA CALCULATIONS

INTERIOR AREA: 1,977 SF  
GARAGE AREA: 422 SF  
TOTAL AREA: 2,399 NSF

FLOOR PLAN LEGEND

- (N) CONSTRUCTION (WALL, DOOR, PLANTER, FINISH MATERIAL)
- ROOF SOFFIT / EAVE ABOVE  
NOTE: EAVES ENCR OACH INTO SETBACK 24" MAX.
- SUPPLY AIR DUCT SHAFT FROM ROOF MOUNTED EQUIPMENT TO BELOW SLAB DUCT NETWORK
- RO D O  
OD O  
T
- ROOF DRAIN
- OVERFLOW DRAIN
- HOSEBIB
- PARTITION TYPE: SEE A9.0
- DOOR SYMBOL: SEE A8.0
- WINDOW SYMBOL: SEE A8.1



FLOOR PLAN

Scale: 1/4" = 1'-0"



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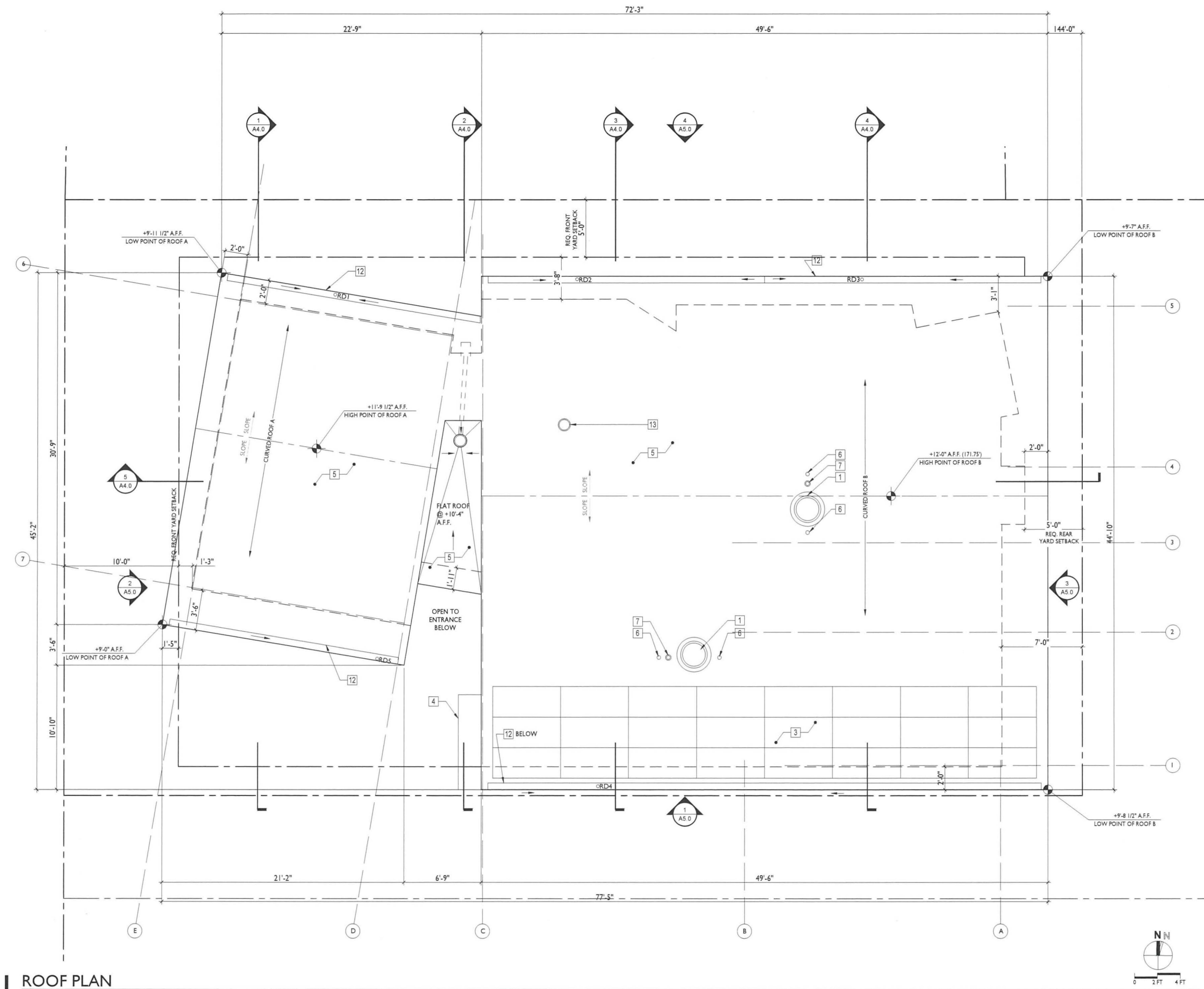
DATE: 04/23/2025

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FLOOR PLAN

SCALE: AS SHOWN

A3.0



ROOF PLAN  
Scale: 1/4" = 1'-0"

## ROOF PLAN NOTES

- ALL ROOF DRAIN LINES TO BE SIZED PER CODE GREATER OR EQUAL TO 3" DIAMETER
- HORIZONTAL PIPE RUNS TO BE SLOPED @ 1/8" PER FOOT
- DO NOT CUT ROOF JOISTS TO ACCOMMODATE DRAIN LINES
- NO SOFFITS ARE PERMITTED FOR ROOF DRAIN OR SPRINKLER LINES
- GANG/JOIN PLUMBING VENT PIPES TO MINIMIZE ROOF PENETRATIONS
- SEE REFLECTED CEILING PLAN FOR LOCATIONS OF SKYLIGHTS
- ALL ROOF AREAS SINGLE PLY MEMBRANE: EVERGUARD® TPO 80 MIL MEMBRANE BY GAF; COLOR: WHITE 920
- SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS): SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS AND PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 12 SECTION 1204.
- 

NOTE: ROOF EAVES ENCR OACH INTO SETBACK A MAXIMUM OF 24"

## ROOF PLAN KEYNOTES

- SKYLIGHT
- NOT USED
- SOLAR PANELS SEE GENERAL NOTES ABOVE FOR MORE INFORMATION
- TRELLIS BEYOND
- SINGLE PLY ROOF MEMBRANE: SEE SPECIFICATION ABOVE IN GENERAL NOTES
- PLUMBING VENT
- EXHAUST FAN COVER ASSEMBLY
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- FLUSH RAIN GUTTER
- FIREPLACE DIRECT VENT FLU

## ROOF PLAN LEGEND

- OUTSIDE EDGE OF ROOF
- OUTSIDE FACE OF BUILDING BELOW
- DRAINAGE PIPE
- HIGH POINT OF ROOF



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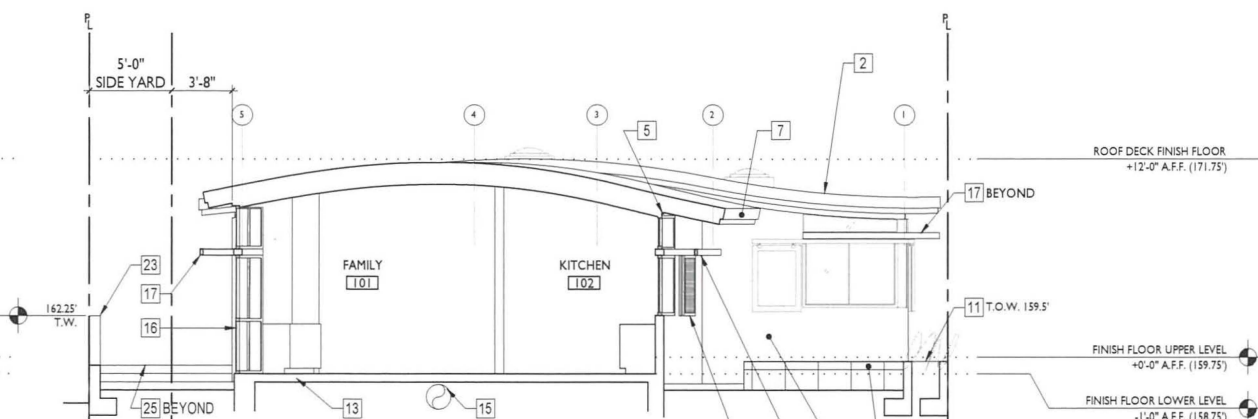
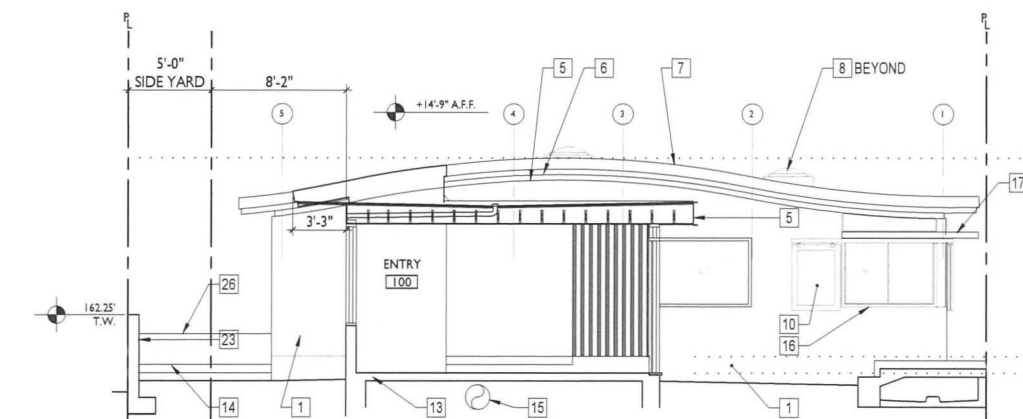
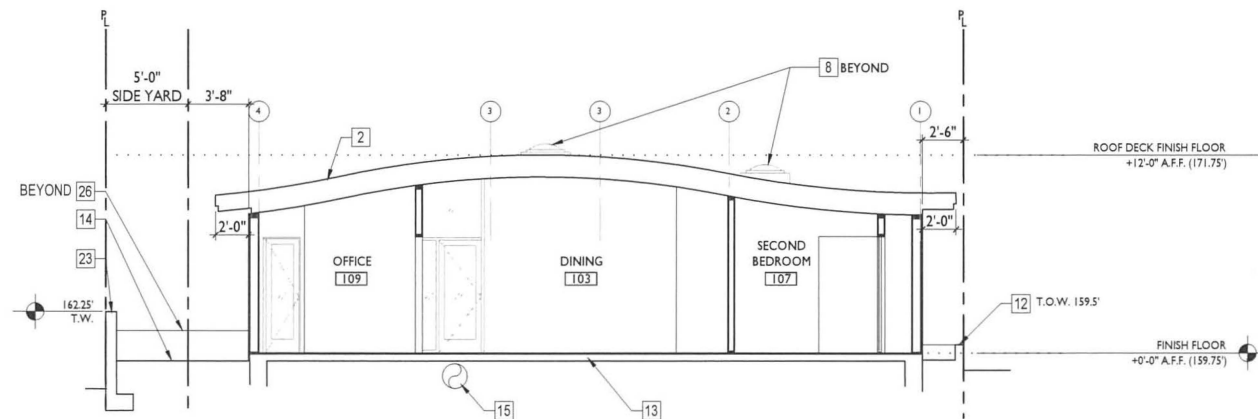
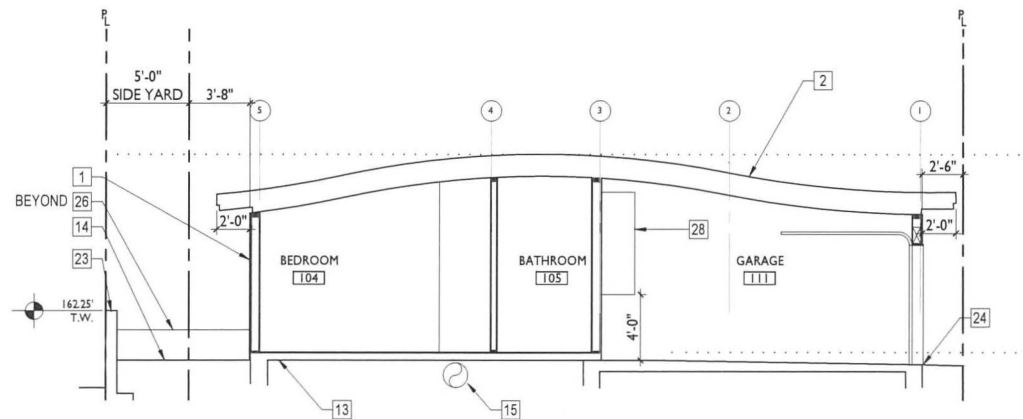
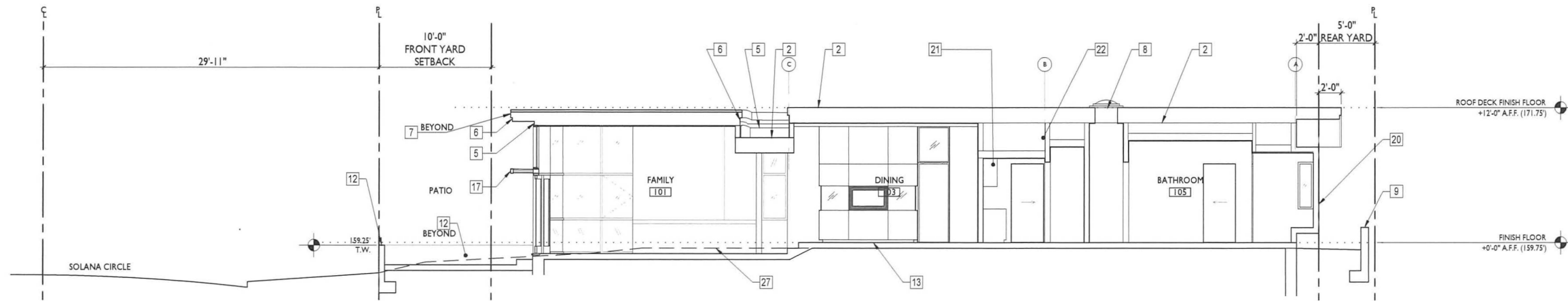
PROJECT #: 2301

## ROOF PLAN

SCALE: AS SHOWN

A3.1





## SECTION KEYNOTES

1. CEMENT PLASTER OVER PLYWOOD, WOOD STUD WALL
2. INSULATED CURVED ROOF, SINGLE PLY MEMBRANE (WHITE COLORED) OVER ENGINEERED WOOD JOISTS
3. NOT USED
4. NOT USED
5. PAINTED, RECESSED STEEL CHANNEL AT WALL FACE
6. PAINTED, STEEL CHANNEL EAVE EDGE
7. PAINTED, ALUMINUM FASCIA
8. SKYLIGHT
9. (E) DECORATIVE BLOCK WALL
10. MOVABLE SHUTTERS
11. PLANTER
12. TILE FINISH OVER CMU GARDEN WALL
13. CONCRETE FLOOR SLAB
14. PLANTED AREA
15. BELOW SLAB HVAC DUCTING
16. INSULATED GLASS & ALUM. WINDOW SYSTEM
17. WOOD OR ALUM. SHADE TRELLIS (EXTENDS 24" FROM FACE OF WINDOW WALL U.N.O.)
18. METAL GUARDRAIL
19. VENTILATION LOUVER
20. BAY WINDOW
21. SHAFT THROUGH CASEWORK TO BELOW SLAB DUCT
22. EQUIPMENT SPACE
23. CAST-IN-PLACE GARDEN WALL
24. MEET (E) DRIVEWAY PAVING FLUSH
25. CONCRETE STEPS
26. (E) REAR PROPERTY LINE GARDEN WALL TO REMAIN AS IS
27. (E) GRADE TO BE REMOVED, SEE CIVIL DRAWINGS
28. STORAGE CABINET



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PERMIT  
DRP24-013

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 04/23/2025

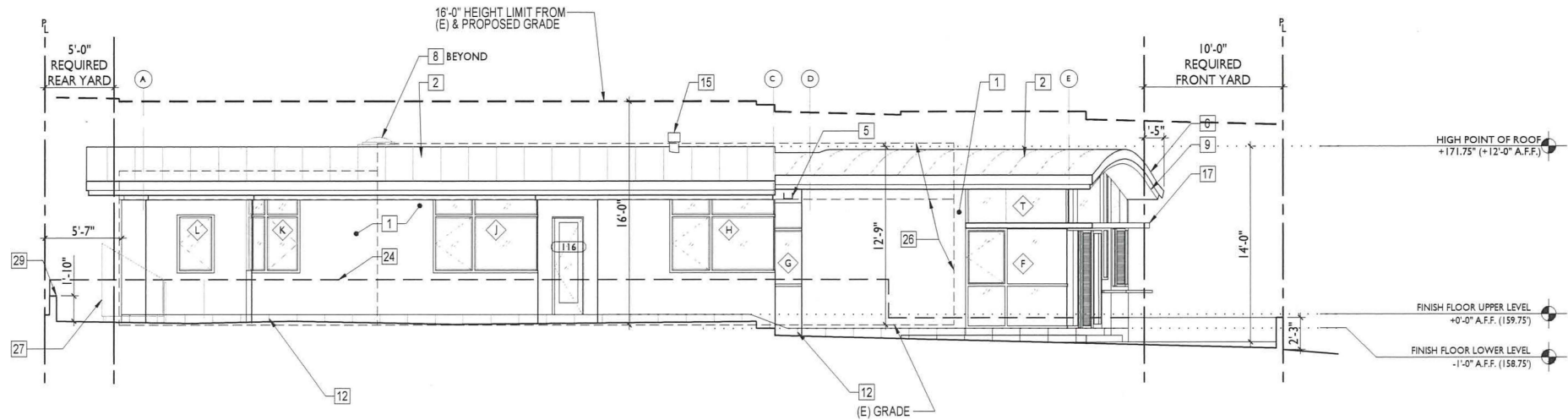
PROJECT #: 2301

## SECTIONS

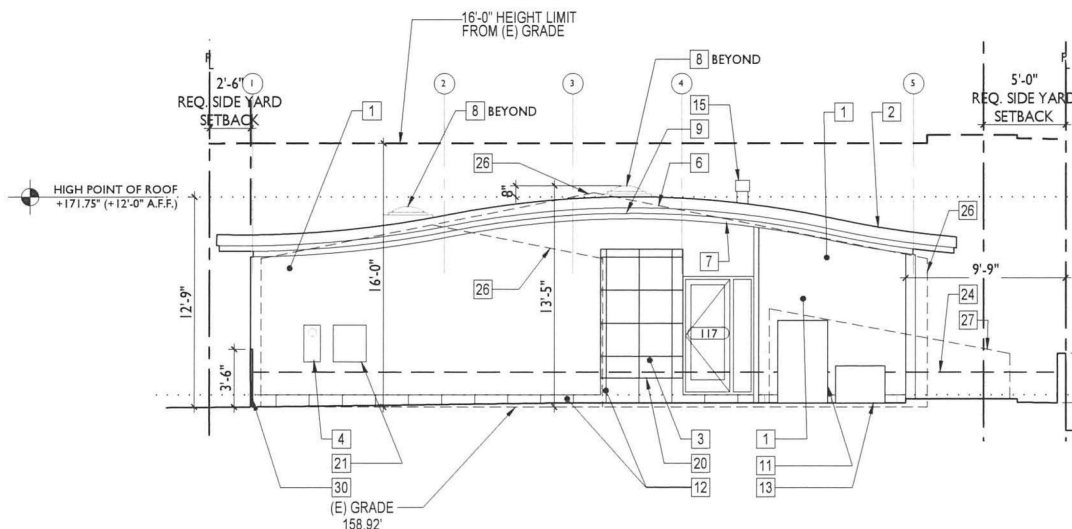
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**A4.0**

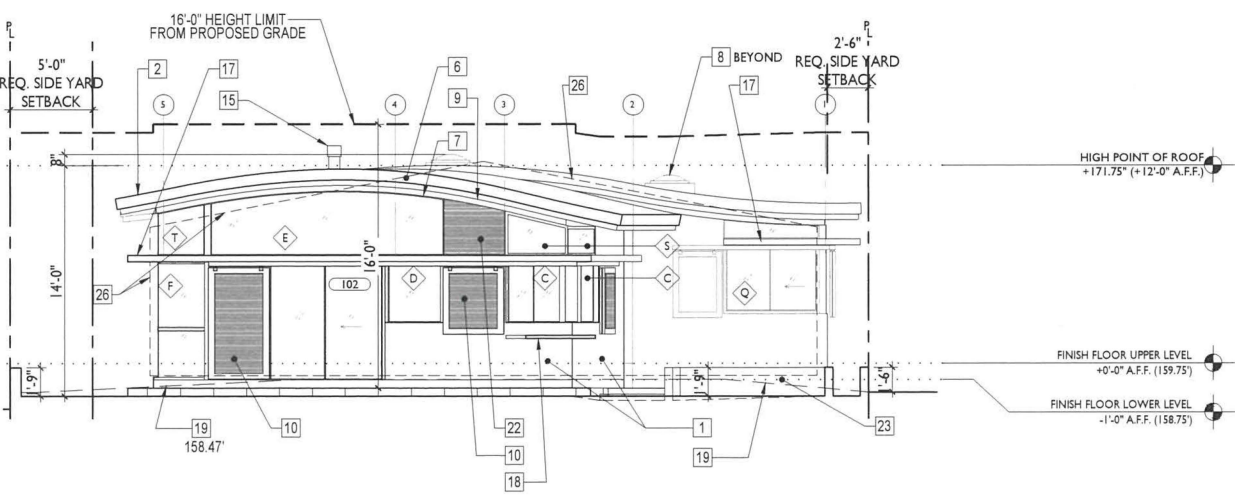
4 NORTH ELEVATION  
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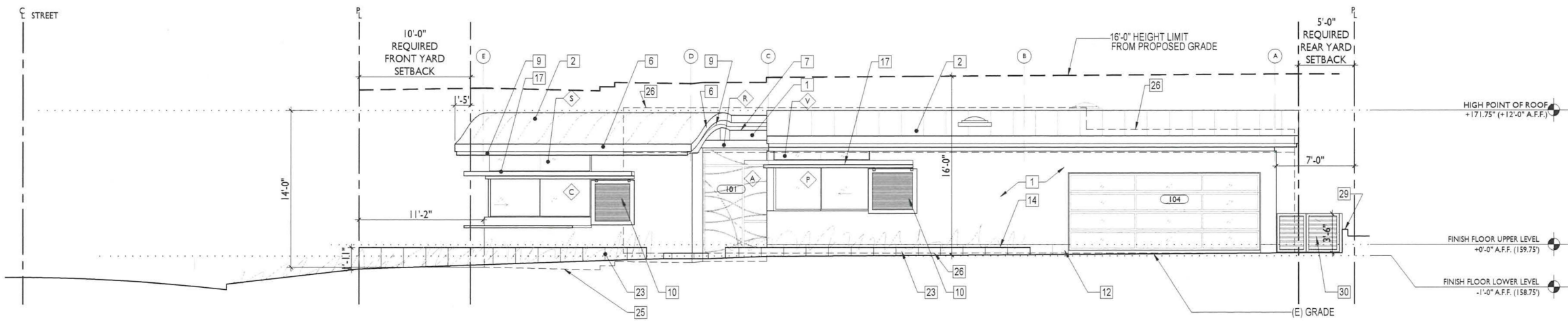
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Scale: 3/16" = 1'-0"



2 WEST ELEVATION  
Scale: 3/16" = 1'-0"



SOUTH ELEVATION  
Scale: 3/16" = 1'-0"



EXTERIOR ELEVATION KEYNOTES

1. CEMENT PLASTER OVER PLYWOOD, WOOD STUD WALL
2. INSULATED CURVED ROOF, SINGLE PLY MEMBRANE (WHITE COLORED) OVER ENGINEERED WOOD JOISTS
3. PORCELAIN TILE FINISH OVER INSULATED WOOD STUD WALL
4. ELECTRICAL PANEL AND METER
5. ROOF DRAIN OR OVERFLOW DOWNSPOUT NOZZEL
6. PAINTED ALUMINUM FASCIA
7. PAINTED STEEL CHANNEL AT WALL FACE
8. SKYLIGHT
9. PAINTED STEEL CHANNEL AT ROOF EAVE
10. MOVABLE SHUTTERS ON ROLLING TRACK
11. MECHANICAL EQUIPMENT
12. TILE FINISH ON CONCRETE STEM WALL
13. SPA EQUIPMENT
14. PLANTED AREA
15. FIREPLACE CHIMNEY
16. INSULATED GLASS & ALUM. WINDOW SYSTEM
17. WOOD OR ALUM. SHADE TRELLIS (EXTENDS 24" FROM FACE OF WINDOW WALL U.N.O.)
18. COUNTERTOP
19. (E) GRADE TO BE REMOVED
20. BAY WINDOW
21. SOLAR PANEL INVERTER
22. FIXED SHUTTER
23. TILE FINISH ON CMU OR CAST-IN-PLACE CONCRETE GARDEN WALL OR PLANTER
24. HEIGHT OF SITE WALL AT PROPERTY LINE
25. GRADE AT BUILDING
26. DASHED LINE INDICATES (E) BUILDING OUTLINE
27. EQUIPMENT SCREEN OUTLINE
28. LOCATION OF ADDRESS: PTD. BLACK 6" HIGH STEEL LETTERS
29. (E) REAR YARD WALL
30. 34" WIDE ACCOYA WOOD PANEL GATE WITH LOUVERS: ACCOYA COLOR STANDARD GRAY
31. RANGE OF PROPERTY LINE VIEWED AT AN ANGLE PARALLEL TO BUILDING SKEWED TO PROPERTY BOUNDARIES
32. RANGE OF SETBACK LINE VIEWED AT AN ANGLE PARALLEL TO BUILDING SKEWED TO PROPERTY BOUNDARIES

EXTERIOR ELEVATION LEGEND

- ◊ WINDOW TYPE INDICATOR SEE A8.1.0 FOR WINDOW SCHEDULE
- 100A DOOR TYPE INDICATOR SEE A8.0.0 FOR DOOR SCHEDULE



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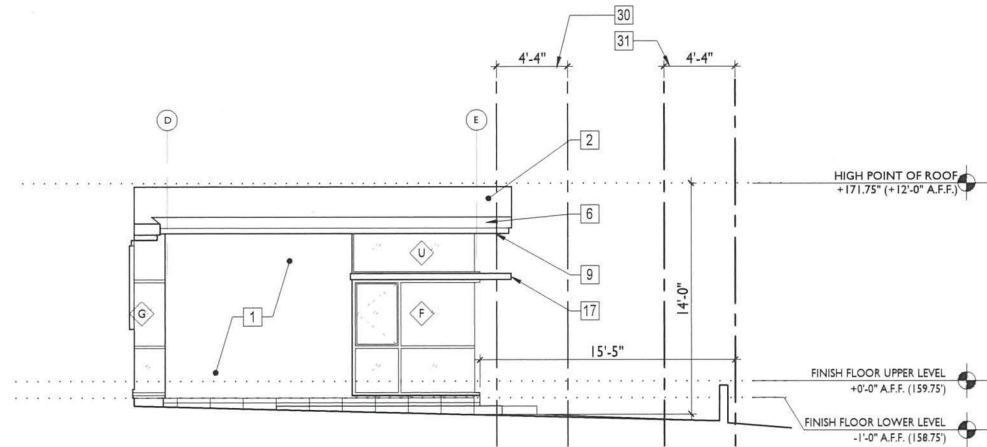
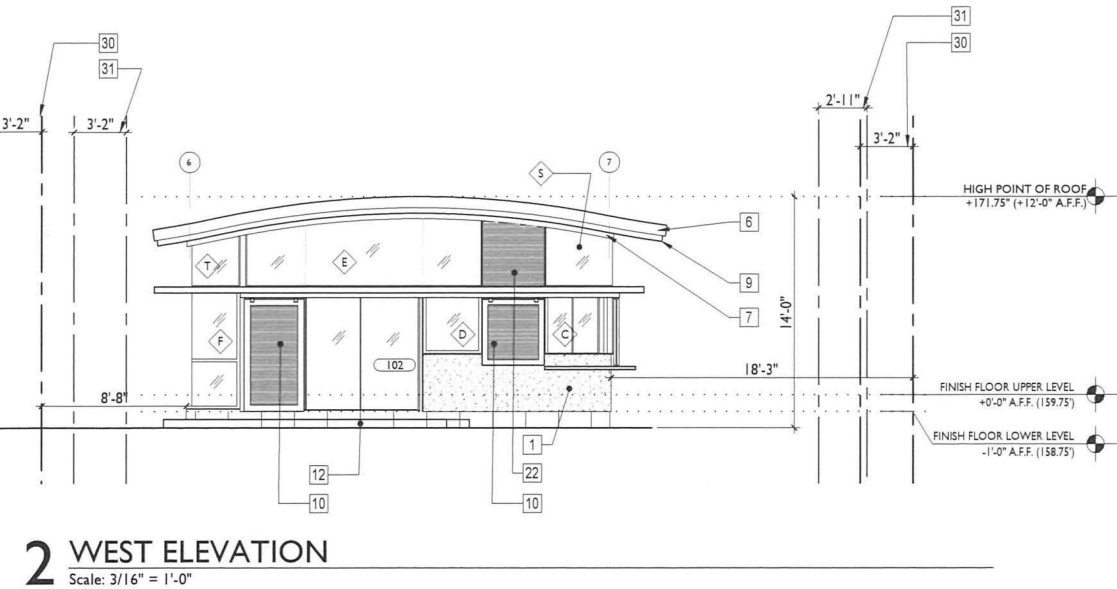
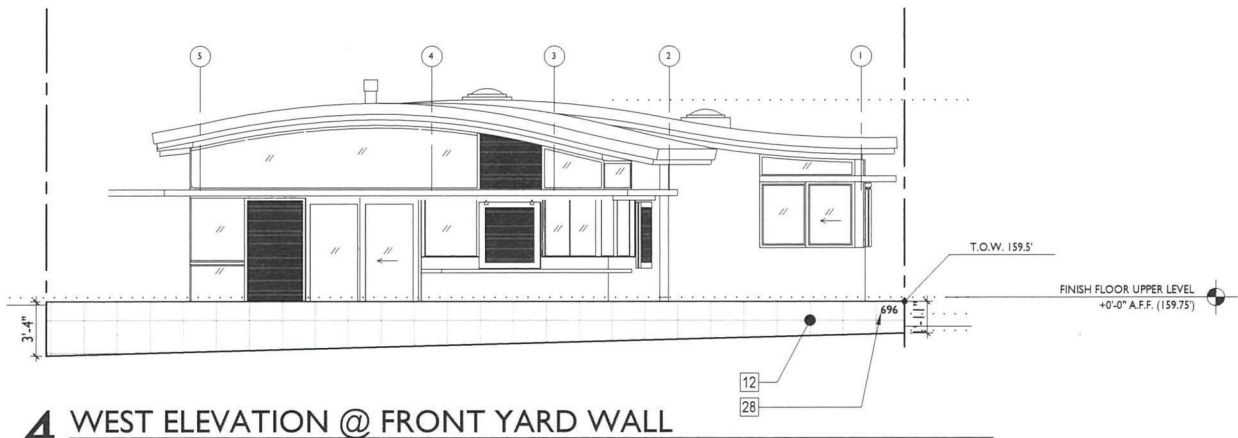
PROJECT #: 2301

EXTERIOR ELEVATIONS

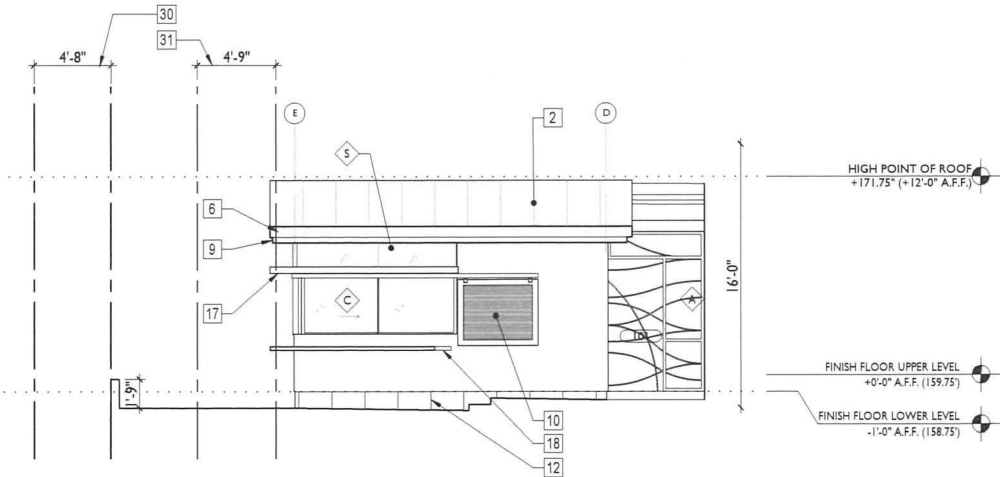
SCALE: AS SHOWN

A5.0





3 NORTH ELEVATION  
Scale: 3/16" = 1'-0"



1 SOUTH ELEVATION  
Scale: 3/16" = 1'-0"

NOTE: SEE OTHER ELEVATIONS ON A5.0 FOR SETBACKS  
WHERE HOUSE IS ALIGNED WITH PROPERTY LINE

## EXTERIOR ELEVATION KEYNOTES

1. CEMENT PLASTER OVER PLYWOOD, WOOD STUD WALL
2. INSULATED CURVED ROOF, SINGLE PLY MEMBRANE (WHITE COLORED) OVER ENGINEERED WOOD JOISTS
3. PORCELAIN TILE FINISH OVER INSULATED WOOD STUD WALL
4. ELECTRICAL PANEL AND METER
5. ROOF DRAIN OR OVERFLOW DOWNSPOUT NOZZEL
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26. DASHED LINE INDICATES (E) BUILDING OUTLINE
27. EQUIPMENT SCREEN OUTLINE
28. LOCATION OF ADDRESS: PTD. BLACK 6" HIGH STEEL LETTERS
29. (E) REAR YARD WALL
30. 34" WIDE ACCOYA WOOD PANEL GATE WITH LOUVERS: ACCOYA COLOR STANDARD GRAY
31. RANGE OF PROPERTY LINE VIEWED AT AN ANGLE PARALLEL TO BUILDING SKEWED TO PROPERTY BOUNDARIES
32. RANGE OF SETBACK LINE VIEWED AT AN ANGLE PARALLEL TO BUILDING SKEWED TO PROPERTY BOUNDARIES

## EXTERIOR ELEVATION LEGEND

- WINDOW TYPE INDICATOR SEE A8.1.0 FOR WINDOW SCHEDULE
- DOOR TYPE INDICATOR SEE A8.0.0 FOR DOOR SCHEDULE



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PROJECT #: 2301

## EXTERIOR ELEVATIONS

SCALE: AS SHOWN

A5.1



EXTERIOR ELEVATION KEYNOTES

- 1. DASHED OUTLINE IS HVAC EQUIPMENT & SPA EQUIPMENT
- 2. ACCOYA WOOD LOUVERED PANEL EQUIPMENT SCREENS. ATTACH TO PAINTED STEEL TUBS ANCHORED INTO CONCRETE FOOTINGS. ACCOYA STANDARD GRAY COLOR. PANELS ARE REMOVABLE TO ACCESS/MAINTAIN EQUIPMENT. PANELS CURVE AWAY. SEE PLAN.
- 3. IN-GROUND SPA BEYOND
- 4. HOUSE AND ROOF OVERHANG BEYOND
- 5. NORTH SITE WALL
- 6. (E) EAST SITE WALL



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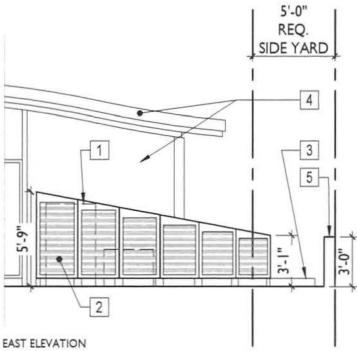
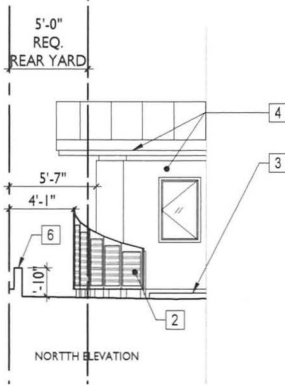
DATE: 04/23/2025

PROJECT #: 2301

EXTERIOR  
ELEVATIONS

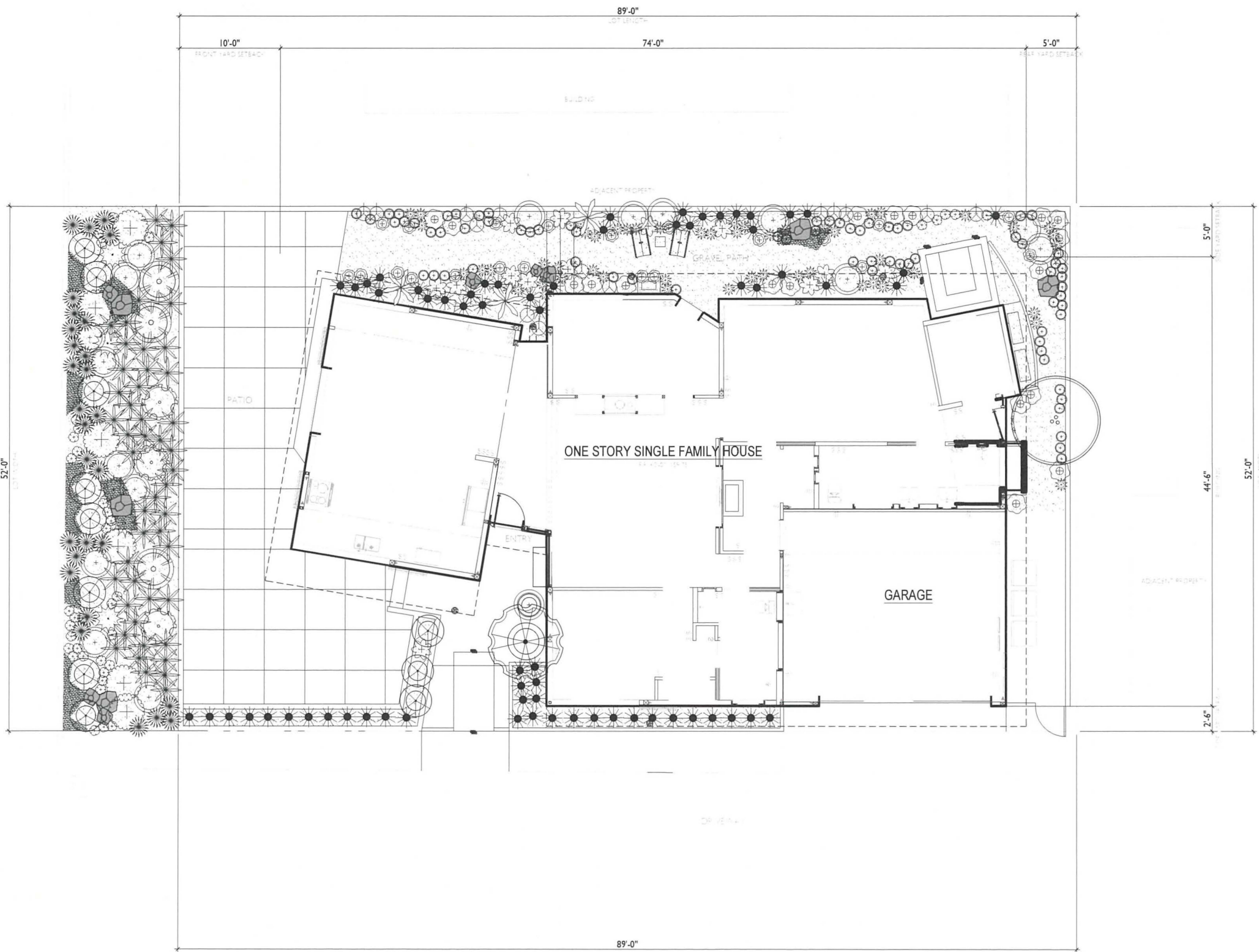
SCALE: AS SHOWN

A5.2



EQUIPMENT SCREEN

Scale: 3/16" = 1'-0"



LANDSCAPE PLAN

Scale: 3/16" = 1'-0"

PLANT SCHEDULE	
TREES	BOTANICAL / COMMON NAME
	CITRUS LIMON 'EUREKA VARIGATED PINK' / PINK VARIEGATED EUREKA LEMON
	PUNICA GRANATUM 'WONDERFUL' / WONDERFUL POMEGRANATE
SHRUBS / SUCCULENTS	BOTANICAL / COMMON NAME
	AGAVE ATTENUATA / FOXTAIL AGAVE
	ARCTOSTAPHYLOS 'HOWARD MCINN' / MANZANITA
	BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH
	CARPENTERIA CALIFORNICA 'ELIZABETH' / BUSH ANEMONE
	DUDLEYA BRITTONII / GIANT CHALK DUDLEYA
	ERIOGONUM FASCICULATUM FASCICULATUM /BUCKWHEAT
	FURCRAEA FOETIDA / MAURITUS HEMP
	KALANCHOE BEHARENSIS / FELT BUSH
	OPUNTIA FICUS-INDICA / PRICKLY PEAR
	RHAMNUS 'EVE CASE' / COFFEEBERRY
	YUCCA WHIPPLEI / OUR LORD'S CANDLE
GRASSES	BOTANICAL / COMMON NAME
	BOUTELLOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA GRASS
	CAREX PRAEGRACILIS/ FIELD SEDGE
	JUNCUS PATENS / CALIFORNIA GREY RUSH
	LEYMUS CONDENSATUS 'CANYON PRINCE' / WILD RYE
	LOMANDRA LONGIFOLIA BREEZE / DWARF MAT RUSH
PERENNIALS	BOTANICAL / COMMON NAME
	ACHILLEA MILLEFOLIUM / YARROW
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY
	HEUCHERA MAXIMA / ALUM ROOT
	VERBENA LILACINA 'DE LA MINA' / LILAC VERBENA
LEGEND	
	LANDSCAPE BOULDERS
	DECORATIVE GRAVEL
	DECORATIVE CRUSHED GRAVEL MULCH

SITE PLAN LEGEND

- PROPOSED LOT
- EXISTING LOT
- PROPOSED LOT



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DATE: 02/21/2025

PROJECT: 230

LANDSCAPE PLAN

SCALE: AS SHOWN

L1.0



PLANT SCHEDULE					
TREES	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS	WUCOLS
	CITRUS LIMON 'EUREKA VARIGATED PINK' / PINK VARIEGATED EUREKA LEMON	24" BOX	1	POTS TO BE SELECTED BY THE CLIENT AND DESIGNER. MATURE TREE HT. & WIDTH OF APPROX. 8'X4' IN POT. CAN BE PRUNED SMALLER	LOW
	PUNICA GRANATUM 'WONDERFUL' / WONDERFUL POMEGRANATE	24" BOX	1	MULTI TRUNK MATURE TREE HT. OF APPROX. 8'X4' IN POT. CAN BE PRUNED SMALLER.	LOW
SHRUBS / SUCCULENTS	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS	
	AGAVE ATTENUATA / FOXTAIL AGAVE	15 GAL	13		LOW
	ARCTOSTAPHYLOS 'HOWARD MCMINN' / MANZANITA	15 GAL	3		LOW
	BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH	5 GAL	22		LOW
	CARPENTERIA CALIFORNICA 'ELIZABETH' / BUSH ANEMONE	15 GAL	18		LOW
	DUDLEYA BRITTONII / GIANT CHALK DUDLEYA	1 GAL	9		LOW
	ERIOGONUM FASCICULATUM FASCICULATUM /BUCKWHEAT	5 GAL	6		LOW
	FURCRAEA FOETIDA / MAURITUS HEMP	15 GAL	3		LOW
	KALANCHOE BEHARENSIS / FELT BUSH	15 GAL	3		LOW
	OPUNTIA FICUS-INDICA / PRICKLY PEAR	15 GAL	3		LOW
	RHAMNUS 'EVE CASE' / COFFEEBERRY	15 GAL	7		LOW
	YUCCA WHIPPLEI / OUR LORD'S CANDLE	15 GAL	5		LOW
GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS	
	BOUTELLOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA GRASS	1 GAL	28		LOW
	CAREX PRAEGRACILIS/ FIELD SEDGE	1 GAL	76		LOW
	JUNCUS PATENS / CALIFORNIA GREY RUSH	1 GAL	15		LOW
	LEYMUS CONDENSATUS 'CANYON PRINCE' / WILD RYE	5 GAL	50		LOW
	LOMANDRA LONGIFOLIA BREEZE / DWARF MAT RUSH	1 GAL	67		LOW
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS	
	ACHILLEA MILLEFOLIUM / YARROW	1 GAL	27		LOW
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	1 GAL	21		LOW
	HEUCHERA MAXIMA / ALUM ROOT	1 GAL	56		LOW
	VERBENA LILACINA 'DE LA MINA' / LILAC VERBENA	5 GAL	10		LOW
LEGEND					
	LANDSCAPE BOULDERS	2'-3' CRESTA BOULDERS	11	VENDOR: SOUTHWEST BOULDER PETER SANCHEZ 760.559.9098 TO INCLUDE ORNAMENTAL PLANTING	
	DECORATIVE GRAVEL	3'-6" CRESTA RUBBLE	110 sq. ft.	VENDOR: SOUTHWEST BOULDER PETER SANCHEZ 760.559.9098 TO INCLUDE ORNAMENTAL PLANTING	
	DECORATIVE CRUSHED GRAVEL MULCH	¾" INDIAN PAINT	1,500 sq. ft. 3" deep	VENDOR: SOUTHWEST BOULDER PETER SANCHEZ 760.559.9098 TO INCLUDE ORNAMENTAL PLANTING	

- Total site: 4,628 sf
- Planting on property: 799 sf
- Planting in ROW: 570 sf
- PLANTING NOTES:
- CONTRACTOR TO REVIEW ALL UTILITY PLANS AND UTILITY LOCATIONS IN THE FIELD AND SHALL NOTIFY OWNER IF CONFLICTS WITH PLANT MATERIAL LOCATIONS EXIST PRIOR TO PLANTING.
  - CONTRACTOR TO VERIFY EXACT QUANTITIES OF PLANT MATERIAL NECESSARY BASED ON EXISTING CONDITIONS AND EXISTING PLANT MATERIAL COVERAGE.
  - TREES AND TREE ALOES SHALL BE TAGGED BY CONTRACTOR AND REVIEWED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PURCHASE. A MINIMUM OF 3 PHOTOS OF EACH TREE AND TREE ALOE SHALL BE SUBMITTED FOR APPROVAL. PHOTOS SHALL INCLUDE A PERSON FOR SCALE PURPOSES.
  - SHRUBS AND SUCCULENTS SHALL BE TAGGED BY CONTRACTOR AND REVIEWED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PURCHASE. ALL SHRUBS AND SUCCULENTS EXCEEDING 15 GALLON SIZE SHALL BE PHOTOGRAPHED INDIVIDUALLY AND PRESENTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PURCHASE. A PHOTO OF A STANDARD EXAMPLE OF MATERIAL, FOR ALL REMAINING SHRUBS AND SUCCULENTS, SHALL BE PRESENTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PURCHASE.
  - ANY SUBSTITUTIONS TO PLANT MATERIAL, AS SHOWN IN PLAN, ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE. ANY SUBSTITUTIONS TO MEET WUCOLS LISTED.
  - ALL PLANT MATERIAL TO BE FREE OF PESTS AND DISEASES.
  - ALL PLANT MATERIAL SHALL BE APPROVED ON SITE BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL PLANTING AREAS TO BE IRRIGATED WITH DRIP IRRIGATION TO MEET OR EXCEED THE SOLANA BEACH MUNICIPAL REQUIREMENTS.
  - OBTAIN SOIL ANALYSIS OF EXISTING TOPSOIL ON SITE AND AMEND AS RECOMMENDED.  
-FOR ALL PLANTING AREAS AMEND AND PROVIDE 12" OF ORGANIC FERTILE SOIL.  
-FOR ALL PROPOSED TREES AMEND AND PROVIDE 42" (OR MORE IF REQUIRED BY SOIL TEST) OF ORGNAIC FERTILE SOIL.
  - DECORATIVE GRAVEL MULCH TO BE APPLIED AT A DEPTH OF 3" IN ALL PLANTING AREAS OR WHERE EXPOSED SOIL IS PRESENT.
  - BOULDERS TO BE SELECTED BY LANDSCAPE CONTRACTOR. IMAGES OF EACH BOULDER TO BE PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY. TAPE MEASURE FOR SCALE TO BE SHOWN IN EACH IMAGE.
  - ALL PLANTING AREAS TO BE IRRIGATED WITH DRIP OR MICROMIST IRRIGATION SYSTEM. ALL SYSTEMS TO MEET LOW WATER USE REGULATIONS.
  - THE SOIL PREP MUST INCLUDE, AT A MINIMUM, 4 CUBIC YARDS OF COMPOST/1000 SF INCORPORATE TO A DEPTH OF 6 INCHES INTO THE SOIL.
  - ALL PLANT MATERIAL SHALL BE MAINTAINED TO PRESERVE VIEWS PER THE VIEW ARTICLES (5.28 AND 7.3.9) IN THE CC&R.
  - POTS ARE TO BE HAND WATERED.
  - ANY CUT SLOPES MORE THAN FIVE FEET IN HEIGHT AND ANY FILL SLOPES MORE THAN THREE FEET IN HEIGHT MUST BE STABILIZED WITH REINFORCED STRAW MATTING AND PLANTED & IRRIGATED TO PREVENT EROSION. THIS INCLUDES THE SIDES OF ALL BIO-BASINS AND EXISTING SLOPES THAT ARE CLEARED.



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### REVISIONS

NO. DESCRIPTION DATE

RESUBMITTAL 02.21.2025

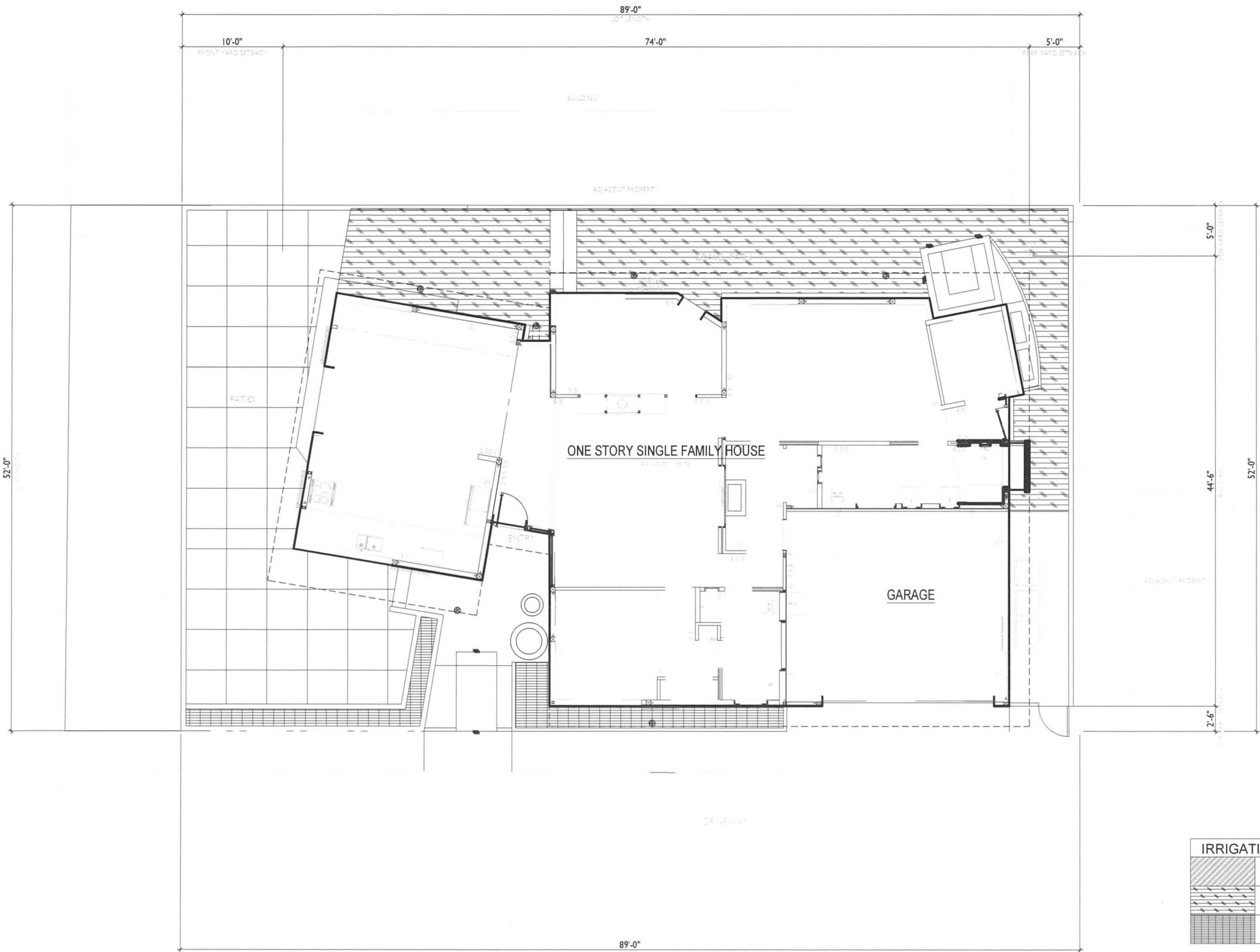
DATE: 02/21/2025

PROJECT # 229

## PLANTING SCHEDULE

AS SHOWN

# L2.0



# ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Applicant Last Name: 696 W SOLANA CIRCLE, SOLANA BEACH, CA 92075  
Project Plan Check Number: Project Address:

The project's Estimated Total Water Use is calculated using the following formula:  $ETWU = (ETo)(0.62) \left( \frac{PF \times HA}{IE} + SLA \right)$   
ETWU = Estimated total water use per year (gallons per year)  
ETo = Evapotranspiration rate (inches per year)  
PF = Plant Factor from WUCOLS (see Definitions)  
HA = Hydro-zone Area (square feet): Define hydro-zones by water use: very low, low, moderate and high  
SLA = Special Landscape Area (square feet): Edible plants, irrigated with recycled water, & turf used for active play  
0.62 = Conversion Factor (to gallons per square foot)  
IE = Irrigation Efficiency

## CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

	Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)					SLA
		1	2	3	4		
Evapotranspiration Rate (ETo) See "A" below	1	Use 41 (west of I-5) / 47 (east of I-5)					
Conversion Factor - 0.62	2	0.62					
(Line 1 x Line 2)	3	25.42 (west of I-5) / 29.14 (east of I-5)					
Plant Factor (PF) See "B" below	4	0.3	0.3	0.3			
Hydrozone Area (HA) - in square feet	5	581	742	98			
(Line 4 x Line 5)	6	174.3	222.6	29.4			
Irrigation Efficiency (IE) See "C" below	7	.81	.81	.81			
(Line 6 x Line 7)	8	215.2	274.8	36.3			
TOTAL of all Line 8 boxes + SLA	9	526.3					
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	13,376.5					

A	B	C
ETo - Evapotranspiration rate = 41 (west of I-5) 47 (east of I-5)	PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone. 0.1 - VLR - Very Low Water Use Plants 0.3 - LR - Low Water Use Plants 0.6 - MR - Moderate Water Use Plants 1.0 - HR - High Water Use Plants	IE - Irrigation Efficiency Spray = .55 Rotor = .70 Bubble = .75 MP Rotator = .75 Drip & Micro-sprink = .85 A different IE may be used if supported by documentation subject to approval by the City Planner

## MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:

Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non-residential  
 $(ETo)(0.62) \left( \frac{(0.55)(HA)}{IE} + (0.45)(SLA) \right)$   
 $(41)(0.62) \left( \frac{.55}{.81} \left( \frac{1,421}{.81} \right) + (1-ETAF \times 0) \right) =$  MAWA 36,121.8

April 2024

Page 3 of 9

IRRIGATION ZONES		IE	HA
	ZONE 1	.81	581 sq. ft.
	ZONE 2	.81	742 sq. ft.
	ZONE 3	.81	134 sq. ft.

## SITE PLAN LEGEND

--- IRRIGATION ZONE  
--- IRRIGATION ZONE  
--- IRRIGATION ZONE



## IRRIGATION PLAN

Scale: 3/16" = 1'-0"



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696 W SOLANA CIRCLE,  
SOLANA BEACH, CA 92075

DEVELOPMENT REVIEW  
PERMIT  
DRP24-013

REVISIONS

NO. DESCRIPTION DATE

RESUBMITTAL 02.21.2025

DATE: 02/21/2025

PROJECT: 230


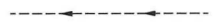
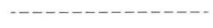





## IRRIGATION PLAN

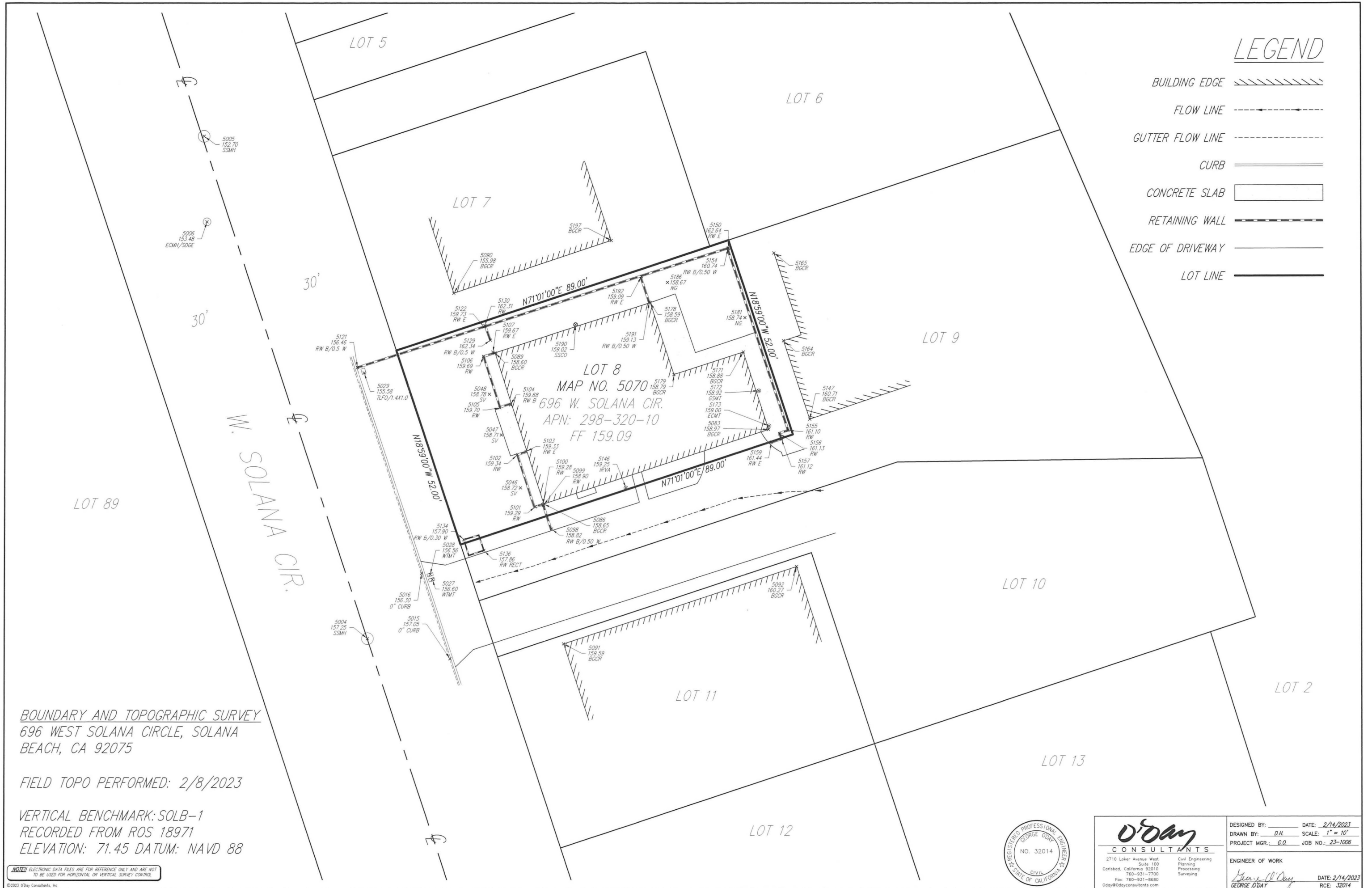
AS SHOWN

# L3.0



# LEGEND

- BUILDING EDGE 
- FLOW LINE 
- GUTTER FLOW LINE 
- CURB 
- CONCRETE SLAB 
- RETAINING WALL 
- EDGE OF DRIVEWAY 
- LOT LINE 



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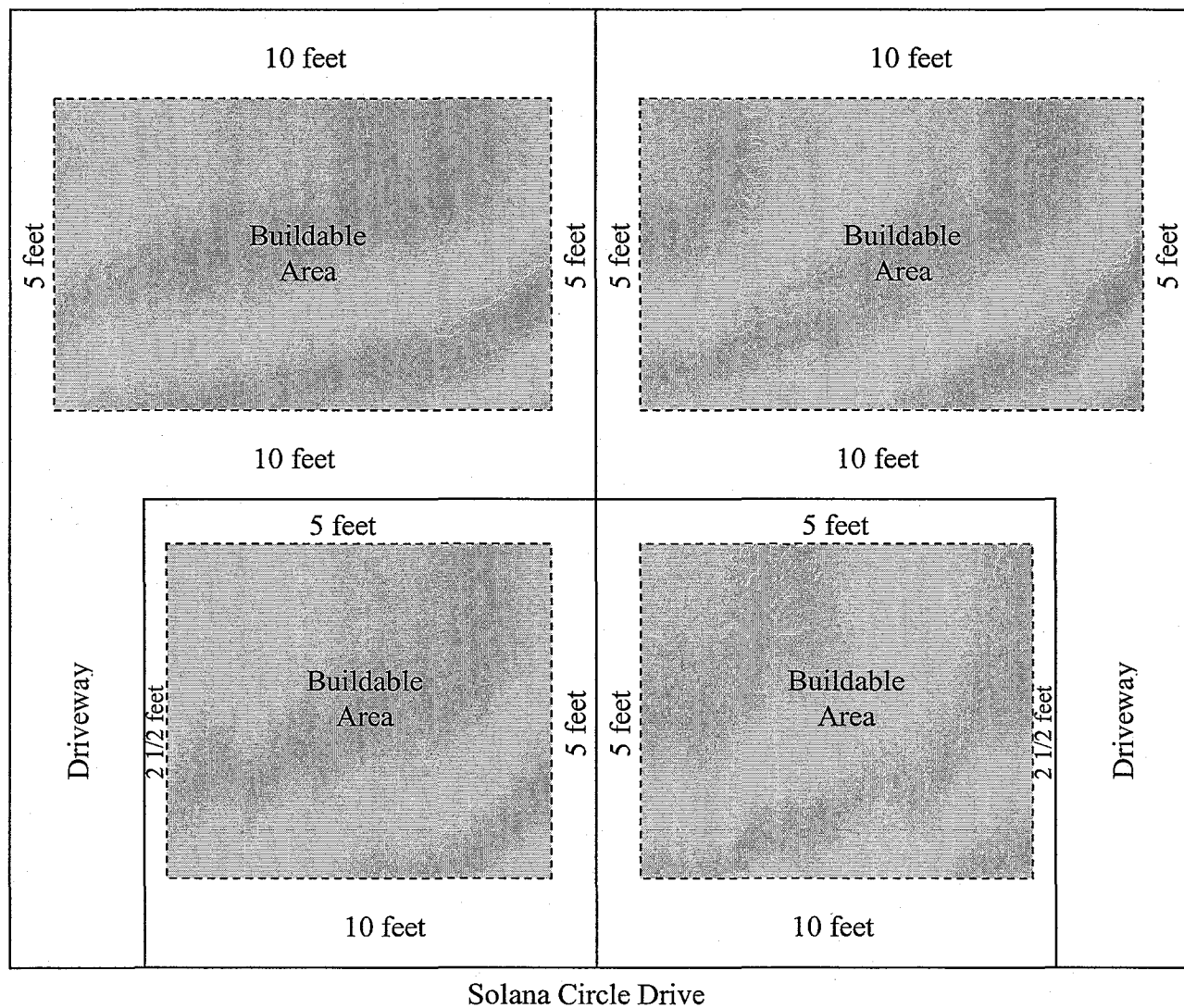
DESIGNED BY: \_\_\_\_\_ DATE: 2/14/2023  
 DRAWN BY: D.H. SCALE: 1" = 10'  
 PROJECT MGR: G.O. JOB NO.: 23-1006  
 ENGINEER OF WORK  
 GEORGE O'DAY DATE: 2/14/2023  
 RCE: 32014

# PARK DEL MAR REGULATIONS

CURRENT AS OF JUNE 2003

Conditions that apply begin on PAGE 4

Typical Setback Configuration:



Application of Hobart Properties,  
Inc. No. P62-145  
Special Use Permit for  
Neighborhood Housing  
Development and Subdivision  
Containing Lots Smaller than  
Minimum Area Required by Zone  
Classification Applicable to Property  
with Variance to Permit Reduction in  
Certain Yard Requirements, Increase  
in Building Height Requirements and  
Reduction in Size of Parking Spaces  
on Certain Lots – Solana Beach  
Zoning District Property Zoned R-2

### DECISION OF THE COMMISSION

Hobart Properties, Inc., having filed an application pursuant to Section 480 of The Zoning Ordinance for a special use permit for a neighborhood housing development and a subdivision that contains lots smaller than the minimum area required by the same classification applicable to said land, said application including a request for variance to permit the reduction in certain yard requirements on specific lots, a reduction in the size of parking spaces on specific lots and an increase in building height on one lot; and the Commission having given the required notices and held the required hearing on the application for said permit; and the land for which the special use permit is requested being in the County of San Diego, State of California, more particularly described as follows:

All that portion of the \_\_\_\_ of the \_\_\_\_ of Sec. 2 T 14 S, R 4 W, S.B.B.M, County of San Diego, State of California, according to U.S. Government Survey approved January 18, 1876, lying Kly of the Kly line of Villa Del Mar Unit #1, Map #3332, Recorded in office of the County Recorder, County of San Diego, November 13, 1955.

Said land being shown on the conditionally approved tentative Map No. 2451 entitled "Conditionally Approved Tentative Map No. 2451" dated April 27, 1962, on file in the office of the Planning Commission of the County of San Diego, State of California, which said above described land is sometimes hereinafter referred to as "Park Del Mar"; and

It appearing that the applicant seeks to develop at this time only a portion of said Park Del Mar and that the applicant proposes to develop at a later date the westerly portion of Lot 1 and all of Lot 60 as shown on said conditionally approved tentative map.

It appearing that the applicant proposed to develop said Park Del Mar By the construction of single family dwellings and apartments designed for senior citizens i.e., persons over the age of 50 years, and the establishment of recreational facilities for said senior citizens; and

It appearing that the application proposed to sell to others both the single family dwellings and individual units within the apartment house shown on Lot 1; and

It appearing that in consideration of the proposed development, the character of the residential facilities to be provided, and the open space containing pedestrian walls to be reserved and improved, the maintenance of gross area requirements for parking areas and the size of the single family dwellings to be erected on the lots within Park Del Mar that the lot size prescribed for the R-2 Zone should be reduced to the minimum sizes shown on said conditionally approved tentative map as more particularly shown on the plot plan designated "Approved Plot Plan of Park Del Mar" dated April 27, 1962, on file in the office of said Planning Commission of the County of San Diego and that the applicant be permitted to reduce certain yard set backs and parking spaces and increase certain building heights as shown on said plot plan; NOW

#### THEREFORE

The Planning Commission of the County of San Diego hereby grants the application of Hobart Properties, Inc., (hereinafter referred to as the Permittee) a special use permit for a neighborhood housing development on the above described land designated Park Del Mar, and for a subdivision of a portion of the above described land designated Park Del Mar (said portion being Lots 3 to 59 and 61 to 85, inclusive, as shown on said conditionally approved tentative Map No. 2451 and said approved plot plan of Park Del Mar) into lots containing less area than the minimum area specified for lots in an R-2 zone and to substitute recreational areas and open space for a portion of the required lot areas, and said Commission also grants variances as requested on said plot plan to permit a reduction in yard setback requirements and the size of parking spaces on certain lots, and an increase in building height on one lot, subject to the following conditions:



1. A final map of said property designated Park Del Mar approved by the Board of Supervisors of the County of San Diego and conforming to said conditionally approved tentative Map No. 2451, or said tentative Map as hereafter modified pursuant to the approval of the Planning Commission, shall be recorded in the office of the County Recorder of said County of San Diego in accordance with the Subdivision Map Act of the State of California and the San Diego County Code. The lots shown on said final map shall be numbered in accordance with the lot numbers shown on said conditionally approved Map No. 2451. Each of Lots 1 to 90, inclusive, shall not be smaller in any dimension or in area than the minimum sizes shown on said conditionally approved tentative Map No. 2451 and said approved plot plan of Park Del Mar.
2. No building permit for the construction of any building on said property designated "Park Del Mar" shall be issued by the County of San Diego and no construction of any such building shall be commenced until said final map of Park Del Mar has been approved by the Board of Supervisors and recorded; provided, however, this restriction shall not apply to the construction of not to exceed three model homes and the construction of the hereinafter described recreational facilities or four model homes, and except on Lot 1 as specified in Paragraph 20, below, provided the construction of said model homes and recreational facilities and any building constructed on said Lot 1 shall conform to the requirements of all State laws and the San Diego County Code. No building permit for the construction of any dwelling on said property (except the model homes referred to above and any building constructed on said Lot 1) shall be issued by the County of San Diego until the Permittee has obtained from the County of San Diego the building permit or permits for the construction of the recreational facilities specified in paragraph 8 below.
3. Primary use of the site shall be limited to one detached, single-family dwelling with one garage or carport. The dwelling unit shall be limited to 2,000 square feet and the garage or carport to 600 square feet; in no case shall the total square footage on site exceed 2,400 square feet. Detached accessory structure may be permitted pursuant to the City of Solana Beach Zoning Ordinance and will be deducted from the total allowed garage square footage calculation.
4. HEIGHT – No on-site structures shall exceed a height of 16 feet as measured from the lower of existing or finished grade to the highest point of the structure, including roofing materials. SETBACK, FRONT – For lots which front on Solana Circle, the front yard setback shall be 10 feet from the edge of the ultimate right-of-way; for panhandle lots, the front yard setback shall be 10 feet from the rear property line for those lots fronting on Solana Circle, extending from one side property line to the other side property line. SETBACK, SIDE – For lots which front on Solana Circle, the side yard setback shall be 5 feet from the side property line except that those side property lines adjacent to a panhandle shall be 2.5 feet from the side property line; for panhandle lots, the side setback shall be 5 feet from side property lines. SETBACK, REAR – For lots which

front on Solana Circle, the rear yard setback shall be 5 feet from the rear property line; for panhandle lots, the rear yard setback shall be 10 feet from the rear property line.

5. No dwelling within Park Del Mar shall be given a final inspection pursuant to any building permit or occupied until the recreational facilities hereafter specified in paragraph 8 and improvements specific hereafter in paragraph 9 have been completed and have received a final inspection and approval by the Building Inspector of the County of San Diego.
6. Lots 2 and 90 shown on said conditionally approved tentative Map No. 2451 and on said final map of Park Del Mar shall be permanently reserved for recreation and open space.
7. At the same time said final map is recorded in the office of the county recorder there also shall be recorded a document signed by all persons, firms and corporations having an interest in the property shown on said final map and by the County of San Diego. Said document shall be in a form satisfactory to the County Counsel of the County of San Diego, and shall establish for the benefit of all the property shown on said final map of Park Del Mar, a restriction that said Lots 2 and 90 shall be used only as open space and for recreational facilities primarily for the use and benefit of the occupants of the property shown on said final map. Said document shall provide that said restriction shall run with the land and shall bind all owners of the property shown on said final map and all persons claiming under them for a period of 20 years from the date of recording the restrictions, after which time the restriction shall be automatically extended for successive periods of 20 years unless an instrument signed by a majority of the then owners of lots in said Park Del Mar and by the County of San Diego has been recorded agreeing to change the restriction in whole or in part.
8. Lot 90 shown on said conditionally approved tentative Map No. 2451 and on said final map shall be improved with the following recreational facilities:
  - a. A swimming pool not less than 1,000 square feet in area constructed in accordance with the requirements and regulations of the Department of Public Health of the State of California applicable to public pools.
  - b. Two concrete shuffleboard courts.
  - c. One croquet court.
  - d. One putting green.
  - e. One recreation building not less than 3,400 square feet in area.Said recreational facilities shall be constructed within Lot 90 at the locations shown on the plot plan designated "Approved Plot Plan of Park Del Mar" dated April 27, 1962, a copy of which is on file in the office of the Planning Commission of the County of San Diego or at such locations within said Lot 90 as the Planning Commission may approve. Construction of the said recreational facilities shall be commenced no later than the time of commencement of construction of the first dwelling (except model homes) in Park Del Mar and shall be diligently prosecuted to completion. Said facilities shall be completed prior to the final inspection (pursuant to any building permit) and occupancy of any dwelling within Park Del Mar.

9. In addition to the improvements specified above in paragraph 8 said Lot 90 shall be improved with a parking area as shown on said plot plan designated "Approved Plot Plan of Park Del Mar" dated April 27, 1962. Said parking area shall be surfaced with a minimum of two inches of asphalt plant mix over a decomposed granite base or with a material of equal or better quality approved by the County Building Inspector and shall otherwise be improved to conform to the requirements of Section 472 of The Zoning Ordinance of the County of San Diego.
10. Walks shall be construction at locations on the landscape plan designated "Approved Landscape Plan of Park Del Mar" dated April 27, 1962, on file in the office of said Planning Commission or at such other locations as the Commission may approve. All walks shall be not less than four feet in width except short connecting feeder walks to single family dwellings which may be not less than three feet in width. Walks within County road right of way shall be improved in accordance with specifications approved by the County Supervisor and Road Commissioner. Other walks shall be improved with a minimum of two inches of asphalt plant mix or with a material of equal or better quality approved by the County Building Inspector.
11. Lots 1 to 59 and 61 to 85, inclusive, and Lots 88,89 and 90 shall be planted and maintained with lawn, scattered shade trees, flower beds and shrubbery. Planted areas shall have installed therein a permanent-type sprinkler system to irrigate and water the trees. Three planting shall be in accordance with said Approved Landscape Plan of Park Del Mar.
12. The improvements specified in paragraphs 9,10 and 11, above, shall be completed in accordance with the following:
  - a. Lot 90 – Prior to the final inspection (pursuant to any building permit) and occupancy of any dwelling within Park Del Mar.
  - b. Lots 2, 88 and 89 – Prior to the final inspection (pursuant to any building permit) and occupancy of any dwellings in excess of the first 40 dwellings constructed pursuant to this use permit.
  - c. Lots 1, 3 to 59, inclusive, and 62 to 85, inclusive – Prior to the final inspection (pursuant to any building permit) and occupancy of any dwelling on the lot on which said improvements are located.
13. The recreational facilities specified in paragraph 8 and the other improvements specified in paragraphs 9, 10 and 11 shall be maintained in a neat, clean condition and in a state of good repair.
14. a. The Permittee and all persons, firms or corporations owning Lots 2 and 90 at the time of the recording of the final map of Park Del Mar and their heirs, administrators, executors, successors and assigns, shall operate, maintain and repair the recreational facilities and improvements specified above in paragraphs 8, 9, 10 and 11 primarily for the benefit of the residents of Park Del mar and shall continue to operate, maintain and repair such facilities and improvements until such time as the operation and maintenance

of said recreational facilities and improvements is assumed by some public agency, district, corporation or legal entity approved by the County Planning Commission.

b. The maintenance and operation of said recreational facilities and improvements shall be assured by the granting of an undivided interest in said Lots 2 and 90 (including the recreational facilities and improvements) to the purchasers of each of the other individual lots in said Park Del Mar (for the purposes of this subsection "b", only, the term Park Del Mar includes, but is not limited to, any future re-subdivision of said Park Del Mar), the inclusion in the deeds conveying said individual lots of provision, such as covenants running with the land, requiring the owners, their heirs, administrators, successors and assigns, to participate in the cost of such maintenance and operation, and the creation of a legal entity with the right to assess all owners of Lots in said Park Del Mar for, and enforce the participation of each such owner in the costs of the maintenance and operation of said facilities and improvements, or be assured by some other device creating a legal entity capable of maintaining and operating said recreational facilities and improvements and providing for the participation by the owners of all lots within said Park Del Mar in the cost and maintenance and operation and the enforcement of such participation. Prior to the final inspection and occupancy of any dwelling in Park Del Mar, the Permittee shall make provisions to assure the continued maintenance and operation of said recreational facilities and improvements as above specified and obtain the County Planning Commission's approval of such provision.

15. On lots 1 and \_\_\_ as shown on said conditionally approved tentative Map No. 2451 and said approved Plot Plan of Park Del Mar, the area per parking space plus the area used for driveways shall total not less than 300 square feet per parking space.
16. The terms and conditions of this special use permit shall be binding upon the Permittee, all persons, firms and corporations having an interest in the above described property designated Park Del Mar and the heirs, executors, administrators, successors and assigns to each of them, including municipal corporations, public agencies and districts.
17. At the same time the final map of Park Del Mar is recorded there shall also be recorded a document, signed by all persons, firms and corporations having an interest in the property shown on the final map, whereby said persons, firms and corporations accept the terms and conditions of this special use permit and agree with the County of San Diego to comply therewith. Said document shall be in a form satisfactory to Council Counsel of the County of San Diego.
18. The conditions and restrictions specified in this permit, other than the requirement of the recording of a final map in accordance with the conditionally approved tentative map of Park Del Mar dated April 27, 1962, shall not be applicable to Lots 86 and 87 as shown on said conditionally approved tentative map and final map of Park Del Mar.
19. A building permit for the construction of a building on Lot 1 as shown on said conditionally approved tentative Map No. 2451 and said Approved Plot Plan of Park Del Mar dated April 27, 1962, may be issued by the County of San Diego, provided,

however, that no such building shall be given final inspection pursuant to any building permit or occupied until a final map of re-subdivision of said Lot 1 has been approved by the Board of Supervisors and recorded.

20. In the event the Permittee constructs the recreational facilities and improves Lots 2 and 90 as required by this permit and constructs dwellings on some or all of the lots in Park Del mar, notwithstanding the fact that Permittee is no longer the owner of said Lots 2 and 90 or any or all of the lots in said Park Del Mar other than Lots 1 and 60, Permittee may apply to the County Planning Commission for modification of this special use permit insofar as it applies to Lots 1 and 60, Permittee may apply to the County Planning Commission for modification of this special use permit insofar as it applies to Lots 1 and 60. Any such modification shall be applied for, considered and granted or denied in accordance with the provisions of The Zoning Ordinance applicable to special use permits.
21. This permit shall terminate and become void and of no further effect one year from the effective date hereof, unless prior to such termination date, construction of the recreational facilities on Lot 90 and of single family dwellings (other than model homes) on at least 10 lots shall be commenced or unless prior to said termination date an extension of time is granted by the Planning Commission or the Board of Supervisors.
22. By accepting this special use permit Applicant agrees to, and does, waive any and all rights heretofore granted to Applicant by that certain Special Use Permit No. 62-77, granted by the Board of Supervisors of the County of San Diego, it being understood that this permit incorporates the provisions of said Permit No. 62-77 except insofar as specifically modified hereby, and it being intended that all of Applicant's rights in the premises shall be set forth in this Permit rather than in said Permit No. 62-77.

Carl P. Johnson & Miroslava Sutvajova

Solana Beach, CA 92075

June 9, 2025

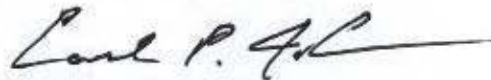
Dear Sir or Madam,

My family has lived in Solana Beach on Solana Circle West since the 1970s. I have many great feelings and memories of Solana Beach. I love the beach and Torrey Pines Golf Course in particular. I went to UCSD in the late 1980's and have many friends in town. My mother lives on Solana Circle and is very active in the community. My grandparents also lived in Solana Beach near Lomas Santa Fe Country Club.

My career as a CPA took me to Pasadena and we live in La Canada now. We enjoy visiting Solana Beach throughout the year. Our house is only 1,400 square feet and is an original Park Del Mar home. The home we are trying to build will be larger, modern and beautiful. We think it will only enhance the neighborhood. Our neighbors and some of the committee members at PDM have commented on its beauty and they were a tough group from which we got approval to approach the City.

Thank you for considering our design and hopefully allowing us to complete our house.

Sincerely,

A handwritten signature in black ink, appearing to read "Carl P. Johnson", with a stylized flourish at the end.

Carl & Mira Johnson



## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Community Development Department - Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing: Request for a Time Extension for an Approved Development Review Permit and Structure Development Permit for the Construction of an Eight-Unit, For-Lease Residential Development on a Vacant Lot. Case No: TE25-001; Applicant: Shantu Patel, APN: 298-162-37, Resolution 2025-079**

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### **BACKGROUND:**

The Applicant, Shantu Patel, is requesting a 12-month time extension to the Development Review Permit (DRP) and Structure Development Permit (SDP) originally approved on July 13, 2022, with the adoption of Resolutions 2022-087 and 2022-088, to construct an eight-unit, for-lease, residential development consisting of two detached two-story buildings built above basement-level garages and perform associated site improvements including cut and fill grading, drainage, landscaping, a playground, and off-street parking spaces on a vacant property located on the east side of Ida Avenue and south of the intersection with Genevieve Street.

The City Council adopted Resolution 2020-087 on June 10, 2020, which extended all entitlement expirations approved during the Covid-19 Pandemic Declaration of Emergency by one year. Therefore, the project expiration is set to expire three years from the original approval date, on July 13, 2025. The Applicant applied for the extension request on April 14, 2025. The permit expiration is considered to be on hold until the City Council is able to make a determination on the project.

This item is before the City Council to consider adoption of Resolution 2025-079 (Attachment 1) approving the Applicant's request to formally extend the project approval as provided under the Solana Beach Municipal Code (SBMC) 17.72.110 for 12 months starting from the current expiration date of July 13, 2025.

COUNCIL ACTION:

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## **DISCUSSION:**

On July 13, 2022, the City Council adopted Resolutions 2022-087 and 2022-088 conditionally approving a DRP and SDP for the construction of a replacement single-family residence. The Staff Report and meeting video can be reviewed under Item B.2 of the July 13, 2022 City Council Meeting: <https://www.cityofsolanabeach.org/en/city-council-meetings>

The Applicant has not yet applied for construction permits or obtained approval from the California Coastal Commission (CCC) for the project. The property, including the DRP and SDP entitlements, has been listed for sale by the Applicant. If the property is sold and the new owner wishes to proceed with the development, they would be subject to the original conditions of approval outlined in Resolution 2022-088.

The Solana Beach Municipal Code (SBMC) Section 17.72.110 indicates that:

*One or more (but not more than a total of four) extensions may be granted not exceeding a cumulative total of 24 months after the date the original approval of the project expires. The duration of an extension shall be in an increment of 30 days. The minimum duration of an extension shall be six months. The maximum duration of an extension shall not be more than 12 months. The duration of an extension shall be determined at the discretion of the issuing authority.*

The Applicant is requesting to extend the expiration by 12 months to July 13, 2026, with the intent that the property would be sold and a new owner would proceed with the project during that timeframe. The Applicant's request is included in Attachment 2. The approval includes the requirement that the building permit be issued and the Applicant commence construction prior to the expiration date.

The property is undeveloped and has been subject to multiple Code Enforcement Cases regarding property maintenance (e.g., overgrown vegetation) over the past five years. Staff has included a condition of approval to require the property owner to maintain the property in accordance with SBMC Chapter 6.06 Neighborhood Preservation.

SBMC Section 17.72.110 establishes that City Council action is required to review and act on a request for an extension of a CUP mod. when City Council was the original approving body. The City Council may extend the approval of a project if they are able to make the seven (7) required findings, which are as follows:

- 1. The applicant has presented facts which establish that the applicant has timely and diligently pursued issuance of a building permit during the 24-month period following the issuance of the original approval for the project (or the different period set forth as a condition of approval of the project) or during the then current extension period;*



2. *Circumstances beyond the applicant's control have intervened and prevented the applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24-month period (or the expiration date established as a condition of the approval) or during the then current extension period;*
3. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the extension;*
4. *There is a substantial factual basis to determine that the applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*
5. *The duration of the extension requested by the applicant is no longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*
6. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*
7. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The draft Resolution of Approval has been prepared by Staff for the consideration of the City Council (Attachment 1). The draft Resolution is based upon the information provided in this report. The City Council may direct Staff to modify Resolution 2025-079 to reflect the findings and conditions it deems appropriate as a part of the public hearing process. In the alternative, if the City Council determines the request is to be denied, Staff will prepare a Resolution of Denial for an action to be taken at a subsequent City Council meeting.

Notices of a Public Hearing for this project were mailed to property owners and occupants within 300 feet of the project site more than 10 days prior to the City Council date. As of the date of preparation of this Staff Report, no phone calls, letters, or emails have been received by Staff in regard to the extension request.

#### **CEQA COMPLIANCE STATEMENT:**

Time Extensions are not a project as defined by CEQA. The City Council adopted Resolution 2022-087 for a Final Mitigated Negative Declaration and Mitigation Monitoring Program pursuant to the State of California CEQA Guidelines on July 13, 2022.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the requested time extension;
- Deny the request for a time extension; or
- Provide direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive Public testimony, Close the Public Hearing.
2. If the City Council can make the required findings, adopt Resolution 2025-079, approving the request for a Time Extension for approvals and entitlements in Case No. 17-18-03 and setting the expiration date as July 13, 2026.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-079
2. Applicant's Extension Request

## RESOLUTION 2025-079

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A TIME EXTENSION TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT FOR THE CONSTRUCTION OF AN EIGHT-UNIT, FOR-LEASE RESIDENTIAL DEVELOPMENT ON A VACANT LOT ON IDA AVENUE IN SOLANA BEACH

**APPLICANT:** SHANTU PATEL  
**CASE NO.:** TE25-001 TIME EXTENSION  
**APN:** 298-162-37

**WHEREAS**, Shantu Patel (hereinafter referred to as “Applicant”) has submitted a request for a Time Extension of the approved Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted Resolution 2022-088 approving the project at the regularly scheduled July 13, 2022, City Council meeting; and

**WHEREAS**, the City Council adopted Resolution 2020-087 on July 13, 2020, which extended all entitlement expirations approved during the Covid-19 Pandemic Declaration of Emergency by one year; and

**WHEREAS**, the discretionary approval is set to expire on July 13, 2025; and

**WHEREAS**, the Applicant submitted a request for a 12-month extension of the project approval pursuant to the provisions of SBMC 17.72.110 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, on July 2, 2025, the City Council held a duly noticed Public Hearing to consider the time extension request; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a Time Extension; and

**WHEREAS**, the City Council of the City of Solana Beach found that a Time Extension Request is not a project according to the State California Environmental Quality Act (CEQA) Guidelines; however, the City Council adopted a Final Mitigated Negative Declaration and Mitigation Monitoring Program pursuant to the State of California CEQA

Guidelines on July 13, 2022; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the request for a 12-month Time Extension for a Development Review Permit (DRP) and Structure Development Permit (SDP) originally approved on July 13, 2022, with the adoption of Resolution 2022-088, to construct an eight-unit, for-lease, residential development consisting of two detached two-story buildings built above basement-level garages and perform associated site improvements including cut and fill grading, drainage, landscaping, a playground, and off-street parking spaces on a vacant property located on the east side of Ida Avenue and south of the intersection with Genevieve Street is conditionally approved based on the following:
3. FINDINGS:
  - A. In accordance with Section 17.72.110 (Lapse of Approval and Extensions) of the City of Solana Beach Municipal Code, the City Council finds the following:
    - I. *The Applicant has presented facts which establish that the Applicant has timely and diligently pursued issuance of a building permit during the 24-month period following the issuance of the original approval for the project;*

The Applicant has not applied for required permits to commence construction due to impacts of the Covid-19 Pandemic on interest rates and the real estate market.
    - II. *Circumstances beyond the Applicant's control have intervened and prevented the Applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24-month period following the issuance of the original approval for the project;*

The Applicant designed and applied for the project prior to the Covid-19 Pandemic. The Applicant pursued approval of the associated entitlements during the Covid-19 Pandemic, but due to the ongoing impact of the Pandemic on interest rates and the real estate market,

the Applicant has been unable to secure financing to move forward with the project or sell the property and associated entitlements.

- III. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the time extension;*

The requested 12-month extension is reasonable time for the Applicant to either secure financing and proceed with permit issuance and construction or sell the property to a new owner, who would proceed with permit issuance and construction.

- IV. *There is a substantial factual basis to determine that the Applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*

The requested 12-month extension is sufficient time for the Applicant to diligently pursue permit issuance and commence construction.

- V. *The duration of the time extension requested by the Applicant is not longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*

The requested 12-month extension is not longer than reasonable necessary for the Applicant to proceed with the project.

- VI. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*

There have not been any significant changes to the applicable regulations since the originally project approval that would make the project inconsistent, incompatible, or nonconforming.

- VII. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The City Council finds that the granting of the extension is not detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity with the added condition that the property owner maintain the property in accordance with Solana Beach Municipal Code Chapter 6.06 Neighborhood Preservation.

1. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the conditions of the original project approval of Resolution 2022-088 and the following condition:

- I. The property owner shall maintain the property in accordance with Solana Beach Municipal Code Chapter 6.06 Neighborhood Preservation.

2. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.
3. EXPIRATION: The Conditional Use Permit for the project will expire 12 months from the date of expiration of the original project approval, unless the Applicant has obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion.
4. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this Resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this Resolution you must comply with the provisions of Government Code Section 66020. Generally the Resolution is effective

upon expiration of the tenth day following the date of adoption of this Resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 2<sup>nd</sup> day of July, 2025, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Community Development Department - Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing: Request for a Time Extension for an Approved Development Review Permit and Structure Development Permit for the Construction of Replacement Single-Family Residence at 506 Pacific Avenue. Case No: TE25-002; Applicant: Eric Buchanan, APN: 263-042-17, Resolution 2025-080**

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### **BACKGROUND:**

The Applicant, Eric Buchanan, on behalf of the property owners, Kendall and Tess Saville, is requesting a 12-month time extension to the Development Review Permit (DRP) and Structure Development Permit (SDP) originally approved on August 24, 2022, with the adoption of Resolution 2022-049, to demolish a single-story, single-family residence, construct a replacement 3,021 square-foot, two-story single-family residence with an attached 377 square-foot two-car garage, and perform associated site improvements at 506 Pacific Avenue.

The City Council adopted Resolution 2020-087 on June 10, 2020, which extended all entitlement expirations approved during the Covid-19 Pandemic Declaration of Emergency by one year. Therefore, the project is set to expire three years from the original approval date, on August 24, 2025. The Applicant applied for the extension request on May 22, 2025. The permit expiration is considered to be on hold until the City Council is able to make a determination on the project.

This item is before the City Council to consider adoption of Resolution 2025-080 (Attachment 1) approving the Applicant's request to formally extend the project approval as provided under the Solana Beach Municipal Code (SBMC) 17.72.110 for 12 months starting from the current expiration date of August 24, 2025.

COUNCIL ACTION:

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## **DISCUSSION:**

On August 24, 2022, the City Council adopted Resolution 2022-049 conditionally approving a DRP and SDP for the construction of a replacement single-family residence. The Staff Report and meeting video can be reviewed under Item B.2 of the August 24, 2022 City Council Meeting: <https://www.cityofsolanabeach.org/en/city-council-meetings>

The project was originally proposed by the former property owners, Jim and Kathleen Boyd. Following City Council approval of the project, the Boyds sold the property and entitlements to the Saville's. The Saville's have received authorization from the California Coastal Commission (CCC), have completed plan check and are pending issuance for all applicable permits from the City. The only outstanding requirement is a Notice of Service Discontinuance from San Diego Gas and Electric (SDG&E) prior to the issuance of permits. The Applicant was informed by SDG&E that the gas lateral line servicing 506 Pacific Avenue also serves the adjacent property, 504 Pacific Avenue. Therefore, SDG&E cannot discontinue service to the subject property and allow construction permits to be issued until the joint lateral issue is resolved. The Applicant's request is included in Attachment 2.

The Solana Beach Municipal Code (SBMC) Section 17.72.110 indicates that:

*One or more (but not more than a total of four) extensions may be granted not exceeding a cumulative total of 24 months after the date the original approval of the project expires. The duration of an extension shall be in an increment of 30 days. The minimum duration of an extension shall be six months. The maximum duration of an extension shall not be more than 12 months. The duration of an extension shall be determined at the discretion of the issuing authority.*

SBMC Section 17.72.110 establishes that City Council action is required to review and act on a request for an extension of a CUP mod. when City Council was the original approving body. The City Council may extend the approval of a project if they are able to make the seven (7) required findings, which are as follows:

- 1. The applicant has presented facts which establish that the applicant has timely and diligently pursued issuance of a building permit during the 24-month period following the issuance of the original approval for the project (or the different period set forth as a condition of approval of the project) or during the then current extension period;*
- 2. Circumstances beyond the applicant's control have intervened and prevented the applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24-month period (or the expiration date established as a condition of the approval) or during the then current extension period;*

3. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the extension;*
4. *There is a substantial factual basis to determine that the applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*
5. *The duration of the extension requested by the applicant is no longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*
6. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*
7. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The draft Resolution of Approval has been prepared by Staff for the consideration of the City Council. The draft Resolution is based upon the information provided in this report. The City Council may direct Staff to modify Resolution 2025-080 to reflect the findings and conditions it deems appropriate as a part of the public hearing process. In the alternative, if the City Council determines the request is to be denied, Staff will prepare a Resolution of Denial for an action to be taken at a subsequent City Council meeting.

Notices of a Public Hearing for this project were mailed to property owners and occupants within 300 feet of the project site more than 10 days prior to the City Council date. As of the date of preparation of this Staff Report, no phone calls, letters, or emails have been received by Staff in regard to the extension request.

**CEQA COMPLIANCE STATEMENT:**

Time Extensions are not a project as defined by the California Environmental Quality Act (CEQA). The City Council found the original project exempt pursuant to the 2022 State of California CEQA Guidelines Section 15303.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the requested time extension;
- Deny the request for a time extension; or

- Provide direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive Public testimony, Close the Public Hearing.
2. If the City Council can make the required findings, adopt Resolution 2025-080, approving the request for a Time Extension for approvals and entitlements in Case No. DRP20-014 and SDP20-020 and setting the expiration date as August 24, 2026.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-080
2. Applicant's Extension Request

## **RESOLUTION 2025-080**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A TIME EXTENSION TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT FOR THE CONSTRUCTION OF A REPLACEMENT SINGLE-FAMILY RESIDENCE AT 506 PACIFIC AVENUE IN SOLANA BEACH**

**APPLICANT: ERIC BUCHANAN**  
**CASE NO.: TE25-002 TIME EXTENSION**  
**APN: 263-042-17**

**WHEREAS**, Eric Buchanan (hereinafter referred to as “Applicant”), on behalf of the property owners, Kendall and Tess Saville, has submitted a request for a Time Extension of the approved Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted Resolution 2022-049 approving the project at the regularly scheduled August 24, 2022, City Council meeting; and

**WHEREAS**, the City Council adopted Resolution 2020-087 on June 10, 2020, which extended all entitlement expirations approved during the Covid-19 Pandemic Declaration of Emergency by one year; and

**WHEREAS**, the discretionary approval is set to expire on August 24, 2025; and

**WHEREAS**, the Applicant submitted a request for a 12-month extension of the project approval pursuant to the provisions of SBMC 17.72.110 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, on July 2, 2025, the City Council held a duly noticed Public Hearing to consider the time extension request; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a Time Extension; and

**WHEREAS**, the City Council of the City of Solana Beach found that a Time Extension Request is not a project according to the State California Environmental Quality Act (CEQA) Guidelines; however, the City Council found the original project exempt pursuant to the 2022 State of California CEQA Guidelines Section 15303 on August 24, 2022; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the request for a 12-month Time Extension for a Development Review Permit (DRP) and Structure Development Permit (SDP) originally approved on August 24, 2022, with the adoption of Resolution 2022-049, to demolish a single-story, single-family residence, construct a replacement 3,021 square-foot, two-story single-family residence with an attached 377 square-foot two-car garage, and perform associated site improvements at 506 Pacific Avenue is conditionally approved based on the following:

3. FINDINGS:

- A. In accordance with Section 17.72.110 (Lapse of Approval and Extensions) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The Applicant has presented facts which establish that the Applicant has timely and diligently pursued issuance of a building permit during the 24-month period following the issuance of the original approval for the project;*

The Applicant has completed plan check on all required permits to commence construction with the single outstanding requirement being a Notice of Service Discontinuance from San Diego Gas and Electric (SDG&E).

- II. *Circumstances beyond the Applicant's control have intervened and prevented the Applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24-month period following the issuance of the original approval for the project;*

While pursuing authorization from SDG&E, the Applicant became aware that the gas lateral line also serves the adjacent property, 504 Pacific. The Applicant is unable to disconnect the gas line until the joint lateral issue is resolved.

- III. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the time extension;*

The Applicant has presented a reasonable and substantial factual basis regarding the unforeseen circumstances that have prevented the otherwise timely issuance of permits and commencement of construction.

- IV. *There is a substantial factual basis to determine that the Applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*

The Applicant will be able to resolve the joint gas lateral issue with the neighbor and utility provider.

- V. *The duration of the time extension requested by the Applicant is not longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*

The 12-month extension is reasonable for the Applicant to pursue the remaining requirement for permit issuance.

- VI. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*

There have not been any significant changes in the applicable regulations what would make the approve project inconsistent.

- VII. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The granting of the extension will not have any impact on properties or improvements in the vicinity.

1. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the conditions of the original project approval of Resolution 2022-049.

2. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.

3. **EXPIRATION:** The Conditional Use Permit for the project will expire 12 months from the date of expiration of the original project approval, unless the Applicant has obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion.
4. **INDEMNIFICATION AGREEMENT:** The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

**NOTICE TO APPLICANT:** Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this Resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this Resolution you must comply with the provisions of Government Code Section 66020. Generally the Resolution is effective upon expiration of the tenth day following the date of adoption of this Resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 2<sup>nd</sup> day of July, 2025, by the following vote:

AYES:	Councilmembers –
NOES:	Councilmembers –
ABSENT:	Councilmembers –
ABSTAIN:	Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk





**June 13, 2025**

**Katie Benson  
Senior Planner  
City of Solana Beach  
635 S. Hwy 101  
Solana Beach, CA 92075**

**Re: Permit Time Extension**  
Resolution 2022-049  
506 Pacific Avenue, Solana Beach

Dear Katie Benson,

Oasis Architecture & Design represents the interests of Kendall and Tess Saville (the "Applicant") regarding the proposed single family residence redevelopment at 506 Pacific Avenue.

This project was designed and ultimately approved by the City Council for the original property owner, Jim and Kathleen Boyd, per Resolution 2022-049. Since the approval, the Boyds decided not to move forward with the project and ultimately listed the property for sale. The property was then purchased by Kendall and Tess Saville, who engaged with Oasis Architecture & Design to make interior design revisions to better suit their family's needs. Those changes were made, coordinated with the civil, structural and landscape consultants, and submitted to the Solana Beach Building Department for grading and building permits. Those permits, GRD24-0004 and B24-0452, have been approved and are ready for issuance. One of the required issuance items is a Letter of Discontinuance from SDG&E stating that all existing utilities have been disconnected and the existing building is safe for demolition. After engaging with SDG&E, they informed us that the gas lateral line that serves the 506 Pacific Ave property also serves the neighbor property to the south at 504 Pacific Ave. We have now been waiting several months for SDG&E to resolve the joint gas lateral issue and are no closer to getting the required letter. This delay is not within our control and will extend beyond the current permit deadline.

We are asking for a time extension to allow for SDG&E to resolve the joint gas lateral issue and provide us with the Letter of Discontinuance needed to get our permits issued.

**Best regards,**

A handwritten signature in black ink, appearing to read "Mark C. Morris".

**Mark C. Morris, AIA, NCARB  
Oasis Architecture & Design Inc.  
1015 Turquoise Street, Suite 2  
San Diego, CA 92109  
mark@oasis-ad.com**

1015 Turquoise Street, Suite 2  
San Diego, CA 92109

[www.OASIS-AD.com](http://www.OASIS-AD.com)

858.273.5632

**ATTACHMENT 2**



## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Community Development Department - Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing: Request for a Time Extension for an Approved Development Review Permit and Structure Development Permit Waiver for the Construction of a Remodel and Addition to a Single-Family Residence at 508 South Nardo Avenue. Case No: TE25-003; Applicant: Brian and Larna Hartnack, APN: 298-121-68, Resolution 2025-081**

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### **BACKGROUND:**

Brian and Larna Hartnack (hereinafter referred to as “Applicant”) are requesting a 12-month time extension to the Development Review Permit (DRP) and Structure Development Permit (SDP) Waiver originally approved on August 23, 2023, with the adoption of Resolution 2023-104, to convert a 555 square-foot attached garage to living area, construct a 784 square-foot living area addition and a 668 square-foot two-car attached garage addition to a single-story single-family residence, and perform associated site improvements at 508 South Nardo Avenue.

The project is set to expire 24 months from the original approval date and on August 23, 2025. The Applicant applied for the extension request on May 19, 2025. The permit expiration is considered to be on hold until the City Council is able to make a determination on the project.

This item is before the City Council to consider adoption of Resolution 2025-081 (Attachment 1) approving the Applicant’s request to formally extend the project approval as provided under the Solana Beach Municipal Code (SBMC) 17.72.110 for 12 months starting from the current expiration date of August 23, 2025.

COUNCIL ACTION:

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## **DISCUSSION:**

On August 23, 2023, the City Council adopted Resolution 2023-104 conditionally approving a DRP and SDP Waiver for the construction of a remodel and addition to a single-family residence. The Staff Report and meeting video can be reviewed under Item B.1 of the August 23, 2023 City Council Meeting: <https://www.cityofsolanabeach.org/en/city-council-meetings>

Current access for the existing property is provided by a private access easement off South Nardo Avenue that does not meet the minimum standards for emergency access. Instead of upgrading the existing non-standard access, the Applicant chose to wait until the construction of Bell Ranch Road is completed by the developer of the Ocean Ranch Subdivision and then construct driveway access to the subject property along Bell Ranch Road. Bell Ranch Road has been paved but is not open to public traffic at this time. The Applicant continues to utilize the private access easement to access the property. The houses on Lots 1 through 4 of the Ocean Ranch Subdivision must be substantially complete before the subject property is able to connect to Bell Ranch Road for access and to proceed with construction of the approved remodel and addition. It is anticipated that the 12-month extension will be sufficient time for the Bell Ranch Road improvements to be completed to the extent necessary, and for Lots 1 through 4 of Ocean Ranch to be substantially complete, for the Applicant to proceed with construction of the subject project.

The Applicant's request for the Time Extension is included in Attachment 2.

The Solana Beach Municipal Code (SBMC) Section 17.72.110 indicates that:

*One or more (but not more than a total of four) extensions may be granted not exceeding a cumulative total of 24 months after the date the original approval of the project expires. The duration of an extension shall be in an increment of 30 days. The minimum duration of an extension shall be six months. The maximum duration of an extension shall not be more than 12 months. The duration of an extension shall be determined at the discretion of the issuing authority.*

SBMC Section 17.72.110 establishes that City Council action is required to review and act on a request for an extension of a CUP mod. when City Council was the original approving body. The City Council may extend the approval of a project if they are able to make the seven (7) required findings, which are as follows:

- 1. The applicant has presented facts which establish that the applicant has timely and diligently pursued issuance of a building permit during the 24-month period following the issuance of the original approval for the project (or the different period set forth as a condition of approval of the project) or during the then current extension period;*

2. *Circumstances beyond the applicant's control have intervened and prevented the applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24-month period (or the expiration date established as a condition of the approval) or during the then current extension period;*
3. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the extension;*
4. *There is a substantial factual basis to determine that the applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*
5. *The duration of the extension requested by the applicant is no longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*
6. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*
7. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The draft Resolution of Approval has been prepared by Staff for the consideration of the City Council. The draft Resolution is based upon the information provided in this report. The City Council may direct Staff to modify Resolution 2025-081 to reflect the findings and conditions it deems appropriate as a part of the public hearing process. In the alternative, if the City Council determines the request is to be denied, Staff will prepare a Resolution of Denial for an action to be taken at a subsequent City Council meeting.

Notices of a Public Hearing for this project were mailed to property owners and occupants within 300 feet of the project site more than 10 days prior to the City Council date. As of the date of preparation of this Staff Report, no phone calls, letters, or emails have been received by Staff in regard to the extension request.

**CEQA COMPLIANCE STATEMENT:**

Time Extensions are not a project as defined by the California Environmental Quality Act (CEQA). The City Council found the original project exempt pursuant to the 2022 State of California CEQA Guidelines Section 15301.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the requested time extension;
- Deny the request for a time extension; or
- Provide direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive Public testimony, Close the Public Hearing.
2. If the City Council can make the required findings, adopt Resolution 2025-081, approving the request for a Time Extension for approvals and entitlements in Case No. DRP22-024 and SDP22-018 and setting the expiration date as August 24, 2026.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-081
2. Applicant's Extension Request

## **RESOLUTION 2025-081**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A TIME EXTENSION TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT WAIVER FOR THE CONSTRUCTION OF A REMODEL AND ADDITION TO A SINGLE-FAMILY RESIDENCE AT 508 SOUTH NARDO AVENUE IN SOLANA BEACH**

**APPLICANT: BRIAN AND LARNA HARTNACK**  
**CASE NO.: TE25-003 TIME EXTENSION**  
**APN: 298-121-68**

**WHEREAS**, Brian and Larna Hartnack (hereinafter referred to as “Applicant”) have submitted a request for a Time Extension of the approved Development Review Permit (DRP) and Structure Development Permit (SDP) Waiver pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted Resolution 2023-104 approving the project at the regularly scheduled August 23, 2023, City Council meeting; and

**WHEREAS**, the discretionary approval is set to expire on August 23, 2025; and

**WHEREAS**, the Applicant submitted a request for a 12-month extension of the project approval pursuant to the provisions of SBMC 17.72.110 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, on July 2, 2025, the City Council held a duly noticed Public Hearing to consider the time extension request; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a Time Extension; and

**WHEREAS**, the City Council of the City of Solana Beach found that a Time Extension Request is not a project according to the State California Environmental Quality Act (CEQA) Guidelines; however, the City Council found the original project exempt pursuant to the 2022 State of California CEQA Guidelines Section 15301 on August 23, 2023; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the request for a 12-month Time Extension for a Development Review Permit (DRP) and Structure Development Permit (SDP) Waiver originally approved on August 23, 2023, with the adoption of Resolution 2023-104, to convert a 555 square-foot attached garage to living area, construct a 784 square-foot living area addition and a 668 square-foot two-car attached garage addition to a single-story single-family residence, and perform associated site improvements at 508 South Nardo Avenue is conditionally approved based on the following:

3. FINDINGS:

- A. In accordance with Section 17.72.110 (Lapse of Approval and Extensions) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The Applicant has presented facts which establish that the Applicant has timely and diligently pursued issuance of a building permit during the 24-month period following the issuance of the original approval for the project;*

The Applicant has presented facts regarding the progress of the adjacent Ocean Ranch Subdivision development and completion of Bell Ranch Road, which are necessary in order for construction to commence on the subject project. Bell Ranch Road has been based paved but is not open to public traffic at this time. The Applicant continues to utilize the private access easement to access the property. The houses on Lots 1 through 4 of the Ocean Ranch Subdivision must be substantially complete before the subject property is able to connect to Bell Ranch Road for access and proceed with construction of the approved remodel and addition.

- II. *Circumstances beyond the Applicant's control have intervened and prevented the Applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24-month period following the issuance of the original approval for the project;*

The Applicant is limited in proceeding the with subject project, as designed, until Bell Ranch Road construction is completed by the Ocean Ranch Subdivision.

- III. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the time extension;*

The circumstances with the adjacent development sets forth a reasonable a substantial factual basis for issuance of the time extension.

- IV. *There is a substantial factual basis to determine that the Applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*

The Applicant will be able to obtain necessary permits and commence construction once Bell Ranch Road improvements are completed by the Ocean Ranch Subdivision, which is currently under construction and the work is ensured by a security deposit.

- V. *The duration of the time extension requested by the Applicant is not longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*

The 12-month extension is sufficient time for the Bell Ranch Road improvements to be completed to the extent necessary for the Applicant to proceed with construction of the subject project.

- VI. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*

There have not been any changes to the applicable regulations that would impact the consistency of the approval of the subject project.

- VII. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The extension will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

1. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the conditions of the original project approval of Resolution 2023-104.



2. **ENFORCEMENT:** Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.
3. **EXPIRATION:** The Conditional Use Permit for the project will expire 12 months from the date of expiration of the original project approval, unless the Applicant has obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion.
4. **INDEMNIFICATION AGREEMENT:** The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

**NOTICE TO APPLICANT:** Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this Resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this Resolution you must comply with the provisions of Government Code Section 66020. Generally the Resolution is effective upon expiration of the tenth day following the date of adoption of this Resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 2<sup>nd</sup> day of July, 2025, by the following vote:

AYES:	Councilmembers –
NOES:	Councilmembers –

ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

---

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

---

JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk

Date: June 24, 2025

To: Honorable City Council Members  
City of Solana Beach  
635 South Highway 101  
Solana Beach, CA 92075



City of Solana Beach Planning Department

**RECEIVED**

06/25/2025 kbenson

Project: 508 South Nardo – Time Extension Request – (TE25-003)

Dear City Council Members,

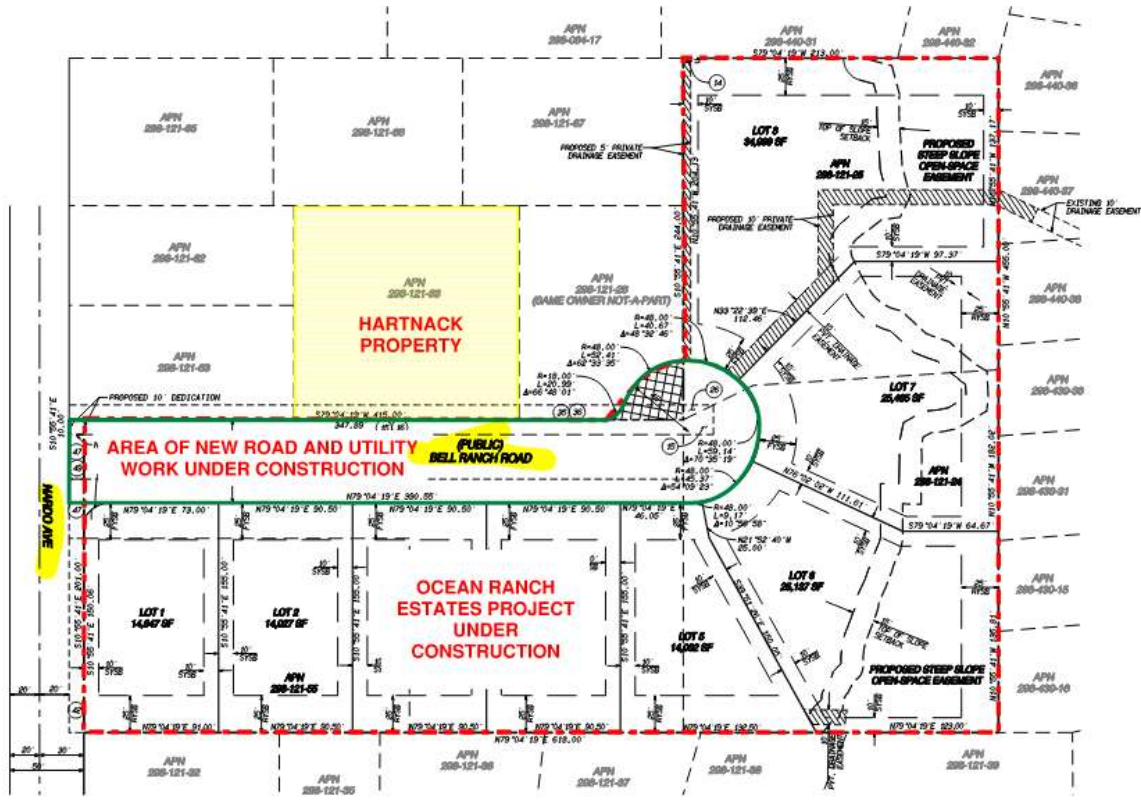
The applicant is requesting a 12-month extension of the original approval of DRP22-020/SPD22-018 resolution 2023-104 which was previously reviewed on Wednesday August 23, 2023.

Their project site is directly across from the Ocean Ranch Estates development, which consists of eight new lots and residences. This development also includes Bell Ranch Road, a new public street which fronts on 508 S. Nardo the Applicant's home and project address. The new street work includes trenching, utility coordination, grading, road base, landscape, finish curb and gutter and created access issues to the existing residence.

Our project will be tying into the new sewer and water lines on Bell Ranch Road.

The construction of the project as well as the road is currently ongoing and directly affects the Applicant's ability to proceed with construction in an efficient and effective manner at this time.

Please see the diagram below noting the project for your reference.



We are requesting the extension so that the Applicant may commence the construction work at a later date.

We thank you for your consideration in this matter. Please reach out to myself at [andy@T7architecture.com](mailto:andy@T7architecture.com) if you have any questions or require any clarifications.

Thank you,

Andrew Crocker, AIA  
C-29487

Cc: Larna and Brian Hartnack, Applicants  
Katie Benson, Senior Planner, City of Solana Beach



## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Community Development Department - Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing – Request for a DRP Modification to the Approved Replacement Single-Family Residence at 446 Seabright Lane to Add a Privacy Hedge and a Tree in the Rear Yard (Case #: MOD25-006 Applicant: Darren and Rachel Levitt; APN: 263-061-14; Resolution No. 2025-082)**

---

### **BACKGROUND:**

On October 25, 2023, the City Council (Council) adopted Resolution 2023-117 approving a Development Review Permit (DRP, DRP23-003) to demolish a single-family residence, construct a replacement single-family residence with a partially subterranean garage, and perform associated site improvements including grading, hardscaping, and landscaping at 446 Seabright Lane. Darren and Rachel Levitt (herein referred to as “Applicant”) are requesting City Council approval of a Modification to the DRP to modify the approved landscape plan by adding a privacy hedge along the rear (east) property line and an anchor tree in the rear yard.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant’s request for a Modification to the original project approval as contained in Resolution 2025-082 (Attachment 1). The modified landscape plan is included in Attachment 2.

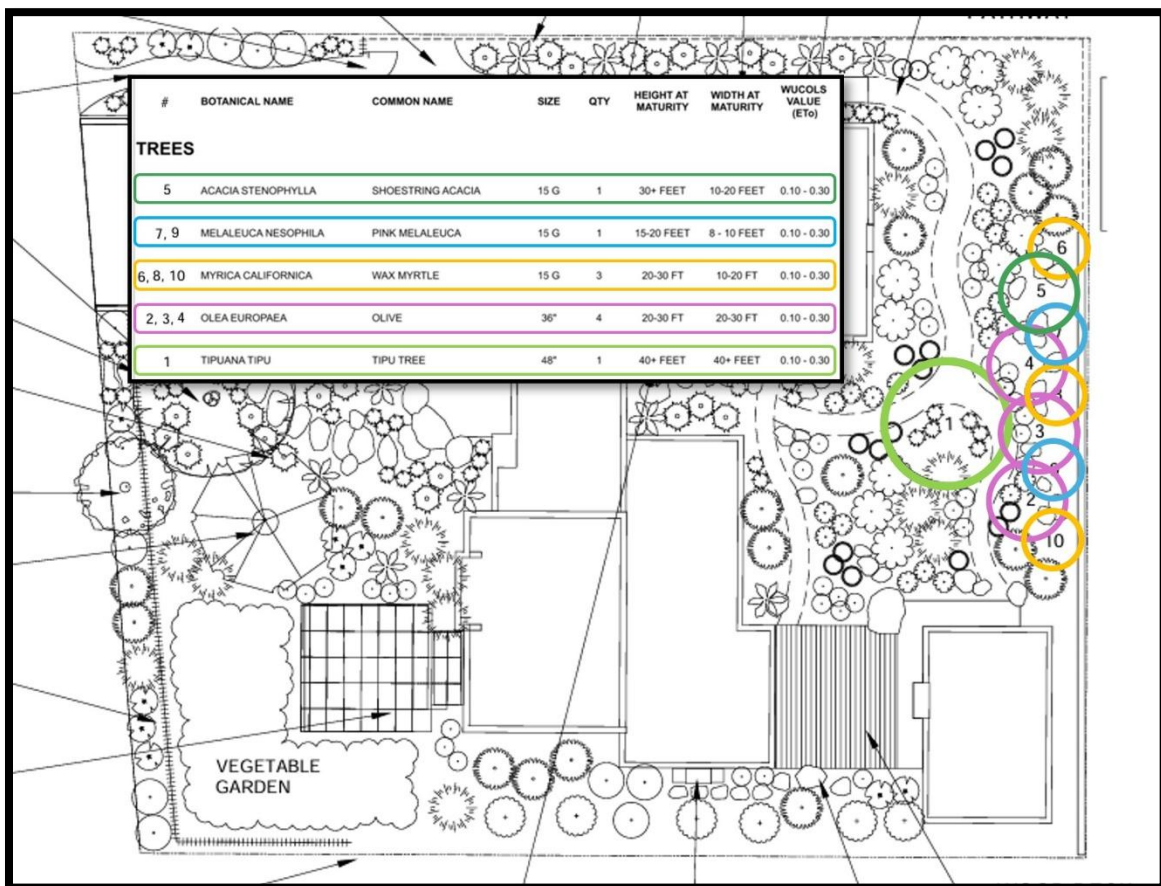
### **DISCUSSION:**

The Council adopted Resolution 2023-117 on October 25, 2023, approving the original project, which included a replacement single-family residence. The Staff Report and meeting video can be reviewed under Item B.3 of the July 13, 2022 City Council Meeting: <https://www.cityofsolanabeach.org/en/city-council-meetings>. The Council also adopted

CITY COUNCIL ACTION:
_____
_____

Resolution 2024-075 on June 26, 2024, under Item B.3 approving the Applicant's first request to modify the DRP by adding 11 square feet of floor area and additional trellises.

While under construction with the approved and modified project, the adjacent neighbor to the east removed vegetation along the shared property line that previously provided privacy between the two properties. The Applicant is requesting Council approval to modify the landscape plan to plant a variety of trees along the rear property line and a new tree in the rear yard to replace privacy previously provided by vegetation located along the rear property line. The Applicant's request to modify the landscape plan is included in Attachment 3. The neighbor located immediately to the east (Limmer) also provided a letter in support of the updates to the planting plan and referenced a private tree maintenance agreement between the two property owners, which is included in Attachment 4. Below is a markup version of the revised landscape planting plan that highlights the proposed trees.



Development Review Permit Compliance (SBMC Section 17.68.40):

Pursuant to SBMC Section 17.68.040(L), an amendment (modification) to an existing DRP may be requested and shall follow the same procedures as the DRP. The Council may approve, or conditionally approve, a Modification to a DRP only if all of the findings listed below can be made. Resolution 2022-074 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

The following is a list of the development review criteria topics set forth in SBMC Section 17.68.040(F):

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The following is a discussion of the applicable development review criteria (3-Landscaping) as it relates to the modification proposed.

#### Landscaping

The modified project could be found to be compatible with the surrounding landscaping, which includes perimeter privacy landscaping between properties. The criteria specifies that trees and other large plantings shall not obstruct significant views when installed or at maturity. The Applicant has negotiated with the neighbor to the east and agreed upon a private tree maintenance agreement to maintain the proposed trees at a height that balances the shared desire for privacy and the preservation of scenic views.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-082 for Council's consideration based upon the information in this report. The Applicant shall provide for and adhere to the conditions of the original project approval in Resolution 2023-117. The Applicant is also required to provide for and adhere to the conditions for the proposed Modification that have been incorporated into the attached Resolution 2025-082. The Applicant has obtained authorization for the project from the California Coastal Commission.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

**PUBLIC HEARING NOTICE:**

Notice of the City Council Public Hearing was published in the San Diego Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site, more than 10 days prior to the planned public hearing date of July 2, 2025. Staff has not received any correspondence from neighbors regarding the proposed modification other than support from the neighbors located immediately to the east, who have a private maintenance agreement with the Applicant (Attachment 4).

**CEQA COMPLIANCE:**

Categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the proposed modification by adopting Resolution 2025-082;
- Approve modification by adopting Resolution 2025-082 with changes as deemed appropriate by City Council; or,
- Deny the request to amend the project and direct Staff to bring back a Resolution of Denial to a later City Council meeting date.

**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings to approve a Modification to the approved DRP. Therefore, Staff recommends that the City Council:


1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-082 conditionally approving a Modification to the approved DRP,



to modify the landscape plan for a replacement single-family residence at 446 Seabright Lane, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-082 to Approve the DRP Mod
2. Revised Project Plans
3. Letter from Applicant
4. Letter from Neighbor (Limmer)

## **RESOLUTION 2025-082**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A MODIFICATION TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT TO MODIFY THE LANDSCAPE PLAN AT 446 SEABRIGHT LANE, SOLANA BEACH.**

**APPLICANT: DARREN AND RACHEL LEVITT  
CASE NO.: MOD25-006 (DRP23-003)  
APN: 263-061-14**

**WHEREAS**, Darren and Rachel Levitt (hereinafter referred to as “Applicant”), have submitted a request for modification to the original project approval of a Development Review Permit (DRP) for construction of a replacement single-family residence located at 446 Seabright Lane (Case No. DRP23-003 and Resolution No. 2023-117), pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted Resolution 2024-075 approving a Modification to the DRP to allow a three square-foot net increase in floor area and expansions of trellises; and

**WHEREAS**, the Applicant requested the approval of a second Modification to the DRP to modify the landscape plan to include a variety of trees along the rear property line and a tree in the rear yard; and

**WHEREAS**, on July 2, 2025, the City Council held a duly noticed Public Hearing to consider the request for modifications; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a modification; and

**WHEREAS**, the City Council of the City of Solana Beach found that the project is exempt from the CEQA Guidelines pursuant to Section 15301 of the State CEQA Guidelines, which exempts minor modifications to existing facilities; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request to modify the DRP is conditionally approved based on the following Findings, and all terms and conditions of Resolutions 2023-117 2024-075 are in effect along with the following conditions applicable to the proposed modification:

### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LMR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations. The applicable regulations related to the Modification is analyzed below.

#### Landscape Water Efficiency:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided an updated landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to update the construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved planting plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*
  - a. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be*

*used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The revised landscape plan includes varied trees located along the rear property line to reestablish privacy between the two properties and an additional tree in the rear yard area. The modified project is found to be compatible with the surrounding landscaping, which includes perimeter privacy landscaping between properties. The criteria specifies that trees and other large plantings shall not obstruct significant views when installed or at maturity. The Applicant has negotiated with the neighbor to the east and agreed upon a private tree maintenance agreement to maintain the proposed trees at a height that balances the shared desire for privacy and the preservation of scenic views.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits were processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant has obtained approval from the California Coastal Commission.

## V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

### A. Community Development Department Conditions:

- I. The Applicant shall comply with all conditions of approval included in Resolutions 2023-117 and 2024-075.
- II. The detailed landscape construction plan shall be in substantial

conformance with the revised plan presented to the City Council on July 2, 2025, and located in the project file with a submittal date of May 14, 2025, which identify the modifications subject to the DRP Modification as well as the plantings originally approved by Resolution 2023-117.

#### IV. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### V. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

#### VI. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications,

reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 2<sup>nd</sup> day of July, 2025, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



IRRIGATION LEGEND

- M

POINT OF CONNECTION SHALL BE DOWNSTREAM OF 3/4" POTABLE (DOMESTIC) WATER METER WITH 1" SERVICE LINE
- HUNTER ACZ-075-25 DRIP ZONE ASSEMBLY MEDIUM FLOW CONTROL ZONE KIT WITH 3/4 IN. ASVF ANTI-SIPHON VALVE & 3/4 IN. PR RBY FILTER AND REGULATOR
- NETAFIM TLCV6-12 SUBSURFACE DRIP TUBING WITH 0.60 GPH, PRESSURE COMPENSATING EMITTERS INTERNALLY INSTALLED IN THE DRIP TUBING AT 12" O.C. SPACING. THE PERIMETER ROW OF DRIP TUBING SHALL BE INSTALLED A MAXIMUM OF 6" FROM THE EDGE OF ANY HARDSCAPE OR TURF EDGE. INSTALL 9" PVC COATED GALVANIZED TUBING STAKES A MAXIMUM OF FIVE (5) FEET ON CENTER ALONG THE LENGTH OF THE TUBING. SEE DRIP DETAIL THIS SHEET.
- △

HUNTER PROS-06-CV 6" POP-UP BUBBLER HEAD WITH A MSBN-50Q PRESSURE COMPENSATING STREAM BUBBLER NOZZLE. EACH SYMBOL REPRESENTS TWO (2) BUBBLERS PER TREE. INSTALL THE BUBBLER HEADS 6" FROM THE EDGE OF THE ROOT BALL OF THE TREE ON OPPOSITE SIDES. ADJUST BUBBLER STREAMS TO WATER THE ROOT BALL WITHOUT WATERING TREE TRUNK OR FLARE.
- NO SYMBOL

CONNECTION BETWEEN DRIP TUBING AND PVC SUPPLY AND DISCHARGE HEADERS SHALL BE MADE USING NETAFIM DRIP LINE BARBED FITTINGS, SCH. 40 PVC THREADED FITTINGS, SCH. 80 NIPPLES AND FLEXIBLE NIPPLES.
- NO SYMBOL

NETAFIM 17mm BARBED FITTINGS FOR ALL CONNECTIONS BETWEEN DRIP TUBING (TUBING-TO-TUBING ONLY)
- NO SYMBOL

PVC SUPPLY AND DISCHARGE HEADERS SHALL BE PVC LATERAL LINE PIPE (AS SHOWN BELOW), 3/4" SIZE WITH SCH. 40 PVC FITTINGS.
- NO SYMBOL

NETFIM INLINE SHUTOFF FOR USE AS A DRIP TUBING FLUSH VALVE. ONE PER VALVE. INSTALL INSIDE A 6" ROUND VALVE BOX.
- NO SYMBOL

ARV050 AIR/VACUUM RELIEF VALVE INSTALLED WITH A XFD-TFA-075 BARB X BARB X 3/4" FIPT TEE FITTING AND A AND A 3/4" X 1/2" SCH. 40 PVC THREADED REDUCER BUSHING. INSTALL INSIDE A 7" ROUND VALVE BOX. ONE PER ZONE
- PVC PIPE 3/4" SCH. 40, SOLVENT WELD WITH SCH. 40 PVC FITTINGS, AS LATERAL LINES INSTALLED 12" BELOW FINISHED GRADE
- PVC PIPE SCH. 40 AS SLEEVING, 2 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. INSTALL ALL PIPE AND WIRE UNDER PAVING, HARDSCAPE, ETC. (OR AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE) INSIDE SLEEVES. SLEEVES UNDER PEDESTRIAN PAVING SHALL BE INSTALLED 24" BELOW FINISHED GRADE. SLEEVES UNDER VEHICULAR PAVING SHALL BE INSTALLED 36" BELOW FINISHED GRADE.
- NO SYMBOL

ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GRAY IN COLOR, AND SIZED TO MATCH THE THR MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WHITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE, DARK GRAY IN COLOR, WITH MOLDED THREADS.
- NO SYMBOL

ALL SOLVENT WELD CONNECTIONS FOR BOTH MAINLINE AND LATERAL LINE SHALL BE MADE USING THE TWO-STEP PROCESS OF PRIMER AND SOLVENT CEMENT. PRIMER SHALL BE LOW VOC "PURPLE PRIMER". MAINLINE SOLVENT CEMENT SHALL BE LOW VOC, "GRAY-HEAVY BODY" CEMENT. LATERAL LINE SOLVENT CEMENT SHALL BE LOW VOC, "RED HOT BLUE GLUE" CEMENT. USE DAUBERS SIZED AT LEAST ONE-HALF THE SIZE OF THE LARGEST PIPE BEING JOINED. ALL SOLVENT CEMENTED JOINTS SHALL BE MADE PER THE PIPE AND FITTING MANUFACTURER'S RECOMMENDATIONS.
- C

HUNTER X2 14 STATION OUTDOOR CONTROLLER (WALL MOUNTED) WITH WAND MODULE AND MINI-CLIK RAIN SENSOR FOR MAXIMUM WATER SAVINGS.
- NO SYMBOL

120 VOLT ELECTRICAL POWER FOR CONTROLLER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD
- NO SYMBOL

PAIGE ELECTRIC 18-8 DIRECT BURIAL MULTI-STRAND IRRIGATION WIRE - 250FT 18 GAUGE 8 CONDUCTOR (SOLID CORE WIRE) OR EQUAL
- NO SYMBOL

DBR/Y-6 DIRECT BURIAL (I.L. APPROVED) WATER-PROOF WIRE CONNECTORS (OR EQUAL) FOR USE ON ALL WIRE SPLICES AND CONNECTIONS

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Kevin M. Krenek Date

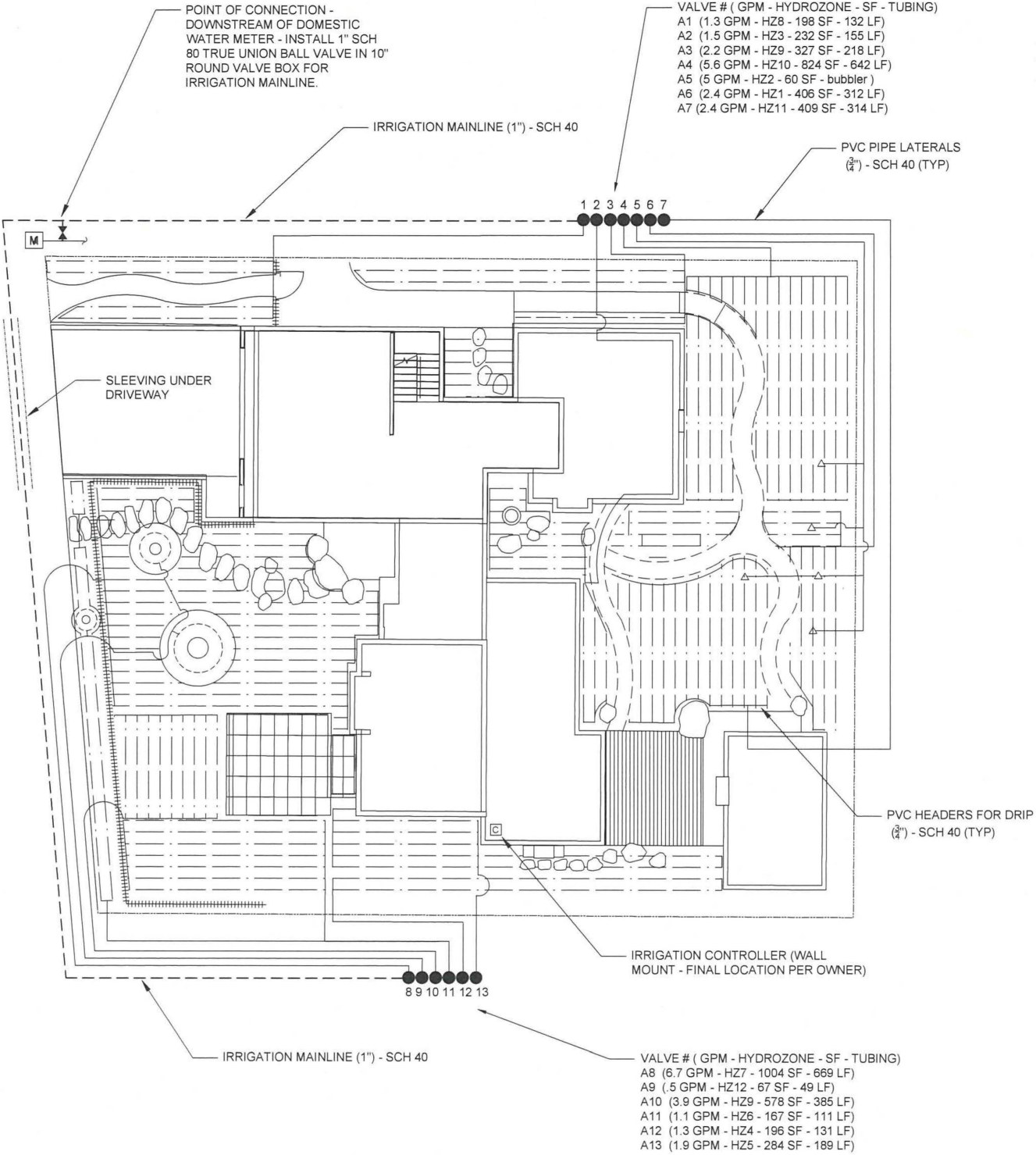
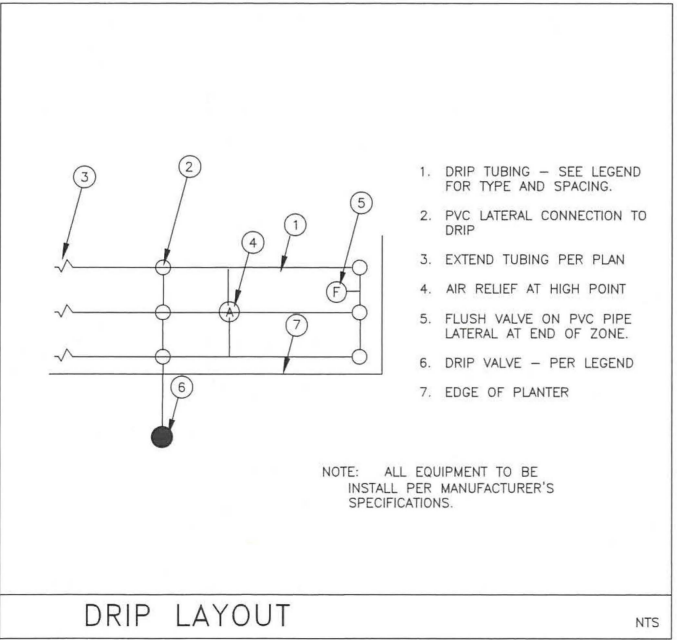
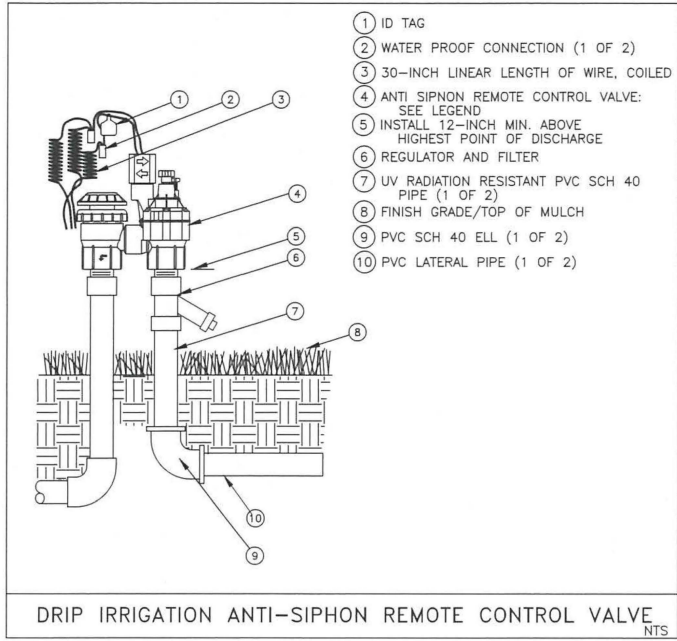
AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ **ATTACHMENT 2**

IRRIGATION PLAN

CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
GRADING PLANS FOR:		
446 SEABRIGHT LANE		SBGR-XXX
LEVITT RESIDENCE		



IRRIGATION PLAN

1" = 10' - 0"



NOT FOR CONSTRUCTION

	VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840	LANDSCAPE ARCHITECT VL By: KEVIN M. KRENEK License No. 4179	CITY APPROVED CHANGES	APP'D/DATE	RECOMMENDED FOR APPROVAL By: _____ Date: _____ By: _____ Date: _____	APPROVED FOR CONSTRUCTION By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16	BENCH MARK DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469' DATUM: M.S.L.(N.G.V.D. 1929)	CITY OF SOLANA BEACH ENGINEERING DEPARTMENT DRAWING NO. SBGR-XXX
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LANDSCAPE IRRIGATION WATER ANALYSIS

PROJECT NAME: 446 SEABRIGHT  
PROJECT ADDRESS: SOLANA BEACH, CA

POINT OF CONNECTION NUMBER: 1  
CONTROLLER NUMBER OR LETTER: A

REFERENCE EVAPOTRANSPIRATION RATE (Eto):  
CONVERSION FACTOR (CF)  
ADJUSTED CONVERSION FACTOR (Eto x CF)  
TOTAL OF HYDROZONE AREAS (HA):  
TOTAL OF SPECIAL LANDSCAPE AREAS (SLA):  
TOTAL LANDSCAPE AREAS (LA):  
TOTAL ADJUSTED IE + SLA

West of I-5  
41  
0.62  
25.42  
4,161  
578  
4,739  
2,139.85

East of I-5  
47  
29.14  
SQUARE FEET  
SQUARE FEET  
SQUARE FEET  
0  
0

INCHES / YEAR

ESTIMATED TOTAL WATER USE (ETWU)  
TOTAL ETWU  
54,395  
GALLONS / YEAR

MAXIMUM APPLIED WATER ALLOWANCE:  
TOTAL MAWA = (Eto) x (0.62) x [(0.55 x LA) + (0.45 x SLA)]  
64,787  
GALLONS / YEAR

ESTIMATED APPLIED WATER USED:  
TOTAL EAWU = (Eto) x (0.62) x [((PF X HA)/IE +SLA)] =  
54,395  
GALLONS / YEAR

THIS PROJECT USES LESS WATER THAN THE MAXIMUM APPLIED WATER ALLOWANCE

HYDROZONE AREA (HA) CALCULATIONS FOR HYDROZONES:

HYDROZONE DESCRIPTION	HYDROZONE AREA (HA)	PLANT FACTOR (PF)	ADJUSTED HA (PF x HA)	IRRIGATION EFFICIENCY (IE)	ADJUSTED IE ((PF x HA) / (IE))
HYDROZONE #1	406	0.3	121.8	0.81	150.37
HYDROZONE #2	60	0.3	18.0	0.81	22.22
HYDROZONE #3	232	0.3	69.6	0.81	85.93
HYDROZONE #4	196	0.3	58.8	0.81	72.59
HYDROZONE #5	284	0.3	85.2	0.81	105.19
HYDROZONE #6	167	0.3	50.1	0.81	61.85
HYDROZONE #7	1,004	0.3	301.2	0.81	371.85
HYDROZONE #8	198	0.3	59.4	0.81	73.33
HYDROZONE #9	327	0.3	98.1	0.81	121.11
HYDROZONE #10	824	0.3	247.2	0.81	305.19
HYDROZONE #11	407	0.3	122.1	0.81	150.74
HYDROZONE #12	56	0.6	33.6	0.81	41.48
TOTAL OF ALL HYDROZONE AREAS (HA)	4,161		1,265		1,562

CALCULATED AVERAGE IRRIGATION EFFICIENCY OF ALL HYDROZONE AREAS:

SPECIAL LANDSCAPE AREA DESCRIPTION	AREA (SFT)	PLANT FACTOR (PF)	ADJUSTED HA (PF x HA)	IRRIGATION EFFICIENCY (IE)	IRRIGATION EFFICIENCY (IE)
SLA #1:	578				
TOTAL SPECIAL LANDSCAPE AREAS (SLA) ON PROJE	578				

PRESSURE ANALYSIS

FLOW AVAILABLE

Water Meter Size: 3/4"

Flow Available: 25.00 gpm

PRESSURE AVAILABLE

Static Pressure at POC: 85.00 PSI

Elevation Change: 5.00 ft

Service Line Size: 2"

Length of Service Line: 20 ft

Pressure Available: 82.00 PSI

DESIGN ANALYSIS

Maximum Multi-valve Flow: 15.00 gpm

Flow Available at POC: 25.00 gpm

Residual Flow Available: 10.00 gpm

Critical Station: 8

Design Pressure: 40.00 psi

Friction Loss: 0.85 psi

Fittings Loss: 0.08 psi

Elveation Loss: 0.00 psi

Loss through Valve: 2.45 psi

Pressure Req. at Critical Station: 43.38 psi

Loss for Fittings: 1.46 psi

Loss for Main Line: 4.59 psi

Loss for POC to Valve Elevation: 3.66 psi

Loss for Water Meter: 4.90 psi

Critical Station Pressure at POC: 57.99 psi

Pressure Available: 82.00 psi

Residual Pressure Available: 24.01 psi

IRRIGATION NOTES

- 1 ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- 2 THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- 3 THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- 4 IRRIGATION PLAN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- 5 THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- 6 ALL EQUIPMENT SHALL BE INSTALLED PER THE MAUNFACTURER'S SPECIFICATIONS AND DETAILS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- 7 ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- 8 ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVEING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVEING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- 9 THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- 10 CONTRACTOR SHALL INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.

IRRIGATION CONTROLLER RUN TIMES

Controller	JAN FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC												Total / Avg.				
A	ETo / Month (inches):			1.64	1.94	2.94	4.14	4.64	4.84	5.24	5.14	3.84	3.14	1.94	1.54	41.00	
	Eto / Day (inches):			0.05	0.06	0.10	0.14	0.15	0.16	0.17	0.17	0.13	0.10	0.06	0.05	0.11	
	Irrigation Days / Weeks:			7	7	7	7	7	7	7	7	7	7	7	7		
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC		
Trees / Shrubs	0.40	0.96	0.81	1.7	2.0	3.0	4.3	4.8	5.0	5.4	5.3	4.0	3.2	2.0	1.6	Min./Day/Zone	
Drip Tubing	Number of Zones:			13	22	26	39	55	62	65	70	69	51	42	26	21	Total Min./Day
Trees	1.00	1.14	0.81	3.6	4.2	6.4	9.0	10.1	10.5	11.4	11.1	8.3	6.8	4.2	3.3	Min./Day/Zone	
Bubblers	Number of Zones:			1	4	4	6	9	10	10	11	11	8	7	4	3	Total Min./Day
Total Controller Run Time in Hours:				0.43	0.50	0.76	1.07	1.20	1.25	1.36	1.33	1.00	0.81	0.50	0.40	Total Hrs./Day	
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC		
Note: These schedules are intended only for compliance with local municipal codes and the water efficient landscape ordinance. These calculations are used to ensure that all irrigation may be completed during the watering window allowed. Contractor shall develop and provide a controller schedule inside the controller cabinet prior to final turnover of the project to the owner. Contractor shall take into account the microclimate conditions of each hydrozone when finalizing watering schedule.																	

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_  
R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

IRRIGATION CALCS AND NOTES

LANDSCAPE ARCHITECT		CITY APPROVED CHANGES		APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840	VL Drawn By	By: KEVIN M. KRENEK License NO. 4179	Date: _____			By: _____ Date: _____	By: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16	DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469' DATUM: M.S.L.(N.G.V.D. 1929)	GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE		SBGR-XXX Sheet 2 of 4

NOT FOR CONSTRUCTION



- 1 ROOTBALL

2 CROWN-1" ABOVE FINISH GRADE

3 FINISH GRADE

4 FINISH GRADE AT SLOPE

5 2 X ROOTBALL DIA. AND DEPTH

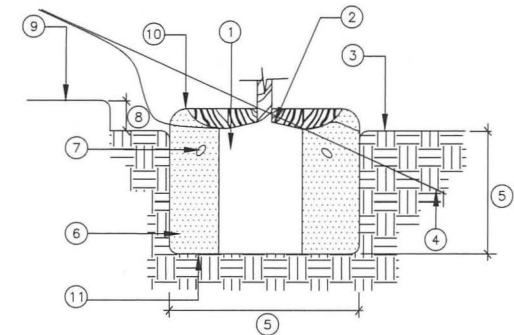
6 BACKFILL MIX (SEE NOTES)
- 7 PLANT TABLETS (SEE NOTES)

8 SEE PAVING DETAILS

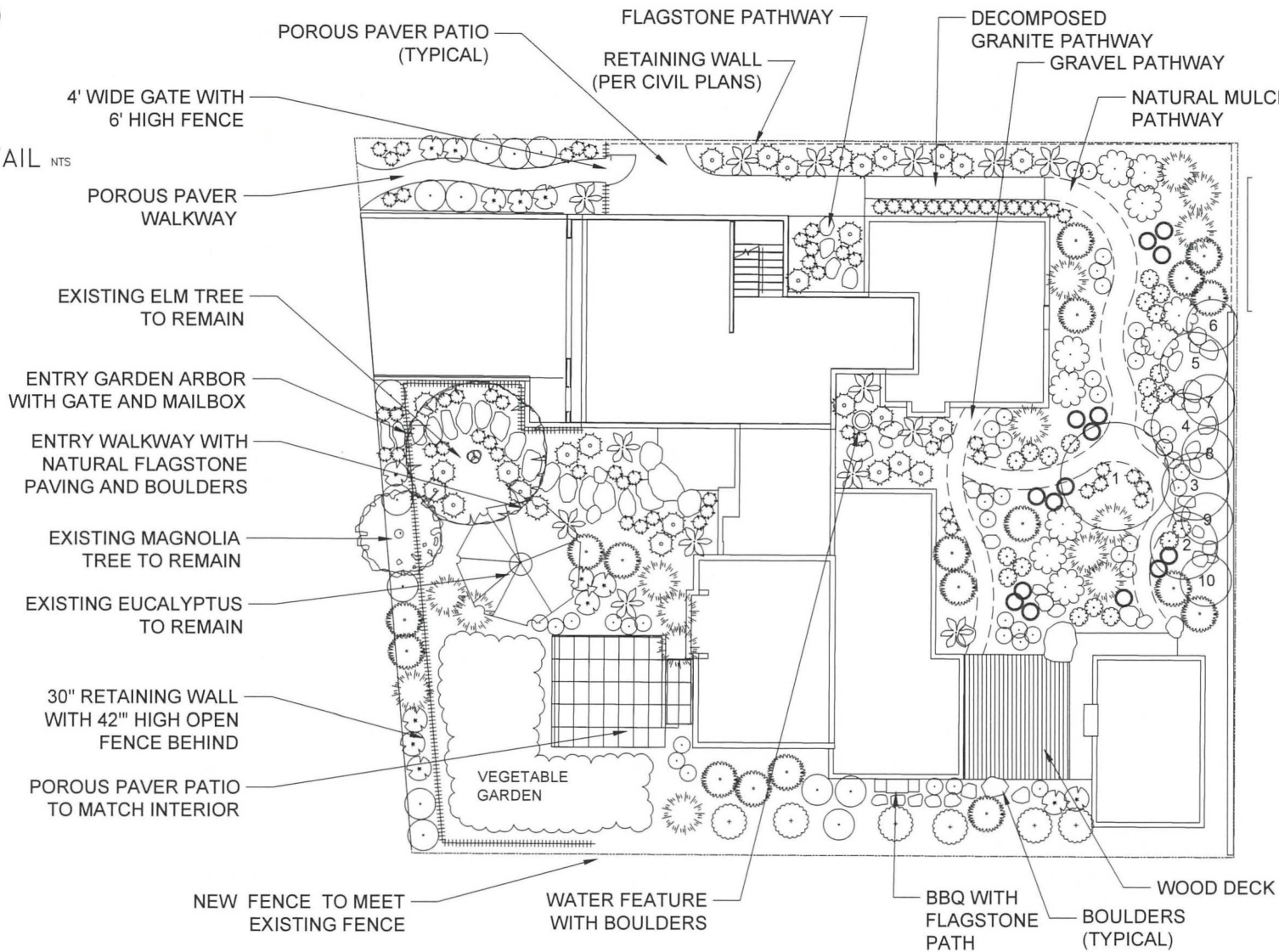
9 TOP OF PAVING

10 4" HIGH WATERING BASIN (IF REQ'D)

11 UNDISTURBED NATIVE SOIL



A) TREE/SHRUB PLANTING DETAIL NTS



PLANTING PLAN

1" = 10' - 0"



PLANT LEGEND

#	BOTANICAL NAME	COMMON NAME	SIZE	QTY	HEIGHT AT MATURITY	WIDTH AT MATURITY	WUCOLS VALUE (ETO)
TREES							
5	ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 G	1	30+ FEET	10-20 FEET	0.10 - 0.30
7, 9	MELALEUCA NESOPHILA	PINK MELALEUCA	15 G	1	15-20 FEET	8 - 10 FEET	0.10 - 0.30
6, 8, 10	MYRICA CALIFORNICA	WAX MYRTLE	15 G	3	20-30 FT	10-20 FT	0.10 - 0.30
2, 3, 4	OLEA EUROPAEA	OLIVE	36"	4	20-30 FT	20-30 FT	0.10 - 0.30
1	TIPUANA TIPU	TIPU TREE	48"	1	40+ FEET	40+ FEET	0.10 - 0.30
SHRUBS							
	CAPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	14	6 FT	3 FT	0.3
	CEANOTHUS GRIEUS	CALIFORNIA LILAC	5 GAL	15	4 - 5 FT	4 - 5 FT	0.10 - 0.30
	ENCELIA CALIFORNICA	BUSH SUNFLOWER	5 GAL	10	4 - 5 FT	4 - 5 FT	<0.10
	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL	58	3.9 - 5 FT	5 FT	<0.10
	POLYPODIUM CALIFORNICUM	CA POLYPODY FERN	5 GAL	28	2 FT	4 FT	0.1
	SALVIA CLEVELANDII	SAGE	1 GAL	18	4 FT	4 FT	0.10 - 0.30
	WESTRINGIA FRUITCOSA	WESTRINGIA	5 GAL	7	4 FT	6 - 10 FT	0.3
PERENNIALS							
	ACHILLEAS MILLEFOLIUM	YARROW	1 GAL	15	1 - 3 FT	2 - 3 FT	<0.10
	EPILOBIUM CANUM	CALIFORNIA FUSCHIA	1 GAL	41	24 IN	7 FT	0.10 - 0.30
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	58	1 FT	1 - 3 FT	0.10 - 0.30
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	20	1 - 3 FT	2 - 4 FT	0.10 - 0.30
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL	14	2.5 - 3.5 FT	3 FT	0.10 - 0.30

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Kevin M. Krenek Date

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

PLANTING PLAN

VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840		LANDSCAPE ARCHITECT	CITY APPROVED CHANGES		APP'D DATE	RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK	CITY OF SOLANA BEACH		ENGINEERING DEPARTMENT	DRAWING NO.
VL Drawn By		By: KEVIN M. KRENEK License No. 4179	Date: _____			By: _____ Date: _____		By: _____ Date: _____		DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469' DATUM: M.S.L.(N.G.V.D. 1929)	GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE			SBGR-XXX
														Sheet 3 of 4





Anaheim Office  
Lab No: 23-331-0016  
December 6, 2023

Viridian Landscape  
6520 Nancy Ridge Dr  
San Diego, CA 92121

Attn: Kevin

Project: 446 Seabright - Solana Beach

Attached are the results of the analysis performed on a soil sample that was collected from the above-mentioned project site from a depth of 4 to 8 inches by the client and received by our laboratory on November 27, 2023. This sample was analyzed for nutrient levels, agricultural suitability, and physical characteristics in preparation for a new landscape installation.

Analytical Results and Comments

The reaction of the soil is slightly alkaline at 7.4 on the pH scale with free lime favorably low. These levels are within the range preferred for most plants.

Salinity (ECe) and sodium are safely low. The sodium present is properly balanced by calcium and magnesium with regard to soil structure and water infiltration, as indicated by the safe sodium adsorption ratio (SAR) of 0.5.

In terms of fertility, nitrogen and phosphorus are low. In the minor element category, manganese is low. The remaining nutrients are well supplied.

The soil texture is classified as a 'clay loam' under the USDA standards. The water infiltration rate is estimated at a moderate 0.19 inches per hour, based on the particle size distribution data. The actual infiltration rate may vary depending upon the degree of compaction. This soil has a higher proportion of fine particles than desired in terms of allowing adequate aeration and drainage, with the soil comprised of 60.9% silt and clay. This soil will have a high moisture holding capacity; therefore, the surface and subsoil moisture should be routinely monitored and irrigations scheduled accordingly. Organic content is low at 0.76% dry weight.

4741 East Hunter Ave., Ste. A Anaheim CA 92807  
(714) 282-8777 (714) 282-8575 fax  
www.waypointanalytical.com  
Page 1 of 4



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Viridian Landscape  
December 6, 2023

Recommendations

Surface Soil Preparation for Mass Planting

If feasible, prior to amending the areas where severe compaction exists, the surface soil should be ripped or tilled to a 9-inch depth. Uniformly broadcast and blend the following with existing soil to a 6-inch depth.

Materials	Amount per 1000 sq. ft.
Nitrogen fortified organic amendment (compost* or redwood or fir sawdust)	4 cu. yards
16-20-0 Ammonium Phosphate	9 lbs.
*Rates and fertilizers may have to be adjusted depending on analysis of selected compost.	

Tree and Shrub Planting Guidelines

- Excavate planting pits at least twice the diameter of the rootball.
- The top of the rootball should be at or slightly above final grade.
- To improve soil chemistry, uniformly blend 1 lb. of Iron sulfate per cubic yard of backfill soil. Handle iron sulfate with caution since it will severely stain moist concrete.
- Organic material is not required in the backfill; however, if you wish, the amended surface soil or a soil blend consisting of no more than 20% by volume organic matter can be placed in the upper 12 inches of backfill only. Soil below this depth should not contain any added organic matter because of the threat of plant disease and/or anaerobic soil conditions developing.
- Place slow release fertilizer tablets in the upper 12 inches of backfill at manufacturer's recommended rates. If fertilizer amended soil per the mass planting recommendation is used as a backfill the addition of slow release fertilizer tablets is not necessary.
- Do not cover the original rootball with other soil. Ideally, a temporary soil berm is often constructed around the outer edge of the rootball to help channel water into the rootball and then into surrounding soil until roots are established in the backfill and the rootball is no longer the sole source of water for the plant.
- Ideally, a weed and turf free zone, preferably 2-3 ft. in diameter, should be maintained just beyond the diameter of the planting hole. A 2-4 inch deep layer of coarse mulch can be placed around the tree or shrub; mulch should be kept a minimum 4-6 inches from the trunk.

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Viridian Landscape  
December 6, 2023

Maintenance Fertilization

Uniformly broadcast sulfur coated urea at a rate of 5 lbs. per 1000 sq. ft.. The first application should occur approximately 60-90 days after planting, with repeat applications every 90-120 days or as growth and color dictate. In early fall and spring, substitute a complete fertilizer such as 16-6-8, or equal, for the sulfur coated urea at the rate of 6 lbs. per 1000 sq. ft. to ensure continuing supplies of phosphorus and potassium. Follow each fertilization with a thorough irrigation. When plants have become well established, fertilizer applications can be less frequent.

As noted above, manganese is below optimum. When micronutrients are low, especially in an alkaline soil, deficiencies can sometimes show in the plants. If deficiencies show once plants have become established, they may be addressed upon the first sign of deficiency. Symptoms of manganese deficiency may be seen as a general loss of color in the young leaves, followed by yellowing between veins and brownish-black spots appearing. If these symptoms are apparent once plants are established, then application of manganese chelate at the manufacturer's label rate may improve appearance. Chelates are generally more effective on alkaline soils than some of the other forms of trace elements.

If we can be of any further assistance, please feel free to contact us.

  
Joe Kiefer, CCA

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(714) 282-8777 (714) 282-8575 fax  
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Page 3 of 4

Viridian Landscape



4741 East Hunter Ave./Suite A  
Anaheim, CA 92807  
Main: 714-282-8777 \* Fax: 714-282-8575  
www.waypointanalytical.com

Project : 446 Seabright - Solana Beach

Report No : 23-331-0016

Purchase Order :

Date Recd : 11/27/2023

Date Printed : 11/30/2023

Page : 1 of 1

COMPREHENSIVE SOIL ANALYSIS

Sample Description - Sample ID	Half Sat %	pH	ECe dS/m	NO <sub>3</sub> -N ppm	NH <sub>4</sub> -N ppm	PO <sub>4</sub> -P ppm	K ppm	Ca ppm	Mg ppm	Cu ppm	Zn ppm	Mn ppm	Fe ppm	Organic % dry wt.	Lab No.
	TEC	Qual Lime													
Site Soil	16	7.4	0.55	14	5	11	87	592	139	1.0	8.2	2	27	0.76	03251
	41	Low		0.6	1.0	0.8	1.4	1.9	4.0	0.4	1.3				
Sufficiency Factors															
Percent of Sample Passing 2 mm Screen															
Gravel %															
Sand															
Coarse 5 - 12															
Fine 2 - 5															
Very Coarse 1 - 2															
Coarse 0.5 - 1															
Med. to Very Fine 0.05 - 0.5															
Silt .002-.05															
Clay 0-.002															
USDA Soil Classification															
Ca meq/L	Mg meq/L	Na meq/L	K meq/L	B ppm	SO <sub>4</sub> meq/L	SAR	Coarse 5 - 12	Fine 2 - 5	Very Coarse 1 - 2	Coarse 0.5 - 1	Med. to Very Fine 0.05 - 0.5	Silt .002-.05	Clay 0-.002	USDA Soil Classification	Lab No.
4.0	2.09	0.81	1.01	0.17	0.80	0.5	2.0	1.5	5.8	27.6	5.6	24.8	36.3	Clay Loam	03251

Sufficiency factor (1.0=sufficient for average crops) below each nutrient value. N factor based on 200 ppm constant test. SAR = Sodium adsorption ratio. Half Saturation %=approx field moisture capacity. Nitrogen(P), Potassium(K), Calcium(Ca) and Magnesium(Mg) by sodium chloride extraction. Phosphorus(P) by sodium bicarbonate extraction. Copper(Cu), Zinc(Zn), Manganese(Mn) & Iron(Fe) by DTPA extraction. Sat. act. method for salinity (ECe as dS/m). Boron (B), Sulfate(SO<sub>4</sub>), Sodium(Na). Gravel fraction expressed as percent by weight of oven-dried sample passing a 12mm(1/2 inch) sieve. Particle sizes in millimeters. Organic percentage determined by Walkley-Black or Loss on Ignition.

\* LOW SUFFICIENT HIGH Page 4 of 4

PLANTING NOTES

1. SOIL PREPARATION SHALL FOLLOW RECOMMENDATIONS ON ATTACHED SOIL'S REPORT.

2.ALL SHRUBS AND TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE. IN THE EVENT, TIPU TREE IS NOT ACCEPTABLE DUE TO QUALITY, THE SUBSTITUTE TREE SHALL BE A SOUTHERN LIVE OAK OR SIMILAR.

3.CONTRACTORS RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PEST OR PLANT DISEASES.

4.PRE-SELECTED "TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND BE CERTIFIED PEST AND DISEASE FREE.

5.FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT.

6.THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED TO DAMAGE OF SAID UTILITIES OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.

7. DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH HIS PLANTING OPERATIONS.

9. ANY DISCREPANCIES BETWEEN THE SPECIFICATIONS, NOTES AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.

10. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF THE AREAS ON THE SITE AND THE DRAWINGS THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION.

11. A MINIMUM OF 3 INCHES OF ORGANIC MULCH SHALL BE ADDED IN NON-TURF PLANTING AREAS WITH SLOPES LESS STEEP THAN 3:1 TO COVER THE SOIL SURFACE COMPLETELY .

SOILS REPORT AND PLANTING NOTES

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

		LANDSCAPE ARCHITECT		CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
		By: VL	By: KEVIN M. KRENEK				By: _____	By: _____	DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469'	GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE		SBGR-XXX
		Drawn By: _____	LICENSE NO. 4179				By: _____	Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16	DATUM: M.S.L.(N.G.V.D. 1929)			Sheet 4 of 4

NOT FOR CONSTRUCTION

446 Seabright Lane  
Solana Beach, CA 92075



July 2, 2025

City of Solana Beach  
635 S Highway 101  
Solana Beach, CA 92075  
Re: MOD25-006, DRP23-003

To Whom It May Concern:

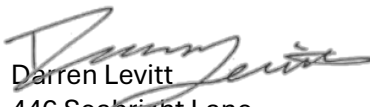
Thank you for the opportunity to speak today. I am here to respectfully request your approval of an Amendment to our Landscape Plan for our home at 446 Seabright Ln., related to a recent change along the property line we share with our neighbors at [REDACTED] N. Rios.

Earlier this year, a row of mature boundary line Ficus trees was removed without our consent. These trees were critical in maintaining our privacy and contributed to the character of both properties.

We have engaged in a constructive dialogue with our neighbors and together we developed a mutually agreeable landscape plan, presented to you tonight, that supports the long-term interests of both households. We have submitted their written letter of support and, in addition, we have jointly signed a private tree maintenance agreement to help ensure that future landscaping decisions are made collaboratively, with mutual respect for privacy and view considerations.

We respectfully ask for the Council's approval of this modification so this shared plan can be put into action. Thank you for your time and consideration. I'm happy to answer any questions you may have.

Thank you,

  
Darren Levitt  
446 Seabright Lane  
Solana Beach, CA 92075

# Karl & Kirsten Limmer



City of Solana Beach Planning Department

RECEIVED

05/14/2025 aogandzhanyan

██████ N Rios Ave, Solana Beach CA 92075  
████████████████████  
████████████████████

May 12, 2025

Dear City Staff,

We, Karl and Kirsten Limmer, of ██████ North Rios Ave, support the planting of trees on the Levitt property, 446 Seabright Lane, in accordance with the attached landscape plans submitted to the City. In addition, we have jointly signed a Tree Maintenance Agreement between the private parties, should any future tree growth impede upon our view.

Sincerely,

Kirsten and Karl Limmer  
██████ N. Rios Ave



- 1 ROOTBALL

2 CROWN-1" ABOVE FINISH GRADE

3 FINISH GRADE

4 FINISH GRADE AT SLOPE

5 2 X ROOTBALL DIA. AND DEPTH

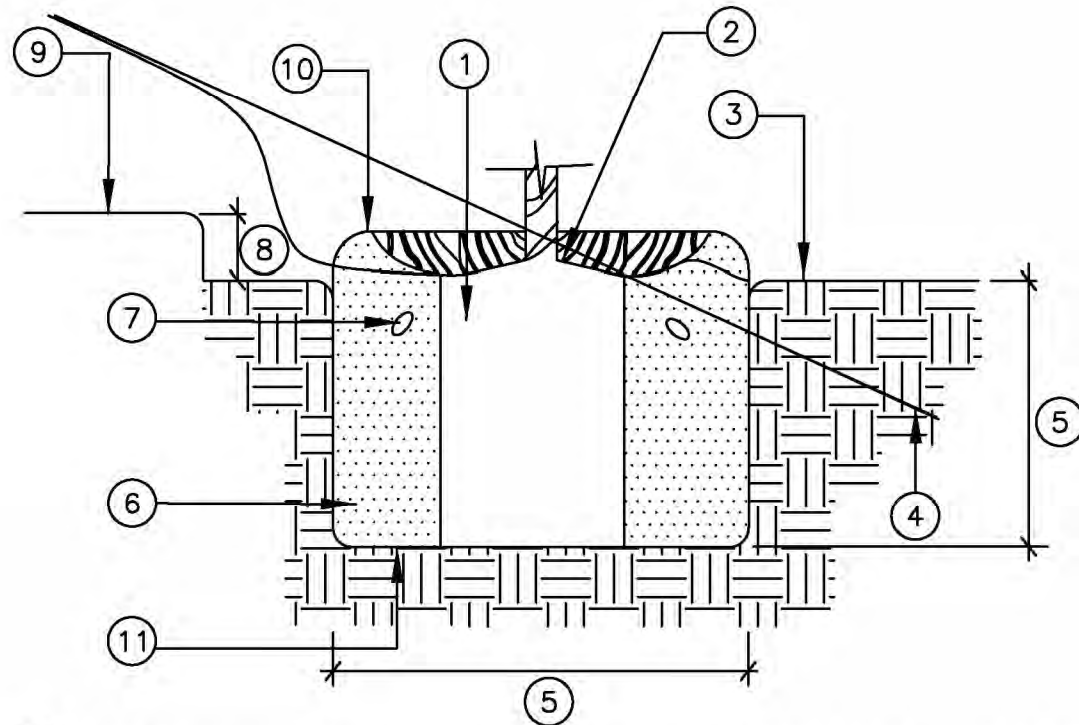
6 BACKFILL MIX (SEE NOTES)
- 7 PLANT TABLETS (SEE NOTES)

8 SEE PAVING DETAILS

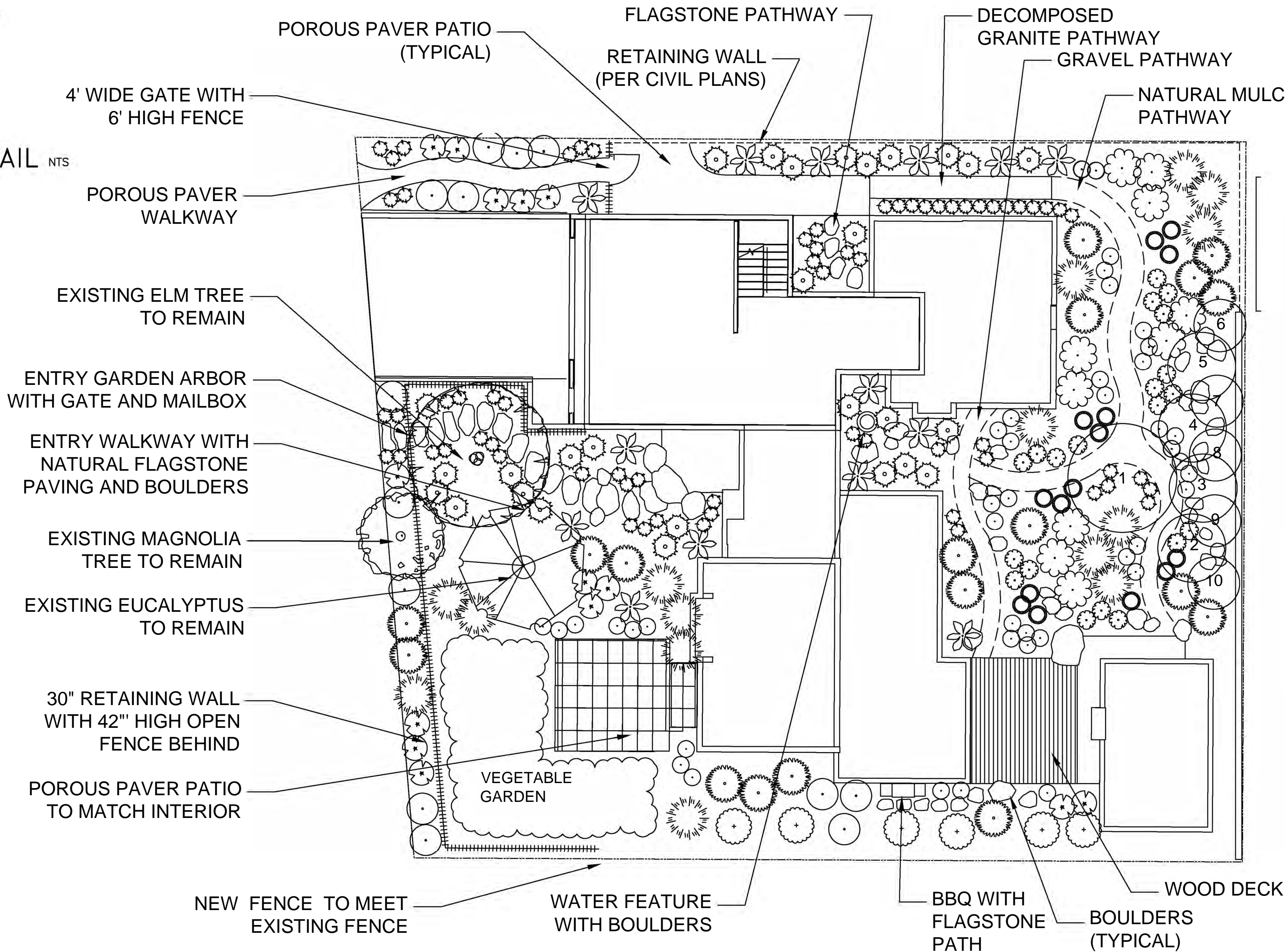
9 TOP OF PAVING

10 4" HIGH WATERING BASIN (IF REQ'D)

11 UNDISTURBED NATIVE SOIL

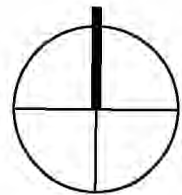


A TREE/SHRUB PLANTING DETAIL NTS



PLANTING PLAN

1" = 10' - 0"



PLANT LEGEND

#	BOTANICAL NAME	COMMON NAME	SIZE	QTY	HEIGHT AT MATURITY	WIDTH AT MATURITY	WUCOLS VALUE (Eto)
TREES							
5	ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 G	1	30+ FEET	10-20 FEET	0.10 - 0.30
7, 9	MELALEUCA NESOPHILA	PINK MELALEUCA	15 G	1	15-20 FEET	8 - 10 FEET	0.10 - 0.30
6, 8, 10	MYRICA CALIFORNICA	WAX MYRTLE	15 G	3	20-30 FT	10-20 FT	0.10 - 0.30
2, 3, 4	OLEA EUROPAEA	OLIVE	36"	4	20-30 FT	20-30 FT	0.10 - 0.30
1	TIPUANA TIPU	TIPU TREE	48"	1	40+ FEET	40+ FEET	0.10 - 0.30

SHRUBS

	CAPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	14	6 FT	3 FT	0.3
	CEANOTHUS GRIEUS	CALIFORNIA LILAC	5 GAL	15	4 - 5 FT	4 - 5 FT	0.10 - 0.30
	ENCELIA CALIFORNICA	BUSH SUNFLOWER	5 GAL	10	4 - 5 FT	4 - 5 FT	<0.10
	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL	58	3.9 - 5 FT	5 FT	<0.10
	POLYPODIUM CALIFORNICUM	CA POLYPODY FERN	5 GAL	28	2 FT	4 FT	0.1
	SALVIA CLEVELANDII	SAGE	1 GAL	18	4 FT	4 FT	0.10 - 0.30
	WESTRINGIA FRUITCOSA	WESTRINGIA	5 GAL	7	4 FT	6 - 10 FT	0.3

PERENNIALS

	ACHILLEAS MILLEFOLIUM	YARROW	1 GAL	15	1 - 3 FT	2 - 3 FT	<0.10
	EPILOBIUM CANUM	CALIFORNIA FUSCHIA	1 GAL	41	24 IN	7 FT	0.10 - 0.30
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	58	1 FT	1 - 3 FT	0.10 - 0.30
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	20	1 - 3 FT	2 - 4 FT	0.10 - 0.30
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL	14	2.5 - 3.5 FT	3 FT	0.10 - 0.30

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Kevin M. Krenek Date

AS-BUILT

By: Date:

R.C.E.: Exp:

PLANTING PLAN

		LANDSCAPE ARCHITECT		CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
	VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840	VL	By: KEVIN M. KRENEK	Date: _____			By: _____	Date: _____	By: _____	Date: _____	DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469'	





## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** Community Development Department - Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing – Request for a DRP Modification to the Approved Replacement Single-Family Residence at 446 Seabright Lane to Add a Privacy Hedge and a Tree in the Rear Yard (Case #: MOD25-006 Applicant: Darren and Rachel Levitt; APN: 263-061-14; Resolution No. 2025-082)**

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### **BACKGROUND:**

On October 25, 2023, the City Council (Council) adopted Resolution 2023-117 approving a Development Review Permit (DRP, DRP23-003) to demolish a single-family residence, construct a replacement single-family residence with a partially subterranean garage, and perform associated site improvements including grading, hardscaping, and landscaping at 446 Seabright Lane. Darren and Rachel Levitt (herein referred to as “Applicant”) are requesting City Council approval of a Modification to the DRP to modify the approved landscape plan by adding a privacy hedge along the rear (east) property line and an anchor tree in the rear yard.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant’s request for a Modification to the original project approval as contained in Resolution 2025-082 (Attachment 1). The modified landscape plan is included in Attachment 2.

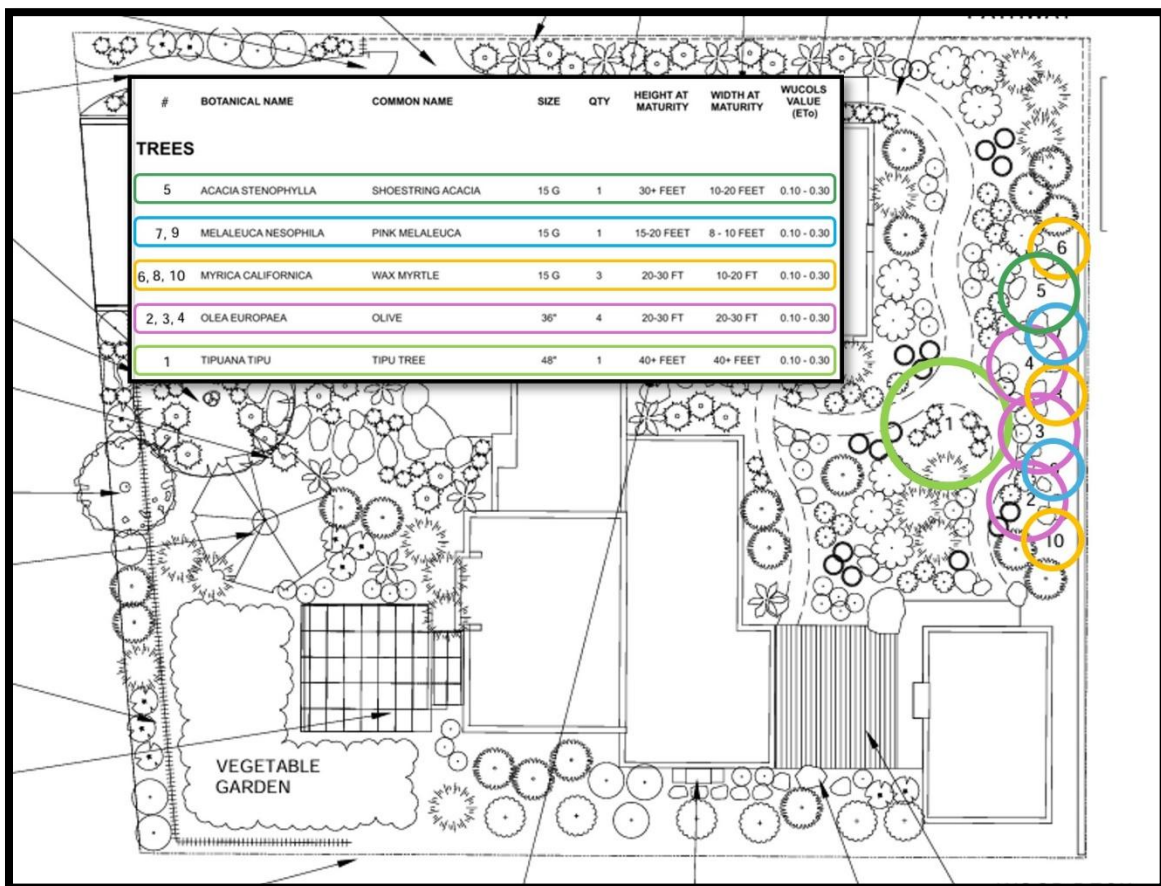
### **DISCUSSION:**

The Council adopted Resolution 2023-117 on October 25, 2023, approving the original project, which included a replacement single-family residence. The Staff Report and meeting video can be reviewed under Item B.3 of the July 13, 2022 City Council Meeting: <https://www.cityofsolanabeach.org/en/city-council-meetings>. The Council also adopted

<b>CITY COUNCIL ACTION:</b>  _____  _____
---

Resolution 2024-075 on June 26, 2024, under Item B.3 approving the Applicant's first request to modify the DRP by adding 11 square feet of floor area and additional trellises.

While under construction with the approved and modified project, the adjacent neighbor to the east removed vegetation along the shared property line that previously provided privacy between the two properties. The Applicant is requesting Council approval to modify the landscape plan to plant a variety of trees along the rear property line and a new tree in the rear yard to replace privacy previously provided by vegetation located along the rear property line. The Applicant's request to modify the landscape plan is included in Attachment 3. The neighbor located immediately to the east (Limmer) also provided a letter in support of the updates to the planting plan and referenced a private tree maintenance agreement between the two property owners, which is included in Attachment 4. Below is a markup version of the revised landscape planting plan that highlights the proposed trees.



Development Review Permit Compliance (SBMC Section 17.68.40):

Pursuant to SBMC Section 17.68.040(L), an amendment (modification) to an existing DRP may be requested and shall follow the same procedures as the DRP. The Council may approve, or conditionally approve, a Modification to a DRP only if all of the findings listed below can be made. Resolution 2022-074 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

The following is a list of the development review criteria topics set forth in SBMC Section 17.68.040(F):

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The following is a discussion of the applicable development review criteria (3-Landscaping) as it relates to the modification proposed.

#### Landscaping

The modified project could be found to be compatible with the surrounding landscaping, which includes perimeter privacy landscaping between properties. The criteria specifies that trees and other large plantings shall not obstruct significant views when installed or at maturity. The Applicant has negotiated with the neighbor to the east and agreed upon a private tree maintenance agreement to maintain the proposed trees at a height that balances the shared desire for privacy and the preservation of scenic views.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-082 for Council's consideration based upon the information in this report. The Applicant shall provide for and adhere to the conditions of the original project approval in Resolution 2023-117. The Applicant is also required to provide for and adhere to the conditions for the proposed Modification that have been incorporated into the attached Resolution 2025-082. The Applicant has obtained authorization for the project from the California Coastal Commission.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

**PUBLIC HEARING NOTICE:**

Notice of the City Council Public Hearing was published in the San Diego Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site, more than 10 days prior to the planned public hearing date of July 2, 2025. Staff has not received any correspondence from neighbors regarding the proposed modification other than support from the neighbors located immediately to the east, who have a private maintenance agreement with the Applicant (Attachment 4).

**CEQA COMPLIANCE:**

Categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the proposed modification by adopting Resolution 2025-082;
- Approve modification by adopting Resolution 2025-082 with changes as deemed appropriate by City Council; or,
- Deny the request to amend the project and direct Staff to bring back a Resolution of Denial to a later City Council meeting date.

**DEPARTMENT RECOMMENDATION:**


The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings to approve a Modification to the approved DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-082 conditionally approving a Modification to the approved DRP,

to modify the landscape plan for a replacement single-family residence at 446 Seabright Lane, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-082 to Approve the DRP Mod
2. Revised Project Plans
3. Letter from Applicant
4. Letter from Neighbor (Limmer)



## **RESOLUTION 2025-082**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A MODIFICATION TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT TO MODIFY THE LANDSCAPE PLAN AT 446 SEABRIGHT LANE, SOLANA BEACH.**

**APPLICANT: DARREN AND RACHEL LEVITT  
CASE NO.: MOD25-006 (DRP23-003)  
APN: 263-061-14**

**WHEREAS**, Darren and Rachel Levitt (hereinafter referred to as “Applicant”), have submitted a request for modification to the original project approval of a Development Review Permit (DRP) for construction of a replacement single-family residence located at 446 Seabright Lane (Case No. DRP23-003 and Resolution No. 2023-117), pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted Resolution 2024-075 approving a Modification to the DRP to allow a three square-foot net increase in floor area and expansions of trellises; and

**WHEREAS**, the Applicant requested the approval of a second Modification to the DRP to modify the landscape plan to include a variety of trees along the rear property line and a tree in the rear yard; and

**WHEREAS**, on July 2, 2025, the City Council held a duly noticed Public Hearing to consider the request for modifications; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a modification; and

**WHEREAS**, the City Council of the City of Solana Beach found that the project is exempt from the CEQA Guidelines pursuant to Section 15301 of the State CEQA Guidelines, which exempts minor modifications to existing facilities; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request to modify the DRP is conditionally approved based on the following Findings, and all terms and conditions of Resolutions 2023-117 2024-075 are in effect along with the following conditions applicable to the proposed modification:

### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LMR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations. The applicable regulations related to the Modification is analyzed below.

#### Landscape Water Efficiency:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided an updated landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to update the construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved planting plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*
  - a. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be*

*used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The revised landscape plan includes varied trees located along the rear property line to reestablish privacy between the two properties and an additional tree in the rear yard area. The modified project is found to be compatible with the surrounding landscaping, which includes perimeter privacy landscaping between properties. The criteria specifies that trees and other large plantings shall not obstruct significant views when installed or at maturity. The Applicant has negotiated with the neighbor to the east and agreed upon a private tree maintenance agreement to maintain the proposed trees at a height that balances the shared desire for privacy and the preservation of scenic views.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits were processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant has obtained approval from the California Coastal Commission.

## V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

### A. Community Development Department Conditions:

- I. The Applicant shall comply with all conditions of approval included in Resolutions 2023-117 and 2024-075.
- II. The detailed landscape construction plan shall be in substantial

conformance with the revised plan presented to the City Council on July 2, 2025, and located in the project file with a submittal date of May 14, 2025, which identify the modifications subject to the DRP Modification as well as the plantings originally approved by Resolution 2023-117.

#### IV. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### V. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

#### VI. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications,

reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 2<sup>nd</sup> day of July, 2025, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

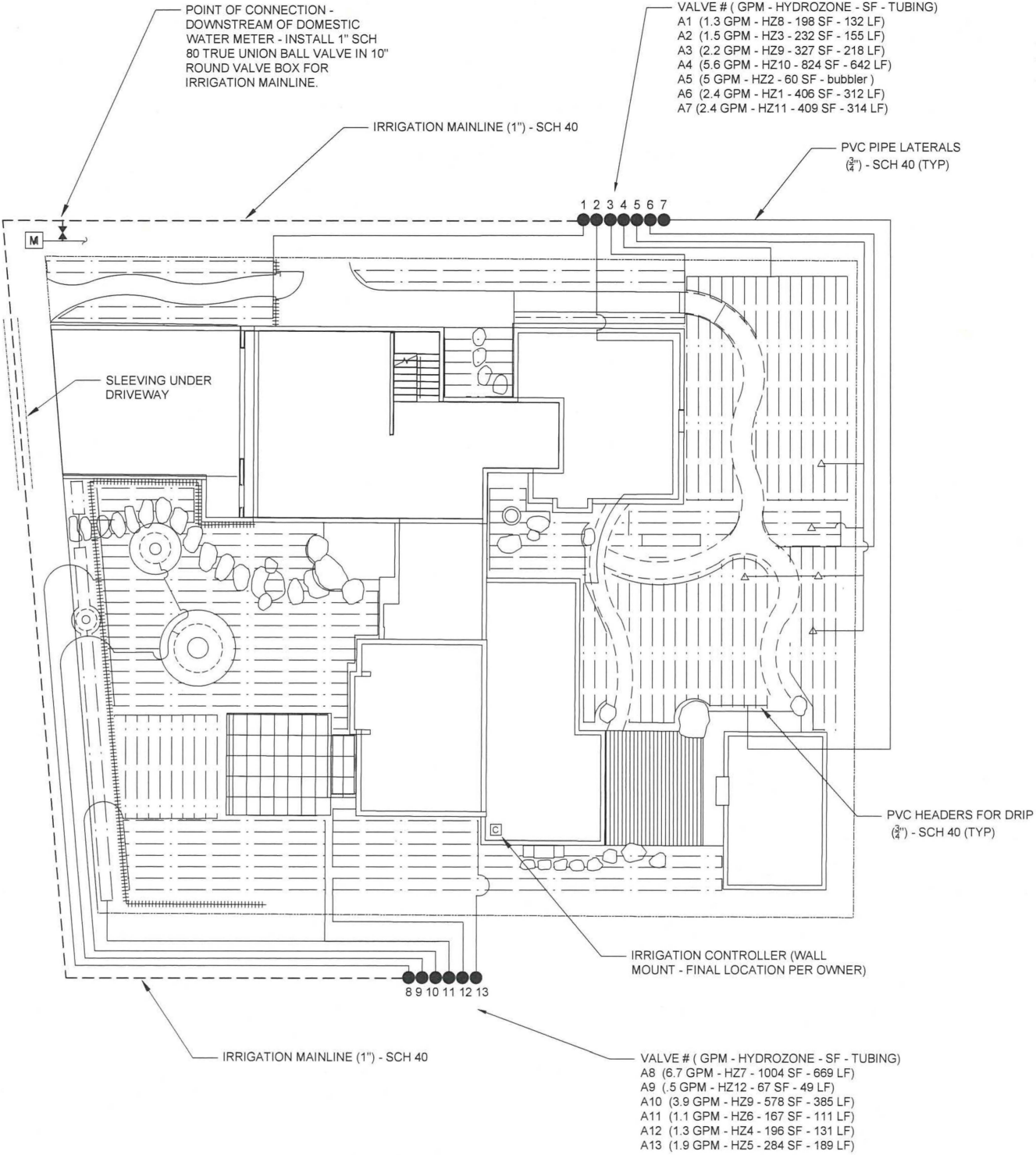
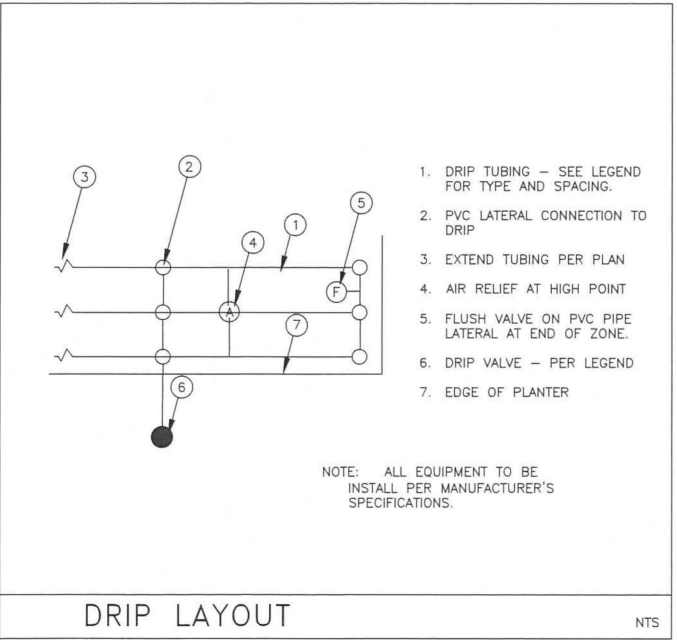
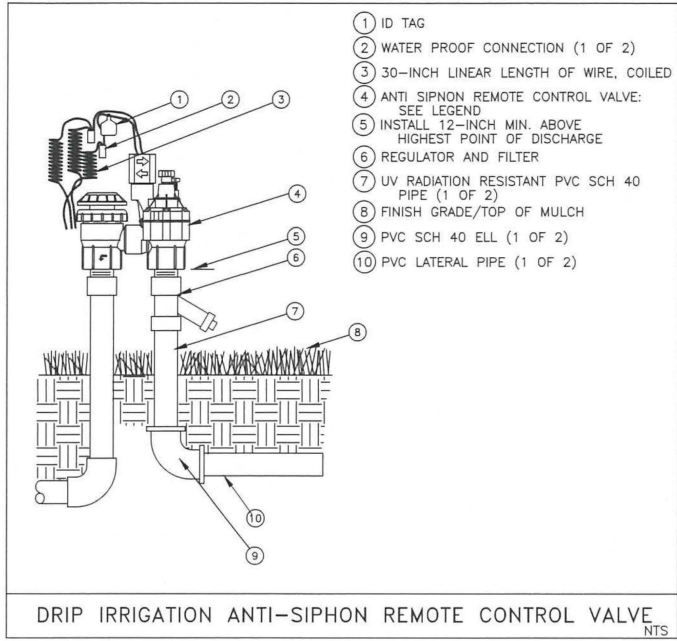
\_\_\_\_\_  
ANGELA IVEY, City Clerk

IRRIGATION LEGEND

- M

POINT OF CONNECTION SHALL BE DOWNSTREAM OF 3/4" POTABLE (DOMESTIC) WATER METER WITH 1" SERVICE LINE
- HUNTER ACZ-075-25 DRIP ZONE ASSEMBLY MEDIUM FLOW CONTROL ZONE KIT WITH 3/4 IN. ASVF ANTI-SIPHON VALVE & 3/4 IN. PR RBY FILTER AND REGULATOR
- NETAFIM TLCV6-12 SUBSURFACE DRIP TUBING WITH 0.60 GPH, PRESSURE COMPENSATING EMITTERS INTERNALLY INSTALLED IN THE DRIP TUBING AT 12" O.C. SPACING. THE PERIMETER ROW OF DRIP TUBING SHALL BE INSTALLED A MAXIMUM OF 6" FROM THE EDGE OF ANY HARDSCAPE OR TURF EDGE. INSTALL 9" PVC COATED GALVANIZED TUBING STAKES A MAXIMUM OF FIVE (5) FEET ON CENTER ALONG THE LENGTH OF THE TUBING. SEE DRIP DETAIL THIS SHEET.
- HUNTER PROS-06-CV 6" POP-UP BUBBLER HEAD WITH A MSBN-50Q PRESSURE COMPENSATING STREAM BUBBLER NOZZLE. EACH SYMBOL REPRESENTS TWO (2) BUBBLERS PER TREE. INSTALL THE BUBBLER HEADS 6" FROM THE EDGE OF THE ROOT BALL OF THE TREE ON OPPOSITE SIDES. ADJUST BUBBLER STREAMS TO WATER THE ROOT BALL WITHOUT WATERING TREE TRUNK OR FLARE.
- CONNECTION BETWEEN DRIP TUBING AND PVC SUPPLY AND DISCHARGE HEADERS SHALL BE MADE USING NETAFIM DRIP LINE BARBED FITTINGS, SCH. 40 PVC THREADED FITTINGS, SCH. 80 NIPPLES AND FLEXIBLE NIPPLES.
- NETAFIM 17mm BARBED FITTINGS FOR ALL CONNECTIONS BETWEEN DRIP TUBING (TUBING-TO-TUBING ONLY)
- PVC SUPPLY AND DISCHARGE HEADERS SHALL BE PVC LATERAL LINE PIPE (AS SHOWN BELOW), 3/4" SIZE WITH SCH. 40 PVC FITTINGS.
- NETFIM INLINE SHUTOFF FOR USE AS A DRIP TUBING FLUSH VALVE. ONE PER VALVE. INSTALL INSIDE A 6" ROUND VALVE BOX.
- ARV050 AIR/VACUUM RELIEF VALVE INSTALLED WITH A XFD-TFA-075 BARB X BARB X 3/4" FIPT TEE FITTING AND A AND A 3/4" X 1/2" SCH. 40 PVC THREADED REDUCER BUSHING. INSTALL INSIDE A 7" ROUND VALVE BOX. ONE PER ZONE
- PVC PIPE 3/4" SCH. 40, SOLVENT WELD WITH SCH. 40 PVC FITTINGS, AS LATERAL LINES INSTALLED 12" BELOW FINISHED GRADE
- PVC PIPE SCH. 40 AS SLEEVING, 2 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. INSTALL ALL PIPE AND WIRE UNDER PAVING, HARDSCAPE, ETC. (OR AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE) INSIDE SLEEVES. SLEEVES UNDER PEDESTRIAN PAVING SHALL BE INSTALLED 24" BELOW FINISHED GRADE. SLEEVES UNDER VEHICULAR PAVING SHALL BE INSTALLED 36" BELOW FINISHED GRADE.
- ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GRAY IN COLOR, AND SIZED TO MATCH THE THR MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WHITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE, DARK GRAY IN COLOR, WITH MOLDED THREADS.
- ALL SOLVENT WELD CONNECTIONS FOR BOTH MAINLINE AND LATERAL LINE SHALL BE MADE USING THE TWO-STEP PROCESS OF PRIMER AND SOLVENT CEMENT. PRIMER SHALL BE LOW VOC "PURPLE PRIMER". MAINLINE SOLVENT CEMENT SHALL BE LOW VOC, "GRAY-HEAVY BODY" CEMENT. LATERAL LINE SOLVENT CEMENT SHALL BE LOW VOC, "RED HOT BLUE GLUE" CEMENT. USE DAUBERS SIZED AT LEAST ONE-HALF THE SIZE OF THE LARGEST PIPE BEING JOINED. ALL SOLVENT CEMENTED JOINTS SHALL BE MADE PER THE PIPE AND FITTING MANUFACTURER'S RECOMMENDATIONS.
- C

HUNTER X2 14 STATION OUTDOOR CONTROLLER (WALL MOUNTED) WITH WAND MODULE AND MINI-CLIK RAIN SENSOR FOR MAXIMUM WATER SAVINGS.
- 120 VOLT ELECTRICAL POWER FOR CONTROLLER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD
- PAIGE ELECTRIC 18-8 DIRECT BURIAL MULTI-STRAND IRRIGATION WIRE - 250FT 18 GAUGE 8 CONDUCTOR (SOLID CORE WIRE) OR EQUAL
- DBR/Y-6 DIRECT BURIAL (I.L. APPROVED) WATER-PROOF WIRE CONNECTORS (OR EQUAL) FOR USE ON ALL WIRE SPLICES AND CONNECTIONS



IRRIGATION PLAN

1" = 10' - 0"



IRRIGATION PLAN

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Kevin M. Krenek Date

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ **ATTACHMENT 2**

	LANDSCAPE ARCHITECT	CITY APPROVED CHANGES	APP'D/DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
	By: KEVIN M. KRENEK Date: _____ License No. 4179			By: _____ Date: _____	By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16	DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469' DATUM: M.S.L.(N.G.V.D. 1929)	GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE		SBGR-XXX



IRRIGATION NOTES

- 1 ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- 2 THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- 3 THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- 4 IRRIGATION PLAN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- 5 THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- 6 ALL EQUIPMENT SHALL BE INSTALLED PER THE MAUNFACTURER'S SPECIFICATIONS AND DETAILS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- 7 ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- 8 ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVEING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVEING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- 9 THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- 10 CONTRACTOR SHALL INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.

PRESSURE ANALYSIS

FLOW AVAILABLE	
Water Meter Size:	3/4"
Flow Available:	25.00 gpm

PRESSURE AVAILABLE	
Static Pressure at POC:	85.00 PSI
Elevation Change:	5.00 ft
Service Line Size:	2"
Length of Service Line:	20 ft
Pressure Available:	82.00 PSI

DESIGN ANALYSIS	
Maximum Multi-valve Flow:	15.00 gpm
Flow Available at POC:	25.00 gpm
Residual Flow Available:	10.00 gpm

Critical Station:	8
Design Pressure:	40.00 psi
Friction Loss:	0.85 psi
Fittings Loss:	0.08 psi
Elveation Loss:	0.00 psi
Loss through Valve:	2.45 psi
Pressure Req. at Critical Station:	43.38 psi
Loss for Fittings:	1.46 psi
Loss for Main Line:	4.59 psi
Loss for POC to Valve Elevation:	3.66 psi
Loss for Water Meter:	4.90 psi
Critical Station Pressure at POC:	57.99 psi
Pressure Available:	82.00 psi
Residual Pressure Available:	24.01 psi

LANDSCAPE IRRIGATION WATER ANALYSIS

PROJECT NAME: 446 SEABRIGHT  
PROJECT ADDRESS: SOLANA BEACH, CA

POINT OF CONNECTION NUMBER: 1  
CONTROLLER NUMBER OR LETTER: A

REFERENCE EVAPOTRANSPIRATION RATE (Eto):  
CONVERSION FACTOR (CF)  
ADJUSTED CONVERSION FACTOR (Eto x CF)  
TOTAL OF HYDROZONE AREAS (HA):  
TOTAL OF SPECIAL LANDSCAPE AREAS (SLA):  
TOTAL LANDSCAPE AREAS (LA):  
TOTAL ADJUSTED IE + SLA

West of I-5  
41  
25.42  
4,161  
578  
4,739  
2,139.85

East of I-5  
47  
29.14  
  
SQUARE FEET  
SQUARE FEET  
SQUARE FEET  
0  
0

INCHES / YEAR

ESTIMATED TOTAL WATER USE (ETWU)  
TOTAL ETWU

54,395  
GALLONS / YEAR

MAXIMUM APPLIED WATER ALLOWANCE:  
TOTAL MAWA = (Eto) x (0.62) x [(0.55 x LA) + (0.45 x SLA)]

64,787  
GALLONS / YEAR

ESTIMATED APPLIED WATER USED:  
TOTAL EAWU = (Eto) x (0.62) x [((PF X HA)/IE +SLA)] =

54,395  
GALLONS / YEAR

THIS PROJECT USES LESS WATER THAN THE MAXIMUM APPLIED WATER ALLOWANCE

HYRDOZONE AREA (HA) CALCULATIONS FOR HYDROZONES:

HYROZONE DESCRIPTION	HYDROZONE AREA (HA)	PLANT FACTOR (PF)	ADJUSTED HA (PF x HA)	IRRIGATION EFFICIENCY (IE)	ADJUSTED IE ((PF x HA) / (IE))
HYDROZONE #1	406	0.3	121.8	0.81	150.37
HYDROZONE #2	60	0.3	18.0	0.81	22.22
HYDROZONE #3	232	0.3	69.6	0.81	85.93
HYDROZONE #4	196	0.3	58.8	0.81	72.59
HYDROZONE #5	284	0.3	85.2	0.81	105.19
HYDROZONE #6	167	0.3	50.1	0.81	61.85
HYDROZONE #7	1,004	0.3	301.2	0.81	371.85
HYDROZONE #8	198	0.3	59.4	0.81	73.33
HYDROZONE #9	327	0.3	98.1	0.81	121.11
HYDROZONE #10	824	0.3	247.2	0.81	305.19
HYDROZONE #11	407	0.3	122.1	0.81	150.74
HYDROZONE #12	56	0.6	33.6	0.81	41.48
TOTAL OF ALL HYDROZONE AREAS (HA)	4,161		1,265		1,562

CALCULATED AVERAGE IRRIGATION EFFICIENCY OF ALL HYDROZONE AREAS:

SPECIAL LANDSCAPE AREA DESCRIPTION	AREA (SFT)	PLANT FACTOR (PF)	ADJUSTED HA (PF x HA)	IRRIGATION EFFICIENCY (IE)	IRRIGATION EFFICIENCY (IE)
SLA #1:	578				
TOTAL SPECIAL LANDSCAPE AREAS (SLA) ON PROJE	578				

IRRIGATION CONTROLLER RUN TIMES

Controller		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Total / Avg.		
A	ETo / Month (inches):	1.64	1.94	2.94	4.14	4.64	4.84	5.24	5.14	3.84	3.14	1.94	1.54	41.00		
	Eto / Day (inches):	0.05	0.06	0.10	0.14	0.15	0.16	0.17	0.17	0.13	0.10	0.06	0.05	0.11		
	Irrigation Days / Weeks:	7	7	7	7	7	7	7	7	7	7	7	7			
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
Trees / Shrubs	0.40	0.96	0.81	1.7	2.0	3.0	4.3	4.8	5.0	5.4	5.3	4.0	3.2	2.0	1.6	Min./Day/Zone
Drip Tubing	Number of Zones:	13	22	26	39	55	62	65	70	69	51	42	26	21		Total Min./Day
Trees	1.00	1.14	0.81	3.6	4.2	6.4	9.0	10.1	10.5	11.4	11.1	8.3	6.8	4.2	3.3	Min./Day/Zone
Bubblers	Number of Zones:	1	4	4	6	9	10	10	10	11	11	8	7	4	3	Total Min./Day
Total Controller Run Time in Hours:		0.43	0.50	0.76	1.07	1.20	1.25	1.36	1.33	1.00	0.81	0.50	0.40		Total Hrs./Day	
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC			
Note: These schedules are intended only for compliance with local municipal codes and the water efficient landscape ordinance. These calculations are used to ensure that all irrigation may be completed during the watering window allowed. Contractor shall develop and provide a controller schedule inside the controller cabinet prior to final turnover of the project to the owner. Contractor shall take into account the microclimate conditions of each hydrozone when finalizing watering schedule.																

IRRIGATION CALCS AND NOTES

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

LANDSCAPE ARCHITECT		CITY APPROVED CHANGES		APP'D	DATE	RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840		VL	By: KEVIN M. KRENEK	Date: _____		By: _____		By: _____			DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469'		
Drawn By: _____			LICENSE NO. 4179			Mohammad Sammak, City Engineer		R.C.E.: 37146 Exp: 6/30/16			GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE		SBGR-XXX
											Sheet 2 of 4		

NOT FOR CONSTRUCTION



- 1 ROOTBALL

2 CROWN-1" ABOVE FINISH GRADE

3 FINISH GRADE

4 FINISH GRADE AT SLOPE

5 2 X ROOTBALL DIA. AND DEPTH

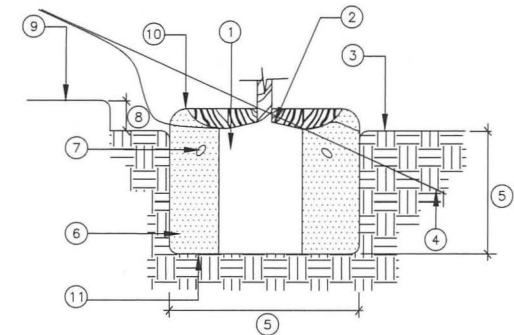
6 BACKFILL MIX (SEE NOTES)
- 7 PLANT TABLETS (SEE NOTES)

8 SEE PAVING DETAILS

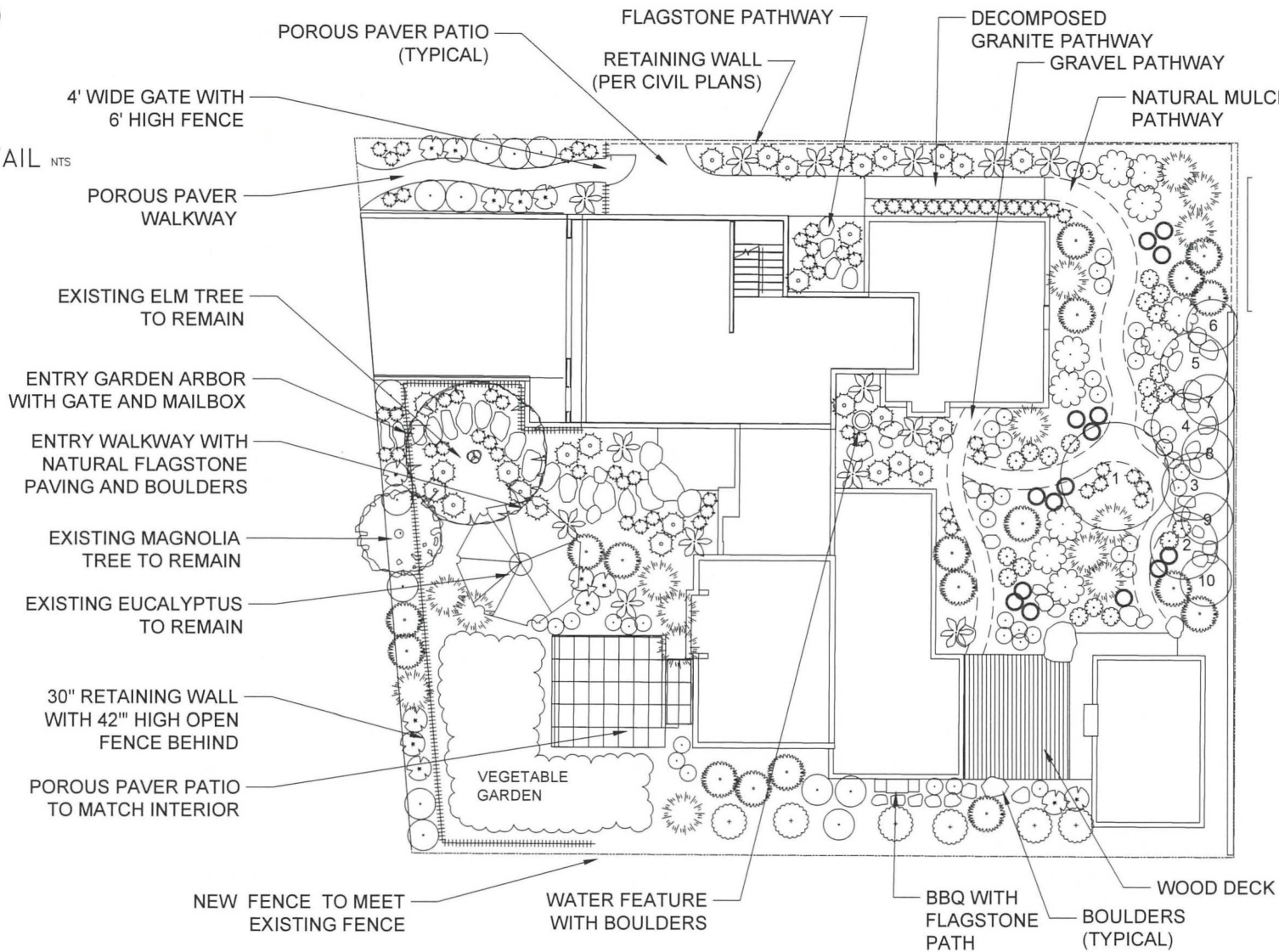
9 TOP OF PAVING

10 4" HIGH WATERING BASIN (IF REQ'D)

11 UNDISTURBED NATIVE SOIL



A) TREE/SHRUB PLANTING DETAIL NTS



PLANTING PLAN

1" = 10' - 0"



PLANT LEGEND

#	BOTANICAL NAME	COMMON NAME	SIZE	QTY	HEIGHT AT MATURITY	WIDTH AT MATURITY	WUCOLS VALUE (ETO)
TREES							
5	ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 G	1	30+ FEET	10-20 FEET	0.10 - 0.30
7, 9	MELALEUCA NESOPHILA	PINK MELALEUCA	15 G	1	15-20 FEET	8 - 10 FEET	0.10 - 0.30
6, 8, 10	MYRICA CALIFORNICA	WAX MYRTLE	15 G	3	20-30 FT	10-20 FT	0.10 - 0.30
2, 3, 4	OLEA EUROPAEA	OLIVE	36"	4	20-30 FT	20-30 FT	0.10 - 0.30
1	TIPUANA TIPU	TIPU TREE	48"	1	40+ FEET	40+ FEET	0.10 - 0.30
SHRUBS							
	CAPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	14	6 FT	3 FT	0.3
	CEANOTHUS GRIEUS	CALIFORNIA LILAC	5 GAL	15	4 - 5 FT	4 - 5 FT	0.10 - 0.30
	ENCELIA CALIFORNICA	BUSH SUNFLOWER	5 GAL	10	4 - 5 FT	4 - 5 FT	<0.10
	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL	58	3.9 - 5 FT	5 FT	<0.10
	POLYPODIUM CALIFORNICUM	CA POLYPODY FERN	5 GAL	28	2 FT	4 FT	0.1
	SALVIA CLEVELANDII	SAGE	1 GAL	18	4 FT	4 FT	0.10 - 0.30
	WESTRINGIA FRUITCOSA	WESTRINGIA	5 GAL	7	4 FT	6 - 10 FT	0.3
PERENNIALS							
	ACHILLEAS MILLEFOLIUM	YARROW	1 GAL	15	1 - 3 FT	2 - 3 FT	<0.10
	EPILOBIUM CANUM	CALIFORNIA FUSCHIA	1 GAL	41	24 IN	7 FT	0.10 - 0.30
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	58	1 FT	1 - 3 FT	0.10 - 0.30
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	20	1 - 3 FT	2 - 4 FT	0.10 - 0.30
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL	14	2.5 - 3.5 FT	3 FT	0.10 - 0.30

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Kevin M. Krenek Date

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

PLANTING PLAN

VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840		LANDSCAPE ARCHITECT VL By: KEVIN M. KRENEK Date: _____ License No. 4179	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL By: _____ Date: _____ By: _____ Date: _____	APPROVED FOR CONSTRUCTION By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16	BENCH MARK DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469' DATUM: M.S.L.(N.G.V.D. 1929)	CITY OF SOLANA BEACH ENGINEERING DEPARTMENT GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE	DRAWING NO. SBGR-XXX Sheet 3 of 4
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NOT FOR CONSTRUCTION





Anaheim Office  
Lab No: 23-331-0016  
December 6, 2023

Viridian Landscape  
6520 Nancy Ridge Dr  
San Diego, CA 92121

Attn: Kevin

Project: 446 Seabright - Solana Beach

Attached are the results of the analysis performed on a soil sample that was collected from the above-mentioned project site from a depth of 4 to 8 inches by the client and received by our laboratory on November 27, 2023. This sample was analyzed for nutrient levels, agricultural suitability, and physical characteristics in preparation for a new landscape installation.

Analytical Results and Comments

The reaction of the soil is slightly alkaline at 7.4 on the pH scale with free lime favorably low. These levels are within the range preferred for most plants.

Salinity (ECe) and sodium are safely low. The sodium present is properly balanced by calcium and magnesium with regard to soil structure and water infiltration, as indicated by the safe sodium adsorption ratio (SAR) of 0.5.

In terms of fertility, nitrogen and phosphorus are low. In the minor element category, manganese is low. The remaining nutrients are well supplied.

The soil texture is classified as a 'clay loam' under the USDA standards. The water infiltration rate is estimated at a moderate 0.19 inches per hour, based on the particle size distribution data. The actual infiltration rate may vary depending upon the degree of compaction. This soil has a higher proportion of fine particles than desired in terms of allowing adequate aeration and drainage, with the soil comprised of 60.9% silt and clay. This soil will have a high moisture holding capacity; therefore, the surface and subsoil moisture should be routinely monitored and irrigations scheduled accordingly. Organic content is low at 0.76% dry weight.

4741 East Hunter Ave., Ste. A Anaheim CA 92807  
(714) 282-8777 (714) 282-8575 fax  
www.waypointanalytical.com  
Page 1 of 4



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Viridian Landscape  
December 6, 2023

Recommendations

Surface Soil Preparation for Mass Planting

If feasible, prior to amending the areas where severe compaction exists, the surface soil should be ripped or tilled to a 9-inch depth. Uniformly broadcast and blend the following with existing soil to a 6-inch depth.

Materials	Amount per 1000 sq. ft.
Nitrogen fortified organic amendment (compost* or redwood or fir sawdust)	4 cu. yards
16-20-0 Ammonium Phosphate	9 lbs.
*Rates and fertilizers may have to be adjusted depending on analysis of selected compost.	

Tree and Shrub Planting Guidelines

- Excavate planting pits at least twice the diameter of the rootball.
- The top of the rootball should be at or slightly above final grade.
- To improve soil chemistry, uniformly blend 1 lb. of Iron sulfate per cubic yard of backfill soil. Handle iron sulfate with caution since it will severely stain moist concrete.
- Organic material is not required in the backfill; however, if you wish, the amended surface soil or a soil blend consisting of no more than 20% by volume organic matter can be placed in the upper 12 inches of backfill only. Soil below this depth should not contain any added organic matter because of the threat of plant disease and/or anaerobic soil conditions developing.
- Place slow release fertilizer tablets in the upper 12 inches of backfill at manufacturer's recommended rates. If fertilizer amended soil per the mass planting recommendation is used as a backfill the addition of slow release fertilizer tablets is not necessary.
- Do not cover the original rootball with other soil. Ideally, a temporary soil berm is often constructed around the outer edge of the rootball to help channel water into the rootball and then into surrounding soil until roots are established in the backfill and the rootball is no longer the sole source of water for the plant.
- Ideally, a weed and turf free zone, preferably 2-3 ft. in diameter, should be maintained just beyond the diameter of the planting hole. A 2-4 inch deep layer of coarse mulch can be placed around the tree or shrub; mulch should be kept a minimum 4-6 inches from the trunk.

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Page 2 of 4



Page 3  
Viridian Landscape  
December 6, 2023

Maintenance Fertilization

Uniformly broadcast sulfur coated urea at a rate of 5 lbs. per 1000 sq. ft.. The first application should occur approximately 60-90 days after planting, with repeat applications every 90-120 days or as growth and color dictate. In early fall and spring, substitute a complete fertilizer such as 16-6-8, or equal, for the sulfur coated urea at the rate of 6 lbs. per 1000 sq. ft. to ensure continuing supplies of phosphorus and potassium. Follow each fertilization with a thorough irrigation. When plants have become well established, fertilizer applications can be less frequent.


As noted above, manganese is below optimum. When micronutrients are low, especially in an alkaline soil, deficiencies can sometimes show in the plants. If deficiencies show once plants have become established, they may be addressed upon the first sign of deficiency. Symptoms of manganese deficiency may be seen as a general loss of color in the young leaves, followed by yellowing between veins and brownish-black spots appearing. If these symptoms are apparent once plants are established, then application of manganese chelate at the manufacturer's label rate may improve appearance. Chelates are generally more effective on alkaline soils than some of the other forms of trace elements.

If we can be of any further assistance, please feel free to contact us.

  
Joe Kiefer, CCA

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(714) 282-8777 (714) 282-8575 fax  
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Page 3 of 4

Viridian Landscape



4741 East Hunter Ave./Suite A  
 Anaheim, CA 92807  
 Main 714-282-8777 \* Fax 714-282-8575  
 www.waypointanalytical.com

Project : 446 Seabright - Solana Beach

Report No : 23-331-0016

Purchase Order :

Date Recd : 11/27/2023

Date Printed : 11/30/2023

Page : 1 of 1

COMPREHENSIVE SOIL ANALYSIS

Sample Description - Sample ID	Half Sat %	pH	ECe dS/m	NO <sub>3</sub> -N ppm	NH <sub>4</sub> -N ppm	PO <sub>4</sub> -P ppm	K ppm	Ca ppm	Mg ppm	Cu ppm	Zn ppm	Mn ppm	Fe ppm	Organic % dry wt.	Lab No.		
	TEC	Qual Lime		Sufficiency Factors													
Site Soil	16	7.4	0.55	14	5	11	87	592	139	1.0	8.2	2	27	0.76	03251		
	41	Low		0.6		0.6	1.0	0.8	1.4	1.9	4.0	0.4	1.3				
Saturation Extract Values				Gravel %		Percent of Sample Passing 2 mm Screen								USDA Soil Classification		Lab No.	
Ca meq/L	Mg meq/L	Na meq/L	K meq/L	B ppm	SO <sub>4</sub> meq/L	SAR	Coarse 5 - 12	Fine 2 - 5	Very Coarse 1 - 2	Coarse 0.5 - 1	Med. to Very Fine 0.05 - 0.5	Silt .002-.05	Clay 0-.002				
4.0	2.09	0.81	1.01	0.17	0.80	0.5	2.0	1.5	5.8	27.6	5.6	24.8	36.3	Clay Loam		03251	

Sufficiency factor (1.0=sufficient for average crops) below each nutrient value. N factor based on 200 ppm constant test. SAR = Sodium adsorption ratio. Half Saturation % = approx field moisture capacity. Nitrogen(N), Potassium(K), Calcium(Ca) and Magnesium(Mg) by sodium chloride extraction. Phosphorus(P) by sodium bicarbonate extraction. Copper(Cu), Zinc(Zn), Manganese(Mn) & Iron(Fe) by DTPA extraction. Sat. act. method for salinity (ECe as dS/m). Boron (B), Sulfate(SO<sub>4</sub>), Sodium(Na). Gravel fraction expressed as percent by weight of oven-dried sample passing a 12mm(1/2 inch) sieve. Particle sizes in millimeters. Organic percentage determined by Walkley-Black or Loss on Ignition.

\* LOW SUFFICIENT HIGH

Page : 4 of 4

PLANTING NOTES

- SOIL PREPARATION SHALL FOLLOW RECOMMENDATIONS ON ATTACHED SOIL'S REPORT.
- ALL SHRUBS AND TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE. IN THE EVENT, TIPU TREE IS NOT ACCEPTABLE DUE TO QUALITY, THE SUBSTITUTE TREE SHALL BE A SOUTHERN LIVE OAK OR SIMILAR.
- CONTRACTORS RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PEST OR PLANT DISEASES.
- PRE-SELECTED "TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND BE CERTIFIED PEST AND DISEASE FREE.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED TO DAMAGE OF SAID UTILITIES OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.

- DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH HIS PLANTING OPERATIONS.
- ANY DISCREPANCIES BETWEEN THE SPECIFICATIONS, NOTES AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF THE AREAS ON THE SITE AND THE DRAWINGS THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION.
- A MINIMUM OF 3 INCHES OF ORGANIC MULCH SHALL BE ADDED IN NON-TURF PLANTING AREAS WITH SLOPES LESS STEEP THAN 3:1 TO COVER THE SOIL SURFACE COMPLETELY .

SOILS REPORT AND PLANTING NOTES

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

		LANDSCAPE ARCHITECT		CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840		VL	By: KEVIN M. KRENEK	Date: _____			By: _____	Date: _____	By: Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16	DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469'	GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE	Sheet 4 of 4

NOT FOR CONSTRUCTION

446 Seabright Lane  
Solana Beach, CA 92075



July 2, 2025

City of Solana Beach  
635 S Highway 101  
Solana Beach, CA 92075  
Re: MOD25-006, DRP23-003

To Whom It May Concern:

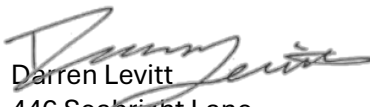
Thank you for the opportunity to speak today. I am here to respectfully request your approval of an Amendment to our Landscape Plan for our home at 446 Seabright Ln., related to a recent change along the property line we share with our neighbors at [REDACTED] N. Rios.

Earlier this year, a row of mature boundary line Ficus trees was removed without our consent. These trees were critical in maintaining our privacy and contributed to the character of both properties.

We have engaged in a constructive dialogue with our neighbors and together we developed a mutually agreeable landscape plan, presented to you tonight, that supports the long-term interests of both households. We have submitted their written letter of support and, in addition, we have jointly signed a private tree maintenance agreement to help ensure that future landscaping decisions are made collaboratively, with mutual respect for privacy and view considerations.

We respectfully ask for the Council's approval of this modification so this shared plan can be put into action. Thank you for your time and consideration. I'm happy to answer any questions you may have.

Thank you,

  
Darren Levitt  
446 Seabright Lane  
Solana Beach, CA 92075

# Karl & Kirsten Limmer



City of Solana Beach Planning Department

RECEIVED

05/14/2025 aogandzhanyan

██████ N Rios Ave, Solana Beach CA 92075  
████████████████████  
████████████████████

May 12, 2025

Dear City Staff,

We, Karl and Kirsten Limmer, of ██████ North Rios Ave, support the planting of trees on the Levitt property, 446 Seabright Lane, in accordance with the attached landscape plans submitted to the City. In addition, we have jointly signed a Tree Maintenance Agreement between the private parties, should any future tree growth impede upon our view.

Sincerely,

Kirsten and Karl Limmer  
██████ N. Rios Ave



- 1 ROOTBALL

2 CROWN-1" ABOVE FINISH GRADE

3 FINISH GRADE

4 FINISH GRADE AT SLOPE

5 2 X ROOTBALL DIA. AND DEPTH

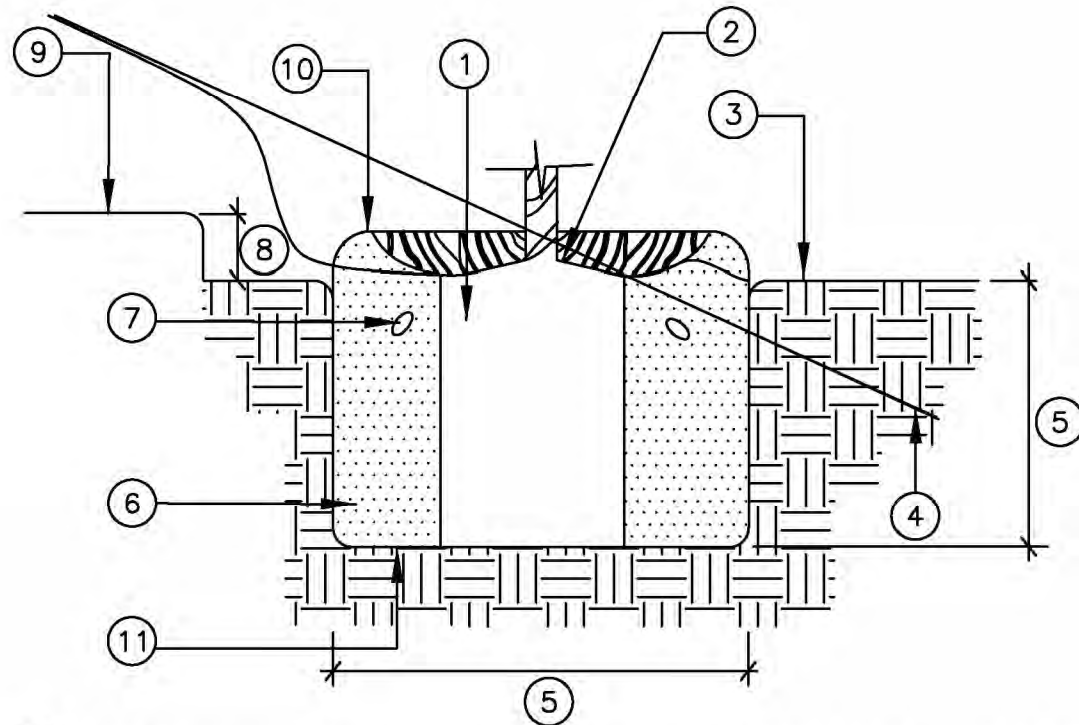
6 BACKFILL MIX (SEE NOTES)
- 7 PLANT TABLETS (SEE NOTES)

8 SEE PAVING DETAILS

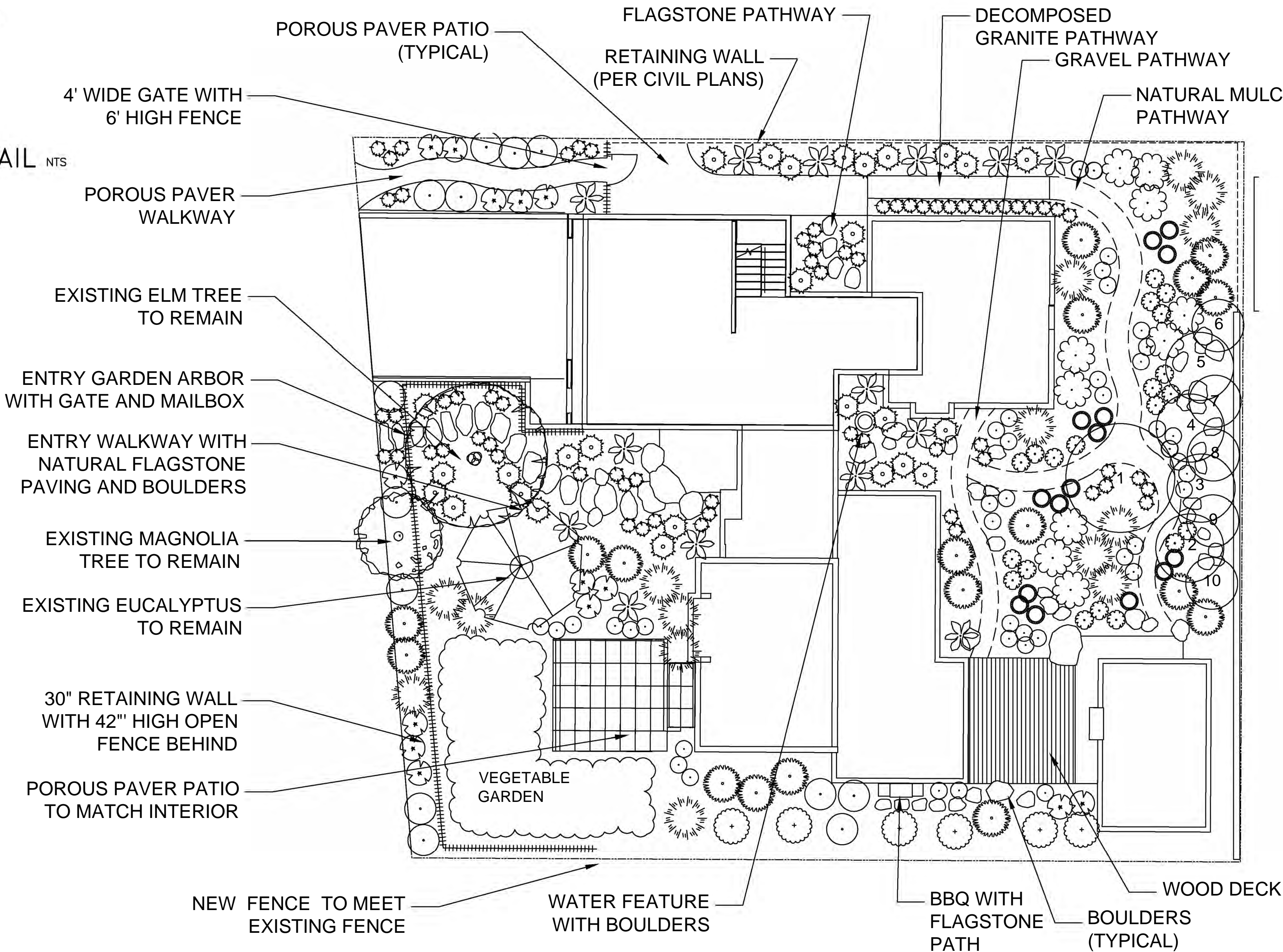
9 TOP OF PAVING

10 4" HIGH WATERING BASIN (IF REQ'D)

11 UNDISTURBED NATIVE SOIL

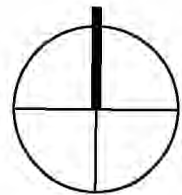


A TREE/SHRUB PLANTING DETAIL NTS



PLANTING PLAN

1" = 10' - 0"



PLANT LEGEND

#	BOTANICAL NAME	COMMON NAME	SIZE	QTY	HEIGHT AT MATURITY	WIDTH AT MATURITY	WUCOLS VALUE (Eto)
TREES							
5	ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 G	1	30+ FEET	10-20 FEET	0.10 - 0.30
7, 9	MELALEUCA NESOPHILA	PINK MELALEUCA	15 G	1	15-20 FEET	8 - 10 FEET	0.10 - 0.30
6, 8, 10	MYRICA CALIFORNICA	WAX MYRTLE	15 G	3	20-30 FT	10-20 FT	0.10 - 0.30
2, 3, 4	OLEA EUROPAEA	OLIVE	36"	4	20-30 FT	20-30 FT	0.10 - 0.30
1	TIPUANA TIPU	TIPU TREE	48"	1	40+ FEET	40+ FEET	0.10 - 0.30

SHRUBS

	CAPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	14	6 FT	3 FT	0.3
	CEANOTHUS GRIEUS	CALIFORNIA LILAC	5 GAL	15	4 - 5 FT	4 - 5 FT	0.10 - 0.30
	ENCELIA CALIFORNICA	BUSH SUNFLOWER	5 GAL	10	4 - 5 FT	4 - 5 FT	<0.10
	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL	58	3.9 - 5 FT	5 FT	<0.10
	POLYPODIUM CALIFORNICUM	CA POLYPODY FERN	5 GAL	28	2 FT	4 FT	0.1
	SALVIA CLEVELANDII	SAGE	1 GAL	18	4 FT	4 FT	0.10 - 0.30
	WESTRINGIA FRUITCOSA	WESTRINGIA	5 GAL	7	4 FT	6 - 10 FT	0.3

PERENNIALS

	ACHILLEAS MILLEFOLIUM	YARROW	1 GAL	15	1 - 3 FT	2 - 3 FT	<0.10
	EPILOBIUM CANUM	CALIFORNIA FUSCHIA	1 GAL	41	24 IN	7 FT	0.10 - 0.30
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	58	1 FT	1 - 3 FT	0.10 - 0.30
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	20	1 - 3 FT	2 - 4 FT	0.10 - 0.30
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL	14	2.5 - 3.5 FT	3 FT	0.10 - 0.30

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Kevin M. Krenek Date

AS-BUILT

By: \_\_\_\_\_ Date: \_\_\_\_\_

R.C.E.: \_\_\_\_\_ Exp: \_\_\_\_\_

PLANTING PLAN

VIRIDIAN LANDSCAPE 6520 NANCY RIDGE DRIVE SAN DIEGO, CA 92121 800-736-6840		LANDSCAPE ARCHITECT VL By: KEVIN M. KRENEK License No. 4179 Date: _____		CITY APPROVED CHANGES APP'D DATE		RECOMMENDED FOR APPROVAL By: _____ Date: _____ By: _____ Date: _____		APPROVED FOR CONSTRUCTION By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 6/30/16		BENCH MARK DESCRIPTION: LOCATION: S/W COR OF JUNCTION OF NARDO AVE AND STEVENS AVE., W/O WITNESS POST, 3 FT W/O TEL POLE ELEV.: 32.469' DATUM: M.S.L.(N.G.V.D. 1929)		CITY OF SOLANA BEACH ENGINEERING DEPARTMENT GRADING PLANS FOR: 446 SEABRIGHT LANE LEVITT RESIDENCE		DRAWING NO. SBGR-XXX Sheet 3 of 4	
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NOT FOR CONSTRUCTION





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Johanna N. Canlas, City Attorney  
**MEETING DATE:** July 2, 2025  
**ORIGINATING DEPT:** City Attorney's Office  
**SUBJECT:** **City Council Consideration of Resolution 2025-075  
Approving the First Amendment to the City Manager's  
Employment Agreement**

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### **BACKGROUND:**

The City Council appointed Alyssa Noelle Maxson Muto as the City Manager and approved the corresponding Employment Agreement (Agreement), effective May 6, 2024. Pursuant to Section C(1)(a) of the Agreement, the City Council conducts an evaluation of the City Manager's performance in May of each year. The performance evaluation concluded and warranted changes to the benefits and compensation for the City Manager.

### **DISCUSSION:**

State law requires that all City executive officers' compensation be approved on a duly noticed public meeting in open session. The action before the City Council is the consideration of an amendment to the City Manager's Employment Agreement reflecting a base salary increase of 10% to \$275,000.00, an additional forty (40) hours of management leave per year, an increase to the maximum vacation cash-out allowance to 120 hours per year, and an increase to the vehicle allowance to \$600.00 per month. Also, the term of the employment agreement will be indefinite.

Changes to the compensation and benefits require an amendment to the Agreement between the City and Ms. Muto. The proposed First Amendment to the Agreement is attached.

Finally, the increase to the maximum vacation cash-out amount will be extended to Executive Management Employees. The City Manager is directed to update Administrative Policy No. 42 to reflect this change.

<b>CITY COUNCIL ACTION:</b>  _____  _____
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**CEQA COMPLIANCE STATEMENT:** Not a project as defined by CEQA.

**FISCAL IMPACT:** Should the amendment be approved, the total estimated fiscal impact of this amendment would be \$36,282. However, since the fiscal impacts of the increased vacation cash-out would not be until FY 2027, the actual impact for FY 2026 would be \$30,382. Of this cost, \$29,182 was already incorporated in the FY 2026 Adopted Budget and it is anticipated the remaining \$1,200 can be absorbed within the existing City Manager budget.

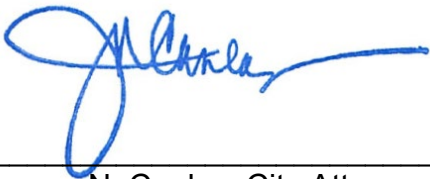
**WORK PLAN:** N/A

**OPTIONS:**

- Approve the First Amendment to the City Manager's Employment Agreement
- Do not approve the First Amendment to the City Manager's Employment Agreement and provide direction as needed.

**DEPARTMENT RECOMMENDATION:**

The Council subcommittee recommends that the City Council consider and adopt Resolution 2025-075 authorizing the Mayor to execute the First Amendment to the Employment Agreement between the City of Solana Beach and Alyssa Noelle Maxson Muto to reflect a base salary increase of 10% to \$275,000.00 annually, effective the first full pay period after May 6, 2025, an additional forty (40) hours of management leave accrued per year, an increase to the maximum vacation cash-out allowance to 120 hours annually, and an increase to the vehicle allowance to \$600.00 per month.



Johanna N. Canlas, City Attorney

**Attachments:**

1. Resolution 2025-075
2. First Amendment to City Manager's Employment Agreement

## RESOLUTION 2025-075

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING AND AUTHORIZING THE MAYOR TO EXECUTE THE FIRST AMENDMENT TO THE EMPLOYMENT AGREEMENT WITH THE CITY MANAGER, TO REFLECT CHANGES IN COMPENSATION AND OTHER BENEFITS

**WHEREAS**, on March 27, 2024, the City of Solana Beach ("City") entered into a three-year employment agreement with Alyssa Noelle Maxson Muto as the City Manager ("Agreement"); and

**WHEREAS**, the Agreement provides for annual performance and compensation review; and

**WHEREAS**, the annual performance evaluation was conducted in May 2025 and concluded with a positive outcome; and

**WHEREAS**, the First Amendment to the Agreement is necessary to reflect these revisions; and

**WHEREAS**, all Executive Management employees will be allowed to cash out up to 120 hours of vacation annually and a revision to Administrative Policy No. 42 is necessary to reflect this revision.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the Mayor to execute the First Amendment to the Employment Agreement between the City of Solana Beach and Alyssa Noelle Maxson Muto to reflect a base salary increase of 10% to \$275,000.00 annually, effective the first full pay period after May 6, 2025, an additional forty (40) hours of management leave accrued per year, an increase to the maximum vacation cash-out allowance to 120 hours annually, and an increase to the vehicle allowance to \$600.00 per month. The term of the Agreement will be indefinite.
3. That the City Council authorizes the City Manager to revise Administrative Policy No. 42 to allow Executive Management employees to cash out up to 120 vacation hours annually.

**PASSED AND ADOPTED** this 2<sup>nd</sup> day of July, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –

ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

**FIRST AMENDMENT TO THE CITY MANAGER  
EMPLOYMENT AGREEMENT**  
**between the City of Solana Beach, a municipal  
corporation, and Alyssa Noelle Maxson Muto**

**1. Parties and Date**

This First Amendment to the City Manager Agreement is dated July 2, 2025, and is effective as of May 17, 2025, which is the first full pay period after May 6, 2025, by and between the City of Solana Beach, California, a municipal corporation (the "City"), and Alyssa Noelle Maxson Muto, an individual (the "Officer").

- A. On March 27, 2024, the City and Officer entered into the Employment Agreement.
- B. The City and Officer intend that all terms of the Employment Agreement referenced above shall remain effective to the extent they are not amended by this First Amendment to the Employment Agreement.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the Parties agree as follows:

**Section 1.** Section 3 of the Employment Agreement is hereby amended to read as follows:

Pursuant to the provisions of Government Code section 36506 and Solana Beach City Municipal Code sections 2.08.010 and 2.08.090, Officer shall hold the appointive office of City Manager at and during the pleasure of the City Council on an indefinite basis until terminated pursuant to the Employment Agreement.

**Section 2.** Section 5(A)(1)(a) of the Employment Agreement is hereby amended to read as follows:

The annual base salary for the position of City Manager shall be \$275,000.00.

**Section 3.** Section 5(B)(3)(a) of the Employment Agreement is hereby amended to read as follows:

Officer shall accrue vacation leave at the highest maximum accrual rate allowed for other Executive Management employees (currently 8.31 hours per pay period). Officer may accrue up to a maximum of three times their annual vacation accrual, or no more than 648.18 hours. Once Officer has accrued the maximum allowable vacation leave, Officer will earn no additional vacation leave until Officer uses vacation leave sufficient to bring Officer below the maximum accrual. Officer may cash out up to 120 vacation hours each year of this Agreement beginning in 2026, and each year thereafter, provided Officer has at least eighty (80) hours of accrued vacation time at the time of cash out. To be eligible for vacation cash out pursuant to this section, Officer must make an irrevocable election as to the number of hours she elects to cash out by November 15<sup>th</sup> of the previous year in accordance with Administrative Policy No. 42. Payment of the amount of vacation cash out will be disbursed in December of the year following the election. Officer shall comply with the vacation leave provisions contained in the City's Personnel Rules and Regulations and any other City policies and procedures regarding vacation leave not in conflict with the provisions stated herein.

**Section 4.** Section 5(B)(3)(C) of the Employment Agreement is hereby amended to read as follows:

Officer shall be entitled to one hundred and twenty hours (120) of management leave each fiscal year. Such leave must be used within the designated fiscal year and cannot be accumulated from year to year or paid in cash.

**Section 5.** Section 5(B)(4) of the Employment Agreement is hereby amended to read as follows:

Officer shall be provided a monthly automobile allowance of \$600.00 in exchange for making a vehicle available for Officer's own use and for City-related business and/or functions during, before and after normal work hours. Officer is responsible for all liability for personal injury and property damages, and for operation, maintenance, and repair of the automobile arising out of Officer's use of the automobile. Officer is also responsible for paying all income tax liability, whether federal or state, arising out of Officer's receipt of the automobile allowance. Officer shall submit proof to City of a valid driver's license and insurance for their automobile. By Officer making their personal vehicle available for use, Officer is not precluded from using City vehicles for City business during, before and after the normal workday on occasion, when appropriate.

**Section 6.** Except as modified herein, all other terms and conditions of the Employment shall remain the same.

IN WITNESS WHEREOF the Parties have executed this First Amendment To The City Manager Employment Agreement as of the day and year first above written.

CITY OF SOLANA BEACH

OFFICER

By: \_\_\_\_\_  
Lesa Heebner, Mayor

By: \_\_\_\_\_

APPROVED AS TO FORM

By: \_\_\_\_\_  
Johanna N. Canlas, City Attorney





July 26, 2025

Members of the U.S. Congress  
U.S. Senate/U.S. House of Representatives  
Washington, DC 20510/20515

**SUBJECT: Farewell to Foam Act (S.897 and H.R.1918)**

Dear Senators and Representatives,

We, the undersigned local elected officials, business owners, and community leaders, are writing to ask you to take action to reduce plastic foam by cosponsoring and passing the Farewell to Foam Act (S.897 and H.R.1918). This timely bill addresses a pervasive threat to the environment and human health and follows the actions of many local governments, states, and businesses to phase out plastic foam products.

Plastic foam, formally known as expanded polystyrene, is a lightweight, brittle material that breaks up into small pieces, spreading easily in water and air. Plastic foam pollutes oceans, rivers, and lakes, and it is among the top 10 most littered items across the U.S.<sup>i,ii</sup> Polystyrene, which includes plastic foam, has been found in drinking water, the air, and even in our bodies.<sup>iii, iv, v</sup> Plastic foam is everywhere, and the associated risks are too costly to ignore.

Plastic foam is among the most abundant forms of marine plastic pollution, and was one of the first types of plastic discovered in the ocean.<sup>i,vi</sup> Particles of plastic foam and other types of polystyrene have been increasing in coastal sediments, some of the sea's deepest trenches, and coastal wetlands and bays, where young fish grow and mature.<sup>vii,viii,ix,x,xi</sup> Plastic foam can act as a sponge soaking up other toxic chemicals in the water.<sup>vi</sup> Sea turtles, seabirds, and other ocean wildlife can mistake plastic foam for food, and this can block their digestive systems or lead to starvation.<sup>i</sup> Even when plastic foam is not fatal, it is one more stressor for vulnerable ocean wildlife experiencing the threats of habitat loss, overfishing, and pollution.

Plastic foam also poses significant health risks to people. The primary building block of plastic foam, styrene, is a probable human carcinogen and has been linked to lymphatic cancers and leukemia.<sup>xii</sup> High levels of exposure to styrene can cause respiratory and eye irritation, vision and hearing loss, and impaired memory and concentration.<sup>xiii</sup> Faced with evidence of polystyrene's harmful effects, the American Academy of Pediatrics recommends that parents avoid exposing their children to products made of polystyrene, which includes plastic foam.<sup>xiv</sup>

More than 8 million metric tons, or 17.6 billion pounds, of plastic foam are produced globally every year.<sup>xv</sup> Of the plastic foam discarded in the U.S., only 1% or less gets recycled.<sup>xvi, xvii, xviii</sup>

Fortunately, local governments and states are leading the way to address the problem of plastic foam pollution. As of May 2025, 12 states and more than 200 counties and cities have passed policies to curb single-use plastic foam.<sup>xi</sup> These policies are working. For example, after Charleston, South Carolina banned foam takeout boxes in 2018, the city saw a 20% decrease in this type of trash during beach clean-ups the following year.<sup>xx</sup>

The American public recognizes policy change as a solution to plastic foam. National polling released by Oceana in 2025 found that 78% of registered U.S. voters, including Republicans, Democrats, and Independents, support policies to reduce single-use plastic foam.<sup>xxi</sup>

Now, it's time for a nationwide policy to stop plastic foam pollution at the source. The Farewell to Foam Act would phase out the sale and distribution of single-use plastic foam, including foodware, packing peanuts, and foam coolers, across the country. For the sake of our environment, our health, and our communities, we call on Congress to pass this bill.

Thank you for your consideration.

Sincerely,



Lesa Heebner  
Mayor

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- [ii] Nava V, Chandra S, Ahern J, et al. (2023) Plastic debris in lakes and reservoirs. *Nature Publishing Group* 619: 317–22. doi: 10.1038/s41586-023-06168-4
- [iii] Koelmans AA, Mohamed Nor NH, Hermesen E, et al. (2019) Microplastics in freshwaters and drinking water: Critical review and assessment of data quality. *Water Research* 155: 410–22. doi: 10.1016/j.watres.2019.02.054
- [iv] Allen S, Allen D, Baladima F, et al. (2021) Evidence of free tropospheric and long-range transport of microplastic at Pic du Midi Observatory. *Nature Communications* 12: 7242. doi: 10.1038/s41467-021-27454-7
- [v] Leslie HA, J. M. van Velzen M, Brandsma SH, et al. (2022) Discovery and quantification of plastic particle pollution in human blood. *Environment International*: 107199. doi: 10.1016/j.envint.2022.107199
- [vi] Carpenter EJ, Anderson SJ, Harvey GR, Miklas HP and Peck BB (1972) Polystyrene Spherules in Coastal Waters. *Science* 178: 749. doi: 10.1126/science.178.4062.749
- [vii] Brandon JA, Jones W and Ohman MD (2019) Multidecadal increase in plastic particles in coastal ocean sediments. *Science Advances* 5: eaax0587. doi: 10.1126/sciadv.aax0587
- [viii] Tsuchiya M, Kitahashi T, Nakajima R, et al. (2023) Distribution of microplastics in bathyal- to hadal-depth sediments and transport process along the deep-sea canyon and the Kuroshio Extension in the Northwest Pacific. *Marine Pollution Bulletin* : 115466. doi: 10.1016/j.marpolbul.2023.115466
- [ix] Fulfer VM and Walsh JP (2023) Extensive estuarine sedimentary storage of plastics from city to sea: Narragansett Bay, Rhode Island, USA. *Scientific Reports Nature Publishing Group*.13: 10195. doi: 10.1038/s41598-023-36228-8