



CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

AGENDA

Joint REGULAR Meeting
Wednesday, May 21, 2025 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are held at 6:00pm on Wednesdays and are broadcast live. Please check the City's website for the meeting schedule or any special meetings. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

COUNCIL DISCLOSURE

Pursuant to the Levine Act (Gov't Code Section 84308), any party to a permit, license, contract (other than competitively bid, labor or personal employment contracts) or other entitlement before the Council is required to disclose on the record any contribution, including aggregated contributions, of more than \$250 made by the party or the party's agents within the preceding 12 months to any Council Member. Participants and agents are requested to make this disclosure as well. The disclosure must include the name of the party or participant and any other person making the contribution, the name of the recipient, the amount of the contribution, and the date the contribution was made.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

CITY COUNCILMEMBERS

Lesa Heebner
Mayor

Kristi Becker
Deputy Mayor / Councilmember District 2

Jill MacDonald
Councilmember District 4

David A. Zito
Councilmember District 1

Jewel Edson
Councilmember District 3

Alyssa Muto
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

- National Public Works Week

PRESENTATIONS: *Ceremonial items that do not contain in-depth discussion and no action/direction.*

- San Diego County Fair Update

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:

An opportunity for City Council to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.

CITY MANAGER / CITY ATTORNEY REPORTS:

An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.9.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meeting held on May 7, 2025.

Item A.1. Report (click here)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for April 19, 2025 – May 2, 2025.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. Solana Beach Lighting District for Fiscal Year 2025/26. (File 0495-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-040** approving the Solana Beach Lighting Maintenance District Engineer's Report for Fiscal Year 2024/25 for proceedings of the annual levy of assessments within a special maintenance district.
2. Adopt **Resolution 2025-041** declaring intention to provide for an annual levy and collection of assessments in a special maintenance district and setting a time and date for a public hearing; and scheduling the public hearing for June 18, 2025.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Solana Beach Coastal Rail Trail Maintenance District Fiscal Year 2025/26. (File 0495-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-037** initiating the proceedings for the annual levy of assessments within the Coastal Rail Trail Maintenance District for Fiscal Year 2025/26.
2. Adopt **Resolution 2025-038** approving the Preliminary Engineer's Report for proceedings of the annual levy of assessments within Coastal Rail Trail Maintenance District.
3. Adopt **Resolution 2025-039** declaring intention to provide for the annual levy and collection of assessments in Coastal Rail Trail Maintenance District and setting a time and date for a public hearing for June 18, 2025.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.5. List of Projects for Fiscal Year 2025/26 to Receive Road Maintenance Rehabilitation Account Funding as Required by Senate Bill (SB) 1. (File 0820-35)

Recommendation: That the City Council

1. Adopt Resolution 2025-042:

- a. Authorizing the City Engineer to establish a project list for Local Streets and Roads Funding Program Road Maintenance and Rehabilitation Account FY 2025/26 revenues and designates the 2025 and 2026 Annual Street Maintenance and Repairs Project, as identified in the City's FY 2025/26 Capital Improvement Program list, to receive SB 1 funding. It is anticipated that the designated project will rehabilitate the pavement through asphalt overlays of Lomas Santa Fe Drive from the eastern edge of the North County Transit District railroad right of way to east of Solana Hills Drive; and several residential streets including San Rodolfo Drive/Solana Hills Drive from Stevens Avenue to Lomas Santa Fe Drive, Sierra Avenue from Estrella Street to W. Cliff Street, sections of Highland Drive, all of Cerro Verde Drive, all of El Pedregal Court, all of Ramona Place, all of La Sobrina Court, all of Loma Corta Drive, all of Santa Madera Court, and all of Santa Rufina Court. It is also anticipated that the designated project will be completed by March 2026 and will have an estimated useful life of approximately 15 years.
- b. Authorizing the City Engineer to submit the project list to the California Transportation Commission for the 2025/26 Local Streets and Roads Funding Program using funds from the Road Maintenance and Rehabilitation Account.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.6. Quarterly Investment Report. (File 0350-44)

Recommendation: That the City Council

1. Accept and file the Cash and Investment Report for the quarter ending March 31, 2025.

[Item A.6. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.7. Community Development Professional Service Agreements. (File 0600-05)

Recommendation: That the City Council

1. Adopt **Resolution 2025-044** authorizing the City Manager to execute Professional Services Agreements with Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc.

[Item A.7. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.8. Sewer and Storm Drain Maintenance Services. (File 0850-40)

Recommendation: That the City Council

1. Adopt **Resolution 2025-058** authorizing the City Manager to execute Amendment No. 3 to the Professional Services Agreement with iDrains, LLC, DBA Affordable Pipeline Services, to include quarterly maintenance of an additional 23 Full Capture Systems, increasing the agreement by \$10,120 annually, to a not-to-exceed amount of \$390,030 for FY 2025/2026 and subsequent years.

[Item A.8. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.9. 2024 State Homeland Security Program Grant Funds for Firefighting Equipment. (File 0260-40)

Recommendation: That the City Council

1. Approve **Resolution 2025-057**:
 - a. Accepting \$7,788 in federal funds from a 2024 State Homeland Security Program (SHSP) grant awarded to the City of Solana Beach for the purchase of a ventilation fan with accessories.
 - b. Authorizing the City Manager, or her designee, to sign and submit the required California Governor's Office of Emergency Services Standard Assurances for Cal OES Federal Non-Disaster Grant Programs.
 - c. Approving a budget amendment of \$7,788 to the Misc. Grant Fund – Federal Grants revenue account 246-46600 and the Minor Equipment expenditure account 2466120-64190.
 - d. Authorizing the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.

[Item A.9. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1. – B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 615 N. Granados Avenue, Applicant: DMIG 615 Granados LLC, Case DRP23-011/SDP23-015 (North Lot), and DRP23-012/SDP23-016 (South Lot), APN: 263-082-17. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan, and may be found, as conditioned, to meet the discretionary findings required to approve a DRP and SDP Waiver for the proposed North Lot and a DRP for the proposed South Lot. The project also meets the requirements of the SDP for South Lot. Therefore, should the City Council be able to make the required findings, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the DRP, SDP, and SDP Waiver for the North Lot exempt from the California Environmental Quality Act pursuant to Sections 15303 and 15332 of the State CEQA Guidelines;
3. Find the DRP and SDP for the South Lot exempt from the California Environmental Quality Act pursuant to Sections 15303 and 15332 of the State CEQA Guidelines; and
4. If the City Council makes the requisite findings and approves the project, adopt the following:
 - a. **Resolution 2025-019** conditionally approving a Development Review Permit (DRP23-011), Structure Development Permit (SDP23-015), and Structure Development Permit Waiver to construct a two-story single-family residence with an attached two-car garage and perform associated site improvements on the North Lot; and
 - b. **Resolution 2025-020** conditionally approving a Development Review Permit (DRP23-012) and Structure Development Permit (SDP23-016) to construct a two-story single-family residence with an attached two-car garage and perform associated site improvements on the South Lot.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.2. Public Hearing: 671 East Solana Circle, Applicant: Beals, Nicholls, Case DRP24-015, APN 298-320-27-00. (File 0600-40)

The proposed project meets the minimum objective requirements under the Park Del Mar Development regulations and the underlying SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-055** conditionally approving a DRP to demolish a single-family residence, construct a replacement one-story, single-family residence with an attached one-car garage and perform associated site improvements at 671 East Solana Circle.

[Item B.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.3. Public Hearing: 448 Marview, Applicant: Johansen, Case DRP22-021, SDP22-019, APN 263-182-07-00. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-054** conditionally approving a DRP and SDP for a new two-story, single-family residence and an attached two-car garage and perform associated site improvements at 448 Marview Drive, Solana Beach.

[Item B.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1. – C.2.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. Adopt (2nd Reading) of Ordinance 538 relating to the Annual Sewer Service Charge per Equivalent Dwelling Unit (EDU) for Fiscal Year 2026 through Fiscal Year 2030. (File 0870-40)

Recommendation: That the City Council

1. Adopt **Ordinance 538** related to the Sewer Service Charge for FY 2026 through 2030.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. Draft Work Plan Fiscal Year 2025/26. (File 0410-05)

Recommendation: That the City Council

This item is pending and will be posted once it is finalized.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

LEGISLATIVE POLICY AND CORRESPONDENCE:

WORK PLAN COMMENTS:

Adopted June 26, 2024

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker

- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate & Resiliency Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is June 4, 2025

Always refer to the City's website for an updated schedule or contact City Hall.

www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO
CITY OF SOLANA BEACH } §

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the May 21, 2025 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on May 15, 2025 at 3:45 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., May 21, 2025, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events Calendar for updates.

- **Budget & Finance Commission**
- **Climate & Resiliency Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

MINUTES

Joint REGULAR Meeting

Wednesday, May 7, 2025 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Minutes contain formal actions taken at a City Council meeting.



- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

CITY COUNCILMEMBERS

Lesa Heebner
Mayor

Kristi Becker
Deputy Mayor / Councilmember District 2

Jill MacDonald
Councilmember District 4

David A. Zito
Councilmember District 1

Jewel Edson
Councilmember District 3

Alyssa Muto
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:02 p.m.

Present: Lesa Heebner, Kristi Becker, Jill MacDonald, David A. Zito, Jewel Edson

Absent: None

Also Alyssa Muto, City Manager

Present: Johanna Canlas, City Attorney
Angela Ivey, City Clerk
Dan Goldberg, City Engineer
Rachel Jacobs, Finance Dir.
Joseph Lim, Community Development Dir.

FLAG SALUTE:

APPROVAL OF AGENDA:

Motion: Moved by Deputy Mayor Becker and second by Councilmember Edson to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

ORAL COMMUNICATIONS:

Kimberly Sullivan-Long, Solana Beach Library, Joannie Kerr and Melissa Fischel, Solana Beach Friends of the Library, announced the library's Centennial Anniversary Celebration on June 10th.

CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:

CITY MANAGER / CITY ATTORNEY REPORTS:

A. CONSENT CALENDAR: (Action Items) (A.1. - A.5.)

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on April 23, 2025.

Motion: Moved by Councilmember Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for April 5, 2025 – April 18, 2025.

Motion: Moved by Councilmember Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.3. Video Production Services and Web Streaming Services. (File 0190-20)

Recommendation: That the City Council

1. Adopt **Resolution 2025-045**, authorizing the City Manager to execute an agreement with Bob Hoffman Photography and Video for 3 years with two allowable 1-year extensions for a yearly contract amount not to exceed \$27,816 and a total contract amount not to exceed \$139,080.
2. Adopt **Resolution 2025-046**, authorizing the City Manager to execute an agreement with Fisher Integrated for 3 years with two allowable 1-year extensions for a yearly contract amount not to exceed \$21,600 and a total contract amount not to exceed \$108,000.

Motion: Moved by Councilmember Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.4. Destruction of Obsolete Records. (File 0170-50)

Recommendation: That the City Council

1. Adopt **Resolution 2025-036** authorizing the destruction of obsolete records in accordance with the City's retention schedule and state law.

Motion: Moved by Councilmember Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.5. Pollinator Garden at City Hall. (File 0700-25)

Recommendation: That the City Council

1. Adopt **Resolution 2025-043** authorizing a Pollinator Garden to be planted at City Hall.

Motion: Moved by Councilmember Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

B. PUBLIC HEARINGS: (B.3.)

B.3. Public Hearing: 615 North Granados Ave., Applicant: DMIG 615 Granados LLC, Case: DRP23-011/SDP23-015 (North Lot), and DRP23-012/SDP23-016 (South Lot); APN: 263-082-17 (File 0600-40)

Recommendation: That the City Council

1. Continue the Public Hearing, date-certain, to May 21, 2025, to allow additional time for the project plans to be revised and reviewed by Staff.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Becker to continue the public hearing to May 21, 2025. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.2.)

C.1. New Cal Fire Hazard Severity Zones. (File 0260-50)

Recommendation: That the City Council

1. Receive this presentation on the new Very High Fire Hazard Severity Zones and High Fire Hazard Severity Zones with the mandated adoption timelines.

Fire Staff presentation.

Comments received from Mark Ruh (time donated by Gracinda Maier, Martha Grim), Nick Carroll, and Kate Kousser about historical vegetation fire patterns and existing vegetation within the Lagoon.

B. PUBLIC HEARINGS: (B.1. – B.2.)

B.1. Introduction (1st Reading) of Ordinance 538 Relating to the Annual Sewer Service Charge per Equivalent Dwelling Unit (EDU) for Fiscal Year 2026 through Fiscal Year 2030. (File 1040-70)

Recommendation: That the City Council

1. Conduct the Public Hearing:
 - a. Open the public hearing,
 - b. Report Council disclosures,
 - c. Receive public testimony,
 - d. Report any protest(s) received,
 - e. Close the public hearing.
2. Introduce **Ordinance 538** amending Section 14.08.060 of Chapter 14.08 of the Solana Beach Municipal Code Relating to the Annual Sewer Service Charge per Equivalent Dwelling Unit (EDU) and Adopt by Reference by the City of Solana Beach for Fiscal Year 2026 through Fiscal Year 2030.

Staff and Consultant presentation.

Council disclosures.

The City Clerk reported that 17 written protests were received.

Motion: Moved by Councilmember Zito and second by Councilmember Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

Motion: Moved by Councilmember Zito and second by Councilmember MacDonald to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

B.2. Public Hearing: 1005 Highland Drive, Applicant: Novak, Case: MOD25-001, APN: 298-391-04. (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings to approve a Modification to the approved DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-035** conditionally approving a Modification to the approved DRP, for a replacement single-family residence at 1005 Highland Dr., Solana Beach.

Staff presentation.

Mayor Heebner opened the public hearing.

Council disclosures.

John Novak, Applicant.

Motion: Moved by Deputy Mayor Becker and second by Councilmember Edson to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.2.)

C.2. Draft Budget Fiscal Years 2026 and 2027. (File 0330-30)

Recommendation: That the City Council

1. Review the FY 2026 and FY 2027 draft Budget and provide Staff with direction to formulate the final Budget for adoption on June 18, 2025.

Staff presentation.

Public Comment
Melissa Fischel

Council provided feedback on the budget, including requests for additional budget items and information to return with the Budget Adoption in June.

WORK PLAN COMMENTS: None
Adopted June 26, 2024

COMPENSATION & REIMBURSEMENT DISCLOSURE: None

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)

CITIZEN COMMISSION(S)

ADJOURN:

Mayor Heebner adjourned the meeting at 8:33 p.m.

Approved: _____

Angela Ivey, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Finance – Rachel Jacobs, Finance Director
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands: 04/19/25 through 05/02/25

Check Register - Disbursement Fund (Attachment 1)		\$	438,896.25
Net Payroll Retiree Health	May 2, 2025		2,955.00
Net Payroll Staff P22	April 25, 2025		<u>270,674.36</u>
TOTAL		\$	<u>712,525.61</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for April 19, 2025, through May 2, 2025, reflects total expenditures of \$712,525.61 from various City sources.

WORK PLAN: N/A

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

CITY COUNCIL ACTION: _____ _____

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.



Alyssa Muto, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

4/19/2025 - 5/2/2025

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant P22	04/23/2025	9002122	\$1,080.00
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant P22	04/23/2025	9002115	\$12,796.24
AFLAC	APRIL 25	05/01/2025	108202	\$1,062.64
CHARTER COMMUNICATIONS	RFND: ENC24-0093	05/01/2025	108215	\$833.00
CHARTER COMMUNICATIONS	RFND: ENC24-0090	05/01/2025	108215	\$833.00
CALPERS	P21 PERS 04/11/25 PD (04/23/25 PERS)	04/23/2025	9042325	\$67,513.41
GREGORY & LYNETTE PETRE	RFND: GRD23-0005	05/01/2025	108230	\$19,637.00
JULIE & BRIAN GRUBER	RFND: BC-012505 ANNUAL FIRE INSPECTION FEE	05/01/2025	108223	\$112.00
DONALD F TELLEZ	RFND: SB0648043-CITATION	04/23/2025	108181	\$48.00
CAROL ELIEL	RFND: FCCC 04/06/25	04/23/2025	108175	\$500.00
CASSANDRA BLACKWELL	RFND: FCCC 04/05/25	04/23/2025	108176	\$500.00
LISA MOORE	RFND: FCCC-04/12/25	05/01/2025	108225	\$500.00
MORTEZA ZIAEI & SHAHPARAK ZALTASH	RFND: ADDR25-0007/B25-0078	05/01/2025	108245	\$1,705.10
MORTEZA ZIAEI & SHAHPARAK ZALTASH	RFND: ADDR25-0007/B25-0078	05/01/2025	108245	\$270.00
SELF INSURED SERVICES COMPANY	MAY 25-DENTAL-GROUP ID: PDV00148	05/01/2025	9002127	\$2,683.80
FIDELITY SECURITY LIFE INSURANCE COMPANY	MAY 25-VISION-GROUP ID: 1051871	05/01/2025	108221	\$395.00
IAFF-MERP	APR 25-FF TRUST PAYMENT	05/01/2025	9002134	\$4,900.00
WARMAN HOLDINGS LLC	RFND: DUPLICATE PAYMENT BC-012492	04/23/2025	108197	\$4.00
WARMAN HOLDINGS LLC	RFND: DUPLICATE PAYMENT BC-012492	04/23/2025	108197	\$361.00
JORDAN BLIMBAUM	RFND: SB0647768 & SB0648924	04/23/2025	108184	\$121.00
TOTAL GENERAL FUND				\$115,855.19
1005150 - CITY CLERK				
STAPLES CONTRACT & COMMERCIAL	BINDERS	04/23/2025	108193	\$133.65
STAPLES CONTRACT & COMMERCIAL	BATTERIES/PAPER	04/23/2025	108193	\$69.00
STAPLES CONTRACT & COMMERCIAL	PAPER	04/23/2025	108193	\$24.68
CORODATA RECORDS MANAGEMENT, INC	MAR 25- STORAGE	04/23/2025	108177	\$943.18
KFORCE INC.	TEMP SERVICES -04/10/25-CLK	04/23/2025	9002116	\$900.00
TOTAL CITY CLERK				\$2,070.51
1005200 - CITY MANAGER				
AMERICAN COASTAL COALITION	ANNUAL MEMBERSHIP DUE	05/01/2025	108203	\$300.00
TOTAL CITY MANAGER				\$300.00
1005250 - LEGAL SERVICES				
BURKE WILLIAMS & SORENSEN	96-0001-PROF SVC	04/23/2025	9002113	\$7,552.50
BURKE WILLIAMS & SORENSEN	96-0001.001-PROF SVC	04/23/2025	9002113	\$1,537.00
BURKE WILLIAMS & SORENSEN	96-0006-PROF SVC	04/23/2025	9002113	\$861.30
BURKE WILLIAMS & SORENSEN	96-0007-PROF SVC	04/23/2025	9002113	\$159.00
BURKE WILLIAMS & SORENSEN	96-0014-PROF SVC	04/23/2025	9002113	\$2,196.50
BURKE WILLIAMS & SORENSEN	96-0019-PROF SVC	04/23/2025	9002113	\$2,676.50
BURKE WILLIAMS & SORENSEN	96-0037.003-PROF SVC	04/23/2025	9002113	\$801.90
BURKE WILLIAMS & SORENSEN	96-0037.004-PROF SVC	04/23/2025	9002113	\$2,524.50
BURKE WILLIAMS & SORENSEN	96-0040.005-PROF SVC	04/23/2025	9002113	\$317.00
BURKE WILLIAMS & SORENSEN	FEB 25-RETAIN	04/23/2025	9002113	\$15,000.00

TOTAL LEGAL SERVICES				\$33,626.20
1005300 - GENERAL FUND - FINANCE				
HDL COREN & CONE	APR-JUN 25 -CONTRACT SVC PROPERTY TAX & AUDIT	05/01/2025	9002129	\$3,871.17
TOTAL GENERAL FUND - FINANCE				\$3,871.17
1005400 - HUMAN RESOURCES				
DEPARTMENT OF JUSTICE	MAR 25-FINGERPRINT APPS	04/23/2025	108179	\$160.00
PATRICK SAMILA	REIMB: TRAINING	05/01/2025	108229	\$8.99
TOTAL HUMAN RESOURCES				\$168.99
1005450 - INFORMATION SERVICES				
COX COMMUNICATIONS INC	0013410039730701-04/19/25-05/18/25	05/01/2025	108218	\$320.16
WESTERN AUDIO VISUAL	AV MAINTENANCE SUPPORT	05/01/2025	108244	\$499.00
AT&T CALNET 3	9391012278-03/24/25-04/23/25	05/01/2025	108206	\$4,523.05
AT&T CALNET 3	9391012282-03/24/25-04/23/25	05/01/2025	108207	\$31.85
AT&T CALNET 3	9391053641-03/24/25-04/23/25	05/01/2025	108208	\$155.55
AT&T CALNET 3	9391062899-03/24/25-04/23/25	05/01/2025	108209	\$155.55
KNOWBE4,INC.	TRAINING SUBSCRIPTION-MAY 25 - MAY 26	05/01/2025	9002130	\$1,881.44
TOTAL INFORMATION SERVICES				\$7,566.60
1005550 - PLANNING				
STAPLES CONTRACT & COMMERCIAL	FOLDERS	05/01/2025	108240	\$81.98
STAPLES CONTRACT & COMMERCIAL	POSTER FRAME/TAPE/PENS	05/01/2025	108240	\$29.23
TOTAL PLANNING				\$111.21
1005560 - BUILDING SERVICES				
STAPLES CONTRACT & COMMERCIAL	POSTER FRAME/TAPE/PENS	05/01/2025	108240	\$32.17
TOTAL BUILDING SERVICES				\$32.17
1005590 - CODE ENFORCEMENT				
COUNTY OF SAN DIEGO_5210	JAN-MAR 25-PARKING SITE ADMIN	04/23/2025	108178	\$9,757.75
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$81.54
TOTAL CODE ENFORCEMENT				\$9,839.29
1006120 - FIRE DEPARTMENT				
SIGTRONICS CORPORATION	MICROPHONE/HEADBAND/HEADSET STRAP/LABOR-REPAIR	05/01/2025	108236	\$191.83
NAPA AUTO PARTS INC	ANTI FREEZE	04/23/2025	108187	\$107.64
PALOMAR COLLEGE	FIRE SPRING CLASS 2025	05/01/2025	108228	\$710.00
ACE UNIFORMS LLC	PANTS	05/01/2025	9002124	\$368.03
ACE UNIFORMS LLC	NAME TAG	05/01/2025	9002124	\$19.47
ACE UNIFORMS LLC	NAME TAG	05/01/2025	9002124	\$21.54
AT&T CALNET 3	9391012280-03/24/25-04/23/25	05/01/2025	108205	\$332.57
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$24.64
AFECO INC	TURNOUT CLEANING/REPAIR	05/01/2025	108237	\$1,193.25
AFECO INC	PANT CLEANING/RESTITCHING	05/01/2025	108237	\$28.25
REGIONAL COMMS SYS MS 056 RCS	MAR 25-SHERIFF RADIOS	05/01/2025	108234	\$796.50
REGIONAL COMMS SYS MS 056 RCS	MAR 25-CAP CODE	05/01/2025	108234	\$32.50
REGIONAL COMMS SYS MS 056 RCS	MAR 25-FIRE RADIOS	05/01/2025	108234	\$1,298.00
FIRE STATS LLC	FEB - MAR 25-MAINT/OPERATION ANALYSIS TOOLS	05/01/2025	108222	\$425.00
MUNICIPAL EMERGENCY SERVICES, INC	SCBA REPAIR	05/01/2025	108227	\$188.36
AT&T CALNET 3	9391059865-03/01/25-03/31/25	04/23/2025	108174	\$667.37
TOTAL FIRE DEPARTMENT				\$6,404.95
1006130 - ANIMAL CONTROL				
HABITAT PROTECTION, INC	MAR 25- DEAD ANIMAL REMOVAL	04/23/2025	9002114	\$160.00
HABITAT PROTECTION, INC	APR 25- DEAD ANIMAL REMOVAL	05/01/2025	9002128	\$160.00

HABITAT PROTECTION, INC	APR 25-DEAD ANIMAL REMOVAL	05/01/2025	9002128	\$160.00
TOTAL ANIMAL CONTROL				\$480.00
1006170 - MARINE SAFETY				
CAMEO PAPER & JANITORIAL SUPPLY INC	TOWELS	05/01/2025	108213	\$78.74
AT&T CALNET 3	9391019469-03/20/25-04/19/25	05/01/2025	108210	\$32.17
AT&T CALNET 3	9391053651-03/25/25-04/24/25	05/01/2025	108211	\$316.08
AT&T CALNET 3	9391012281-03/25/25-04/24/25	05/01/2025	108212	\$97.74
WASHED OUT PRESSURE WASHING	PRESSURE WASH LG TOWERS	05/01/2025	108243	\$1,116.00
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$1,298.14
CHRISTIAN COMPANY	REPAIR	05/01/2025	108216	\$125.00
TOTAL MARINE SAFETY				\$3,063.87
1006510 - ENGINEERING				
STAPLES CONTRACT & COMMERCIAL	BATTERIES/ANTI FATIGUE MAT/PENS	05/01/2025	108240	\$97.00
STAPLES CONTRACT & COMMERCIAL	BATTERIES/ANTI FATIGUE MAT/PENS	05/01/2025	108240	\$22.99
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$53.14
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$178.87
WEST COAST CIVIL, INC	MAR 25-PROF SERVICES	04/23/2025	108198	\$3,750.00
TOTAL ENGINEERING				\$4,102.00
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	04/23/2025	108186	\$16.97
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	05/01/2025	108226	\$16.96
SANTA FE IRRIGATION DISTRICT	005506-014-03/05/25-04/01/25	04/23/2025	108190	\$184.54
MIKHAIL OGAWA ENGINEERING, INC.	MAR 25- STORMWATER PROGRAM	04/23/2025	9002117	\$11,616.15
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$53.10
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$520.35
IDRAINS LLC	H-STORMDRAIN MAINT	05/01/2025	108201	\$1,700.00
TOTAL ENVIRONMENTAL SERVICES				\$14,108.07
1006530 - STREET MAINTENANCE				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	04/23/2025	108186	\$27.55
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	05/01/2025	108226	\$27.56
SANTA FE IRRIGATION DISTRICT	011695-000-03/01/25-03/31/25	04/23/2025	108190	\$103.04
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$53.10
NISSHO OF CALIFORNIA	MAR 25- LANDSCAPE MAINTENANCE SERVICES	04/23/2025	9002119	\$2,178.12
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$471.58
BFS GROUP OF CALIFORNIA LLC	POTTING SOIL/FENDER WASHER	05/01/2025	108219	\$141.43
BFS GROUP OF CALIFORNIA LLC	TAPE/LIGHT CONTROL/BLK TOP PATCH	04/23/2025	108180	\$216.00
TOTAL STREET MAINTENANCE				\$3,218.38
1006540 - TRAFFIC SAFETY				
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$37.93
ALL CITY MANAGEMENT SERVICES, INC	CROSSING GUARDS-03/30/25-04/12/25	05/01/2025	9002125	\$6,460.94
TOTAL TRAFFIC SAFETY				\$6,498.87
1006550 - STREET CLEANING				
SANTA FE IRRIGATION DISTRICT	011695-000-03/01/25-03/31/25	04/23/2025	108190	\$60.52
PRIDE INDUSTRIES	FEB 25-TRASH ABATEMENT SERVICES	05/01/2025	108231	\$1,614.14
TOTAL STREET CLEANING				\$1,674.66
1006560 - PARK MAINTENANCE				
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	04/23/2025	108186	\$20.13
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	05/01/2025	108226	\$20.14
MISSION LINEN & UNIFORM INC	UNIFORM REPLACEMENTS	05/01/2025	108226	\$321.68
RANCHO SANTA FE SECURITY SYS INC	MAY 25-ALARM MONITORING	05/01/2025	108233	\$386.40

SANTA FE IRRIGATION DISTRICT	005979-005-02/04/25-04/01/25	04/23/2025	108190	\$257.45
SANTA FE IRRIGATION DISTRICT	005506-019-03/01/25-03/31/25	04/23/2025	108190	\$391.84
RANCHO SANTA FE PROTECTIVE SERVICES INC	JAN 25- SECURITY PATROL SERVICES	04/23/2025	108189	\$695.00
RANCHO SANTA FE PROTECTIVE SERVICES INC	MAY 25- SECURITY PATROL SERVICES ONLY	05/01/2025	108232	\$695.00
ARTURO ZERMENO	MILEAGE-04/19/25	05/01/2025	108204	\$36.40
HD SUPPLY, INC.	LINERS/BLEACH/TOILET PAPER	04/23/2025	108183	\$2,708.94
VICTOR MAGANA GONZALEZ	MILEAGE-04/12/25	05/01/2025	108241	\$32.20
BFS GROUP OF CALIFORNIA LLC	LIGHT BULBS	04/23/2025	108180	\$23.48
BFS GROUP OF CALIFORNIA LLC	SWITCH FIXTURE/RECIP BLADE	05/01/2025	108219	\$30.73
RANCHO SANTA FE PROTECTIVE SERVICES INC	FEB 25- SECURITY PATROL SERVICES	04/23/2025	108189	\$695.00
SANTA FE IRRIGATION DISTRICT	005506-018-03/01/25-03/31/25	04/23/2025	108190	\$159.17
EMBROIDERY IMAGE	POLOS-PW	04/23/2025	108182	\$114.75
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$75.86
NISSHO OF CALIFORNIA	MAR 25- AS NEEDED LANDSCAPING SERVICES	04/23/2025	9002119	\$663.63
NISSHO OF CALIFORNIA	MAR 25- LANDSCAPE MAINTENANCE SERVICES	04/23/2025	9002119	\$10,539.91
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$97.56
TOTAL PARK MAINTENANCE				\$17,965.27

1006570 - PUBLIC FACILITIES

SEASIDE HEATING & AIR CONDITIONING	FY25 HVAC SERVICES AT CITY FACILITIES	04/23/2025	108191	\$120.00
LEE'S LOCK & SAFE INC	RPLCMNT: LOCK/LEVER/REKEY	04/23/2025	108185	\$496.70
NISSHO OF CALIFORNIA	MAR 25- LANDSCAPE MAINTENANCE SERVICES	04/23/2025	9002119	\$3,487.07
24 HOUR ELEVATOR, INC	APR 25- ELEVATOR PREVENTATIVE MAINT/REPAIR	04/23/2025	108173	\$204.20
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-SEASCAPE SUR	05/01/2025	9002128	\$43.00
BFS GROUP OF CALIFORNIA LLC	GLOVES/PAINT BRUSHES/PAINT ROLLER	05/01/2025	108219	\$41.65
BFS GROUP OF CALIFORNIA LLC	GRINDING DISKS	05/01/2025	108219	\$9.09
BFS GROUP OF CALIFORNIA LLC	PIPE COUPLING/TRAP PIPE	04/23/2025	108180	\$13.19
BFS GROUP OF CALIFORNIA LLC	PAINT PAIL	04/23/2025	108180	\$15.16
BFS GROUP OF CALIFORNIA LLC	TAPE/NUTS/BOLTS	04/23/2025	108180	\$30.27
BFS GROUP OF CALIFORNIA LLC	SINK STRAINER/TAILPIECE PIPE	05/01/2025	108219	\$24.24
BFS GROUP OF CALIFORNIA LLC	BRASS STRAINER/TAILPIECE/P-TRAP PIPE	05/01/2025	108219	\$98.47
BFS GROUP OF CALIFORNIA LLC	P-TRAP/PVC SLIP JOINT/COUPLING/TRAP CONNECTOR	05/01/2025	108219	\$42.63
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$162.61
SYMONS FIRE PROTECTION	QTR 2-FIRE SUPPRESSION EQUIPMENT SERVICES	04/23/2025	108194	\$1,040.00
PRIDE INDUSTRIES	FEB 25-TRASH ABATEMENT SERVICES	05/01/2025	108231	\$1,614.14
REAL ESTATE CONSULTING & SERVICES INC	FY25 ON-CALL AS-NEEDED HANDYMAN	04/23/2025	9002121	\$3,750.00
BFS GROUP OF CALIFORNIA LLC	SIMPLE GREEN/FABULOSO	04/23/2025	108180	\$32.71
BFS GROUP OF CALIFORNIA LLC	NUT EXTENSION TUBE	04/23/2025	108180	\$21.52
HABITAT PROTECTION, INC	APR 24- PEST/RODENT CONTROL-TIDE PARK BEACH	05/01/2025	9002128	\$65.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-FS	05/01/2025	9002128	\$42.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-PW	05/01/2025	9002128	\$71.00
STANDARD PLUMBING SUPPLY COMPANY	DIAPHRAGM KITS	04/23/2025	108192	\$115.71
STANDARD PLUMBING SUPPLY COMPANY	HANDLE REPAIR	05/01/2025	108239	\$4.17
STANDARD PLUMBING SUPPLY COMPANY	EXTENSION TUBE/ABS EO CON PIPE	05/01/2025	108239	\$9.72
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-DEL MAR SHORES	05/01/2025	9002128	\$43.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-CH	05/01/2025	9002128	\$57.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-MS	05/01/2025	9002128	\$71.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-FC	05/01/2025	9002128	\$43.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-LCC	05/01/2025	9002128	\$71.00
HABITAT PROTECTION, INC	APR 25- PEST/RODENT CONTROL-FCCC	05/01/2025	9002128	\$71.00
TOTAL PUBLIC FACILITIES				\$11,910.25

1007110 - GF-RECREATION

EMBROIDERY IMAGE	STAFF HATS	05/01/2025	108220	\$239.85
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$48.98
TOTAL GF-RECREATION				\$288.83
1356170 - ASSET REPLACEMENT-MARN SFTY				
WAHOO INTERNATIONAL INC	RESCUE SLED/STRAPS/CLIPS/BOLTS	05/01/2025	108242	\$2,724.65
TOTAL ASSET REPLACEMENT-MARN SFTY				\$2,724.65
1356510 - ASSET REPLACEMENT-ENGINEER				
CENTRAL SQUARE	GIS SERVICES	05/01/2025	108214	\$45.00
TOTAL ASSET REPLACEMENT-ENGINEER				\$45.00
140 - FACILITIES REPLACEMENT				
24 HOUR ELEVATOR, INC	PROJ#9409.00 CITY HALL ELEVATOR RETENTION	05/01/2025	108200	(\$700.00)
TOTAL FACILITIES REPLACEMENT				(\$700.00)
1406510 - FACILITIES MAINT-CIP				
24 HOUR ELEVATOR, INC	PROJ#9409.00 CITY HALL ELEVATOR MODERINZATION	05/01/2025	108200	\$14,000.00
TOTAL FACILITIES MAINT-CIP				\$14,000.00
1605360 - OPEB OBLIGATION				
MIDAMERICA	MAY 25	05/01/2025	9002131	\$7,645.00
TOTAL OPEB OBLIGATION				\$7,645.00
2037510 - HIGHWAY 101 LANDSC #33				
NISSHO OF CALIFORNIA	MAR 25- LANDSCAPE MAINTENANCE SERVICES	04/23/2025	9002119	\$2,432.90
TOTAL HIGHWAY 101 LANDSC #33				\$2,432.90
2047520 - MID 9C SANTA FE HILLS				
SANTA FE IRRIGATION DISTRICT	005979-006-02/04/25-04/01/25	04/23/2025	108190	\$448.66
SANTA FE IRRIGATION DISTRICT	005979-007-02/04/25-04/01/25	04/23/2025	108190	\$448.66
SANTA FE IRRIGATION DISTRICT	005979-022-03/01/25-03/31/25	04/23/2025	108190	\$159.17
SANTA FE IRRIGATION DISTRICT	005979-023-03/01/25-03/31/25	04/23/2025	108190	\$159.17
SANTA FE IRRIGATION DISTRICT	005979-024-03/01/25-03/31/25	04/23/2025	108190	\$159.17
SANTA FE IRRIGATION DISTRICT	005979-016-03/01/25-03/31/25	04/23/2025	108190	\$220.63
SANTA FE IRRIGATION DISTRICT	005979-020-03/01/25-03/31/25	04/23/2025	108190	\$198.68
SANTA FE IRRIGATION DISTRICT	005979-021-03/01/25-03/31/25	04/23/2025	108190	\$159.17
SANTA FE IRRIGATION DISTRICT	005979-025-03/01/25-03/31/25	04/23/2025	108190	\$242.58
SANTA FE IRRIGATION DISTRICT	005979-026-03/01/25-03/31/25	04/23/2025	108190	\$347.94
SANTA FE IRRIGATION DISTRICT	005979-012-02/04/25-04/01/25	04/23/2025	108190	\$181.09
SANTA FE IRRIGATION DISTRICT	005979-014-03/01/25-03/31/25	04/23/2025	108190	\$795.72
SANTA FE IRRIGATION DISTRICT	005979-015-03/01/25-03/31/25	04/23/2025	108190	\$211.85
SANTA FE IRRIGATION DISTRICT	005979-019-03/01/25-03/31/25	04/23/2025	108190	\$52.56
SANTA FE IRRIGATION DISTRICT	005979-017-03/01/25-03/31/25	04/23/2025	108190	\$52.56
SANTA FE IRRIGATION DISTRICT	005979-018-03/01/25-03/31/25	04/23/2025	108190	\$52.56
SANTA FE IRRIGATION DISTRICT	005979-029-02/18/25-04/15/25	05/01/2025	108235	\$360.52
SANTA FE IRRIGATION DISTRICT	005979-009-02/04/25-04/01/25	04/23/2025	108190	\$378.10
SANTA FE IRRIGATION DISTRICT	005979-010-02/04/25-04/01/25	04/23/2025	108190	\$181.09
SANTA FE IRRIGATION DISTRICT	005979-011-02/04/25-04/01/25	04/23/2025	108190	\$200.33
TOTAL MID 9C SANTA FE HILLS				\$5,010.21
2087580 - COASTAL RAIL TRAIL MAINT				
SANTA FE IRRIGATION DISTRICT	005506-020-03/01/25-03/31/25	04/23/2025	108190	\$769.14
NISSHO OF CALIFORNIA	MAR 25- LANDSCAPE MAINTENANCE SERVICES	04/23/2025	9002119	\$5,800.21
TOTAL COASTAL RAIL TRAIL MAINT				\$6,569.35
2117600 - STREET LIGHTING DISTRICT				
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$15.17
TOTAL STREET LIGHTING DISTRICT				\$15.17

2146120 - FIRE MITIGATION FEES

ACE UNIFORMS LLC	HAT	05/01/2025	9002124	\$92.00
ACE UNIFORMS LLC	HAT	05/01/2025	9002124	\$83.77
ACE UNIFORMS LLC	UNIFORM ESSENTIALS/ALTERATIONS	05/01/2025	9002124	\$833.89
TOTAL FIRE MITIGATION FEES				\$1,009.66

2505570 - COASTAL BUSINESS/VISITORS

SPRUCE & GANDER, INC	HWY 101 TREE GRATE REPLACEMENT	05/01/2025	108238	\$12,291.61
TOTAL COASTAL BUSINESS/VISITORS				\$12,291.61

2556180 - JUNIOR LIFEGUARDS

ORIGINAL WATERMEN, INC	JG FEMALE UNIFORMS	04/23/2025	108188	\$26,382.59
TOTAL JUNIOR LIFEGUARDS				\$26,382.59

2706120 - PUBLIC SAFETY- FIRE

ROBERT BARRON	STRKTM-REIMB: PARK FIRE CFAA-07/29/24-08/22/24	05/02/2025	107299	\$669.31
LIFE ASSIST INC	CSA.17-TQ-RAM	05/01/2025	108224	\$369.53
THE COUNSELING TEAM INTERNATIONAL	APR 25-MENTAL WELLNESS SVC - FIRE	04/23/2025	9002123	\$468.00
TOTAL PUBLIC SAFETY- FIRE				\$1,506.84

4596510 - MISC.CAPITALPROJECTS-ENG

SEASIDE HEATING & AIR CONDITIONING	PRJ #9410.00 CITY HALL HVAC REPLACE	04/23/2025	108191	\$27,880.00
TOTAL MISC.CAPITALPROJECTS-ENG				\$27,880.00

5097700 - SANITATION

MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	04/23/2025	108186	\$10.60
MISSION LINEN & UNIFORM INC	FY25 UNIFORM SERVICES FOR PUBLIC WORKS	05/01/2025	108226	\$10.59
SANTA FE IRRIGATION DISTRICT	005506-014-03/05/25-04/01/25	04/23/2025	108190	\$553.62
SANTA FE IRRIGATION DISTRICT	005979-008-02/04/25-04/01/25	04/23/2025	108190	\$112.54
URBAN FUTURES INC	2017-REVENUE BONDS/WWR REFUNDING BONDS	04/23/2025	108195	\$4,150.00
VERIZON WIRELESS SD	362455526-00001-03/02/25-04/01/25	04/23/2025	108196	\$15.17
CITY OF ENCINITAS	FY25 SB ANNUAL FLAT-RATE CAPACITY	05/01/2025	108217	\$76,246.67
WEX FLEET UNIVERSAL	03/08/25-04/07/25-AUTO FUEL	04/23/2025	108199	\$195.13
IDRAINS LLC	E- SEWER-HOT SPOT	05/01/2025	108201	\$6,532.47
TOTAL SANITATION				\$87,826.79

6527820 - SUCCESSOR AGENCY

URBAN FUTURES INC	2017 TAX ALLOCATION REFUNDING BONDS	04/23/2025	108195	\$1,100.00
TOTAL SUCCESSOR AGENCY				\$1,100.00

REPORT TOTAL:**\$438,896.25**



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Engineering Department – Dan Goldberg, City Engineer
SUBJECT: **Consideration of Resolution 2025-040 and 2025-041 for the Engineer's Report, the Annual Levy and Collection of Assessments for the Solana Beach Lighting District for FY 2025/26**

BACKGROUND:

In 1987, the City Council adopted a resolution forming the Solana Beach Lighting District (District) under the provisions of the Landscape and Lighting Act of 1972, Division 15, Part 2, of the California Streets and Highways Code (1972 Act). The District was formed for the purpose of levying and collecting funds for the installation, operation, and maintenance of streetlight facilities within the City.

The 1972 Act requires the City Council to adopt a resolution annually directing the preparation and filing of an Annual Report and a Resolution of Intention to renew the District. The resolutions declare the City Council's intention to levy and collect assessments and set the date of the public hearing at which the assessments will be levied. The law requires assessment information to be submitted to the County by August 10 each year. In Fiscal Year (FY) 2008/09, fees for the District were suspended. During the period of FY 2009/10 through FY 2024/25, fees were collected but the rate was not increased. Staff is proposing no increase in fees for FY 2025/26.

Utilizing a portion of the reserve funds in the district, all City-owned streetlights were retrofitted to LED fixtures in 2012. The LED lights are much more energy efficient than the old lights. The streetlights in Solana Beach are not metered and the City pays a set rate for each light. SDG&E has reduced the rates for the LED retrofitted lights and the savings are reflected in the budget. The retrofitted LED lights use approximately 50% less energy than the standard streetlights that were previously used.

CITY COUNCIL ACTION:

AGENDA ITEM # A.3.

This item is before the City Council for consideration of Resolution 2025-040 (Attachment 1) approving the Solana Beach Lighting Maintenance District Engineer's Report for FY 2025/26 and Resolution 2025-041 (Attachment 2) setting a time and place for a public hearing.

DISCUSSION:

The proposed Solana Beach Lighting Maintenance District Engineer's Report for FY 2025/26 is included as Attachment 3. The recommended assessment methodology is a spread methodology as outlined in the Calculation of Assessment Fees, which can be found on page 7 of Attachment 3. The total amount to be assessed for streetlights for FY 2025/26 is \$75,187. The Derivation of Streetlighting Benefit Units table in Exhibit 2 (page 9 and 10) of the attached Engineer's Report is found to be consistent with the current SANDAG Traffic Generation Manual and is appropriate for the associated land uses.

The District is the successor agency to portions of San Diego County Lighting Maintenance District Nos. 1 and 3 (LMD1 and LMD3). Ballots issued in 1982 and 1984 to levy assessments for LMD1 and LMD3 were approved to have a maximum charge of \$25.00 per benefit unit. This maximum benefit unit charge will not apply to Zone B of the District as it was formed since Solana Beach was incorporated.

The annual assessment fees are collected based on property locations in the City, identified as Zone A or Zone B, as shown on the Streetlight Zone Map in Exhibit 1 (page 8) of Attachment 3. The annual assessment fees for this year are \$8.80 per benefit unit for Zone A and \$1.62 for Zone B. These fees are the same assessment fees as last year. In order to levy and collect an assessment in the District, it is necessary to notify the property owners of the City. The City will publish a notice in a newspaper of local circulation indicating the public hearing to be held on June 18, 2025.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The District has been financed by a benefit charge and by using the District's share of one percent ad valorem property tax revenues since FY 1989/90. The amount to be generated from the benefit assessment is proposed to be \$8.80 per benefit unit in Zone A and \$1.62 in Zone B, which are unchanged from last year, for a total assessment of \$75,187 in FY 2025/26. The amount to be assessed this year is slightly down from the assessed amount from last year. This is due to lot consolidations and lots being classified as vacant. Once the newly vacant lots are redeveloped, the Equivalent Benefit Units (EBU) will be revised to reflect this change. Also, the Solana Highlands property is currently classified as vacant. Upon completion of that project, the assessment will be change to reflect the number of units on the site.

WORK PLAN:

Although not specifically mentioned in the 2024/25 Work Plan, renewal of the Lighting Maintenance District is consistent with the Fiscal Sustainability section of the City's Work Plan.


OPTIONS:

- Accept the Engineer's Report for proceeding with the annual levy of assessments and set time and date for a public hearing on June 18, 2025.
- Suspend assessment for FY 2025/26.
- Do not renew the Lighting District and provide direction to Staff.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution 2025-040 approving the Solana Beach Lighting Maintenance District Engineer's Report for Fiscal Year 2024/25 for proceedings of the annual levy of assessments within a special maintenance district.
2. Adopt Resolution 2025-041 declaring intention to provide for an annual levy and collection of assessments in a special maintenance district and setting a time and date for a public hearing; and scheduling the public hearing for June 18, 2025.



Ayssa Muto, City Manager

Attachments:

1. Resolution 2025-040, Approving Engineer's Report
2. Resolution 2025-041, Setting Public Hearing
3. Lighting Maintenance District Engineer's Report for FY 2025/26

RESOLUTION 2025-040

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE SOLANA BEACH LIGHTING MAINTENANCE DISTRICT ENGINEER'S REPORT FOR FISCAL YEAR 2025/26 FOR PROCEEDINGS FOR THE ANNUAL LEVY OF ASSESSMENTS WITHIN A SPECIAL LIGHTING DISTRICT

WHEREAS, the City Council of the City of Solana Beach, California, pursuant to the terms of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, did, by separate Resolution, initiate proceedings and order the preparation of the Engineer's Report (hereinafter referred to as Report) for the annual levy of assessments within a special Lighting District, said special Lighting District known and designated as Solana Beach Lighting District (hereinafter referred to as Lighting District); and

WHEREAS, the Report, as required by said Division 15 of the Streets and Highways Code and as previously directed by Resolution, was presented to the City Council; and

WHEREAS, the City Council examined and reviewed the Report as presented and is satisfied with each and all the items and documents as set forth therein, and is satisfied that the assessments, on a preliminary basis, are spread in accordance with the special benefits received from the improvements to be maintained, as set forth in said Report.

NOW, THEREFORE, the City Council of the City of Solana Beach, California does resolve as follows:

1. That the above recitals are all true and correct
2. That the Solana Beach Lighting Maintenance District Engineer's Report for Fiscal Year 2025/26, as presented, consists of the following:
 - a. Plans and specifications describing the general nature, location and extent of the improvements to be maintained as described in the City's Street Light Master Plan. No other substantial changes in existing improvements or zones are proposed for the next fiscal year; all improvements to be maintained are in existing public streets, or sidewalks, or public leaseholds, of the City;
 - b. Estimate of cost, including the amount of the annual installment for the forthcoming fiscal year;
 - c. Diagram of the Lighting District;

- d. Assessment of the estimated cost, including the amount of individual annual installments for the next fiscal year. No assessments on any existing parcels within the Lighting District are to be increased from those as levied in Fiscal Year 2024/25.
3. That the Report, as presented, is hereby approved on a preliminary basis, and is ordered to be filed in the Office of the City Clerk as a permanent record and to remain open to public inspection.
4. That the City Clerk shall certify the passage and adoption of this Resolution, and the minutes of this meeting shall reflect the presentation of the Solana Beach Lighting Maintenance District Engineer's Report for Fiscal Year 2025/26.

PASSED AND ADOPTED this 21st day of May, 2025, at a Regular Meeting of the City Council of the City of Solana Beach, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2025-041

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, DECLARING ITS INTENTION TO PROVIDE FOR AN ANNUAL LEVY AND COLLECTION OF ASSESSMENTS IN A SPECIAL LIGHTING DISTRICT, AND SETTING A TIME AND PLACE FOR PUBLIC HEARING THEREON

WHEREAS, the City Council of the City of Solana Beach, California, has previously formed a special Lighting District pursuant to the terms of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, said special Lighting District known and designated as Solana Beach Lighting District (hereinafter referred to as the "Lighting District"); and

WHEREAS, at this time, the City Council desires to initiate proceedings to provide for the annual levy of assessments for the next ensuing fiscal year to provide for costs and expenses necessary to pay for the maintenance of the improvements in said Lighting District; and

WHEREAS, the Solana Beach Lighting Maintenance District Engineer's Report for Fiscal Year 2025/26 (herein referred to as Report), has been presented to and approved by the City Council as a separate action, as required by law, and the City Council desires to continue with the proceedings for said annual levy.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitals are all true and correct.
2. That the public interest and convenience requires, and it is the intention of this legislative body, to levy and collect assessments to pay the annual costs and expenses for the installation, maintenance and/or servicing of such improvements from those parcels which specially benefit from improvements described below for the above-referenced Lighting District. The improvements are generally described as follows:
 - a. The operation, maintenance and servicing of the following improvements, all within existing public streets, public sidewalks, or public leaseholds of the City.
 - b. Public lighting and street lighting improvements, together with appurtenances.

- c. All improvements are detailed in the City's Street Light Master Plan. No substantial changes in existing improvements or zones are proposed as a part of these proceedings.
3. That said works of improvement are of special benefit to the properties within the boundaries of said Lighting District, which Lighting District the legislative body previously declared to be the area specially benefited by said works of improvement, and for particulars, reference is made to the boundary map as previously approved by this legislative body, a copy of which is on file in the Office of the City Clerk and open for public inspection, and is designated by the name of this Lighting District.
4. That the Solana Beach Lighting Maintenance District Engineer's Report for Fiscal Year 2025/26, as preliminarily approved by this legislative body, is on file with the City Clerk and open for public inspection. Reference is made to the Report for a full and detailed description of the improvements to be maintained, the boundaries of the Lighting District and any zones therein, and the proposed assessments upon assessable lots and parcels of land within the Lighting District.
5. All costs and expenses of the works of maintenance and incidental expenses have been apportioned and distributed to the benefiting parcels in accordance with the special benefits received from the proposed work. The amount assessed on any existing property has not been increased since FY 2009/10.
6. Notice is hereby given of a public hearing on the 18th day of June, 2025 at 6:00 p.m.
7. At that time, the legislative body will consider and finally determine whether to levy the proposed annual assessment, and to hear all protests relating to said proposed proceedings, or the estimate of the cost and expenses of the proposed maintenance, or the proposed annual assessment; and any and all persons interested may file a written protest at clerkoffice@cosb.org before 12:00 p.m. of the hearing day or, having filed such a protest, may file a written withdrawal of that protest at clerkoffice@cosb.org prior to 12:00 p.m. of such hearing day. Any such written protest must state all grounds for objection. A written protest by a property owner must contain a description sufficient to identify the property owned by such person, e.g. assessor's parcel number.

Any interested person may mail a protest to the following address:

CITY CLERK
CITY OF SOLANA BEACH
635 S. HIGHWAY 101
SOLANA BEACH, CA 92075
clerkoffice@cosb.org

To be considered by the legislative body, all protests must be received by 12:00 p.m. the public hearing date. A postmark prior to such date and time will not be sufficient.

8. That the City Clerk is hereby authorized and directed to give notice as required by law by causing a copy of the Resolution to be published in the newspaper of general circulation within said City; and publication to be completed not less than ten (10) days prior to the date set for the public hearing.

PASSED AND ADOPTED this 21st day of May, 2025, at a Regular Meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

**CITY OF SOLANA BEACH
LIGHTING MAINTENANCE DISTRICT
ENGINEER'S REPORT
FISCAL YEAR 2025/26**



**Prepared by:
Dan Goldberg
Principal Civil Engineer
R.C.E. 57292**

Prepared April 29, 2025

ATTACHMENT 3

TABLE OF CONTENTS

INTRODUCTION	3
GENERAL DESCRIPTION OF THE DISTRICT.....	3
DESIGNATION OF ZONES.....	4
DISTRICT IMPROVEMENT.....	4
METHOD OF APPORTIONMENT	6
DISTRICT FINANCING	6
ASSESSMENT ROLL	6
CALCULATION OF ASSESSMENT FEES	7
EXHIBIT 1 – STREETLIGHT ZONE MAP	8
EXHIBIT 2 – DERIVATION OF STREETLIGHT BENEFIT UNITS.....	9
EXHIBIT 3 – BUDGET 2025/26.....	11

Introduction

The City of Solana Beach ("City") Lighting Maintenance District ("District") was formed to provide funding for operation, maintenance and servicing of all lights within the City, owned both by City of Solana Beach and San Diego Gas and Electric as shown on the City's Streetlight Master Plan. The City Council, pursuant to the provisions of the "Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Street and Highway Code of California" (Act), desires to levy and collect annual assessment against lots and parcels within the District beginning in the fiscal year beginning July 1, 2025, and ending June 30, 2026. The collected assessments would pay for the operation, maintenance and servicing of the public lighting improvements within the City. The proposed assessments are based on the City's estimate for the cost for Fiscal Year (FY) 2025/26 to maintain the District that provides a special benefit to properties assessed within the District. The assessment rates set for FY 2025/26, as set forth in this Engineer's Report ("Report"), do not exceed the maximum rates established at the time the District was formed, therefore, the City and the District are not required to go through property owner ballot procedure to establish the 2025/26 assessment rates. This report describes the District boundaries and the proposed operation, maintenance and services to be assessed to the property owners located within the District. For this Report, each lot or parcel to be assessed refers to an individual property and is assigned its own Assessment Parcel Number ("APN") by the San Diego County ("County") Assessor's Office as shown on the latest equalization roll of the assessor. Following the conclusion of the Public Hearing, the City Council will confirm the Report as submitted or amended and may order the collection of the assessments for FY 2025/26.

General Description of the District

The boundaries of the District are defined as being contiguous with the boundaries of the City of Solana Beach. The properties within the District include single-family residential, multi-family residential, timeshare, multiuse, commercial and industrial parcels.

Section 22573, Landscape and Lighting Act of 1972 ("1972 Act"), requires assessments to be levied according to benefit rather than according to assessed value. This section of the 1972 Act states:

"The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements."

The 1972 Act also provides for the classification of various areas within an assessment district into different zones where, *"...by reason of variations in the nature, location, and extent of the improvements, the various areas will receive differing degrees of benefit from the improvements. A zone shall consist of all territory, which will receive substantially the same degree of benefit from the improvements. An assessment district may consist of contiguous or non-contiguous areas."*

Properties owned by public agencies, such as a city, county, state, or the federal government, are not assessable without the approval of the particular agency. For this reason, they are traditionally not assessed.

Designation of Zones

The District consists of two zones in the City of Solana Beach; Zone "A" and Zone "B". Properties within Zone "A", which represent the majority of the parcels in the City, benefit from streetlights on six significant circulation element streets as well as streetlights on their local streets. Properties within Zone "B", also known as "Dark Sky Zone", do not have streetlights on their local streets. These properties benefit only from streetlights on circulation element streets and do not benefit from streetlights on local streets. A map showing the boundaries of the District and the zones is on file in the office of the City Engineer and is also attached herein as Exhibit 1.

District Improvements

The public lighting improvements to be maintained and serviced include but are not limited to the following:

- Maintenance, repair and replacement of public light poles and fixtures, including changing light bulbs, painting, photoelectric cell repair or replacement, repairing damages caused by automobile accidents and vandalism, and repairing normal deterioration caused by time and weather.
- Electrical conduit repair and replacement due to damage by vandalism and normal deterioration.
- Service-call maintenance repair and replacement including painting, replacing worn out electrical components and repairing damage due to accidents, vandalism, and normal deterioration.
- Payment of the electrical bill for the existing street lighting system.
- Responding to constituent and business inquiries and complaints regarding the public lighting.

Maintenance

The City provides services and furnishes materials for the ordinary and usual maintenance, operation and servicing of public lighting improvements facilities and appurtenant facilities. This includes inspecting lights during daylight as well as evening hours for condition assessment and performing repair, removal or replacement of all or part of any of the streetlights found to be inoperable in order to provide for the health welfare and safety of the residents in the district.

Servicing

The City workforce along with assistance from private contractors provide all labor, materials, equipment and utilities necessary to maintain and operate the public lighting improvements or appurtenant facilities in order to provide adequate illumination.

City's Streetlight System

The City's streetlight system consists of streetlights which are owned by San Diego Gas and Electric (SDG&E) and streetlights that are owned by the City of Solana Beach. A listing (printout) showing the type, size, location and ownership of the specific streetlights in the City is on file in the Office of the City Engineer. There are currently 801 streetlights in the District of which 149 are located on circulation element streets such as Highway 101, Lomas Santa Fe Drive, Via De La Valle, Cedros Avenue, San Andres Drive, Highland Drive and Stevens Avenue. The remaining 652 streetlights are located on local streets. Approximately 274 streetlights are owned and maintained by SDG&E and the remaining 527 streetlights are owned and maintained by the City of Solana Beach. The City pays SDG&E for the use of their streetlights. For the purpose of this report, all lights have been analyzed regardless of ownership. Additionally, there are 247 bollard lights and 16 pedestrian pole lights on the Coastal Rail Trail that are included in the District.

Streetlight Retrofit

In April 2012, the City entered into an agreement with Chevron Energy Solution (Chevron ES) for a series of energy efficient projects, which included retrofitting all City-owned streetlights to the latest LED technology. This project replaced approximately two-thirds of the streetlights throughout the City, which included all streetlights owned and operated by the City. The remaining one-third of the streetlights were not retrofitted because they are owned and operated by SDG&E. Because of this partial ownership arrangement, streetlights in some neighborhoods remained unchanged.

Capital Improvement Projects

Since the City-owned streetlights were converted to LED fixtures in 2012, there has not been a need for a capital improvement project for the streetlights this past year.

Method of Apportionment

The 1972 Act requires that a parcel's assessment may not exceed the reasonable cost for the proportional benefit conferred to that parcel. To establish the benefit to the individual lots or parcels within the district, an Equivalent Benefit Unit ("EBU") system based on land use is used along with special consideration based on City's "Dark Sky Zone". Each parcel of land in the District was determined by the Engineering Department to have a specific land use. Each land use type was assigned a land use factor determined by trip generation rates developed by San Diego Association of Government (SANDAG). If a land use category was not included in the SANDAG study, the Engineering Department made a determination as to its probable trip generation compared to that of a single family residential and assigned a land use factor accordingly. Single-family residential units were assigned a land use factor of 1.0 regardless of its size. The theory is that all single-family residential units, regardless of parcel or house size, generate approximately the same number of trips and therefore receive the same benefit from the use of streets and their appurtenances such as streetlights. Under this method, vacant lots are assigned an EBU of zero. Exhibit 2 provides the EBU determination for all land uses within the City.

District Financing

The District will be financed by assessing a benefit assessment and by using the District's share of 1.0 percent ad valorem tax revenues. The amount to be generated from the benefit assessment is \$8.80 per benefit unit in Zone "A" and \$1.62 per benefit unit in Zone "B". As mentioned above, the total amount of revenue to be generated by assessment was calculated from a methodology, which identifies two benefit zones within the District. This methodology assumes that circulation element streetlights provide City-wide benefit and therefore properties located in Zone "B", the Dark Sky Zone properties, are assessed for this portion of the District's expenses only. Properties located within Zone "A" are assessed for expenses associated with the streetlights located on the circulation element streets as well as those on local streets. Both the circulation element streetlight benefit and local streetlight benefit are allotted in proportion to the Average Daily Traffic (ADT) generated by properties within the District to establish equivalent benefit charge per property. These are estimates only because the County Assessor's information will not be available until August 2025. The City does not assess governmental agencies owning properties within the District. See Exhibit 3 for the proposed District budget.

Assessment Roll

Parcel identification, for each lot or parcel within the District shall be the parcel as shown on the County Assessor's map for the year in which this Report is prepared.

A listing of parcels assessed within the District, along with the proposed assessment amounts, has been submitted to the City Clerk, under a separate cover, and by reference is made part of this Report. Said listing of parcels to be assessed shall be submitted to the County Auditor/Controller and included on the property tax roll for each parcel in FY 2025/26. If any parcel submitted for collection is identified by the County Auditor/Controller to be an invalid parcel number for the current fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment and assessment rate approved in this Report. Therefore, if a single parcel has changed to multiple parcels, the assessment amount applied to each of the new parcels shall be recalculated and applied according to the approved method of apportionment and assessment rate rather than a proportionate share of the original assessment.

Calculation of Assessment Fees

Following is a calculation of assessment fees for the Solana Beach Lighting District. There are two zones in this lighting district; Zone “A” and Zone “B”.

Total streetlights on six circulation element streets	149
Total streetlights on local streets	652
Total streetlights	801

Bollard lights on Coastal Rail Trail	247
Pedestrian pole lights on Coastal Rail Trail	16

Total Benefit Units in Zone “A”	8,456
Total Benefit Units in Zone “B”	478

Assessment per Benefit Unit in Zone “A”	\$8.80
Assessment per Benefit Unit in Zone “B”	\$1.62

Total Assessment for Zone “A”	\$74,413
Total Assessment for Zone “B”	\$774

Total Assessment for the District **\$75,187**

EXHIBIT 1

STREETLIGHT ZONE MAP

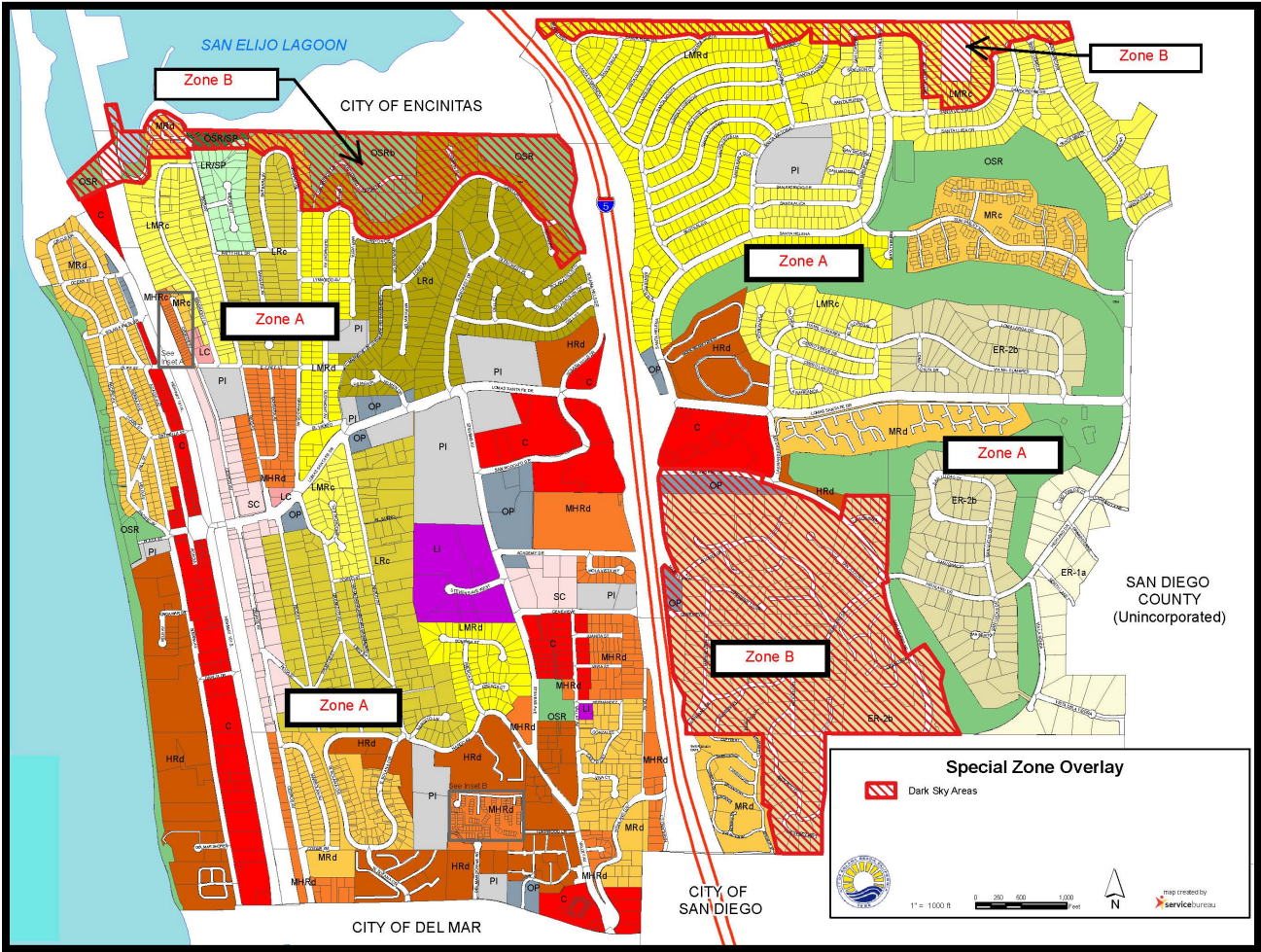


EXHIBIT 2

DERIVATION OF STREETLIGHT BENEFIT UNITS

Traffic generation rates are derived from a report issued by the San Diego Association of Governments (SANDAG) dated April 2002. The information in the report is based on the San Diego Traffic Generators manual. Land uses are defined by the County Assessor. Using traffic generated by single family dwellings as 10 per dwelling unit (d.u.) or 40 per acre, the derivation of Benefit Units from land use is as follows:

<u>LAND USE</u>	<u>BENEFIT UNITS</u>	<u>HOW DERIVED</u>
Vacant Land	0.0	Generates little or no traffic. Assigned a value of 0.0
Residential	1.0/d.u.	<u>10 trips/d.u.</u> 10 trips/d.u.
Time Shares	.02/Time Share	<u>0.2 trips/time share</u> 10 trips/d.u.
Mobilehome/Trailer Parks	0.5/Space	<u>5 trips/d.u. or space</u> 10 trips/d.u.
1-3 Story Misc. Stores	10.0/Acre	<u>400 trips/acre</u> 40 trips/acre
4+ Story Offices/Stores	15.0/Acre	<u>600 trips/acre</u> 40 trips/acre
Regional Shopping Center Medical, Dental, Animal Hospital	12.5/Acre	<u>500 trips/acre</u> 40 trips/acre
Community Shopping Center	17.5/Acre	<u>700 trips/acre</u> 40 trips/acre
Neighborhood Shopping Center	30.0/Acre	<u>1200 trips/acre</u> 40 trips/acre

Hotel, Motel	5.0/Acre	<u>200 trips/acre</u> 40 trips/acre
Convalescent Hospital, Rest Home	1.0/Acre	<u>40 trips/acre</u> 40 trips/acre
Office Condominiums	0.5/Condo	<u>20 trips/condo</u> 10 trips/d.u.
Parking lot, Garage, Used Cars, Auto Sales/Service, Service Station	7.5/Acre	<u>300 trips/acre</u> 40 trips/acre
Bowling Alley	7.5/Acre	<u>300 trips/acre</u> 40 trips/acre

EXHIBIT 3

STREETLIGHT DISTRICT

PROPOSED BUDGET

FISCAL YEAR 2025/26

	Amended Budget 2024/25	Adopted Budget 2025/26
COSTS		
Energy	\$114,855	\$123,000
Maintenance	398,042	399,485
Administration	282,875	141,703
Capital Outlay	0	0
Debt Service	70,375	70,375
Contingency Reserve	3,557,292	3,705,448
TOTAL COSTS	\$4,423,439	\$4,440,011

FUNDING		
Property Taxes	\$640,827	\$700,380
Benefit Fees	76,500	76,500
Interest	42,525	95,135
Intergovernmental	10,200	10,704
Fund Balance	3,653,387	3,557,292
TOTAL RESOURCES	\$4,423,439	\$4,440,011



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Engineering Department – Dan Goldberg, City Engineer
SUBJECT: **Consideration of Resolutions 2025-037, 2025-038 and 2025-039 Approving the Preliminary Coastal Rail Trail Engineer’s Report for Fiscal Year 2025/26 and the Annual Levy and Collection of Assessments for the Solana Beach Coastal Rail Trail Maintenance District**

BACKGROUND:

In 2006, the City Council adopted a resolution forming the Solana Beach Coastal Rail Trail Maintenance District (CRT District) under the provisions of the Landscape and Lighting Act of 1972, Division 15, Part 2, of the California Streets and Highways Code (1972 Act). The CRT District was formed for the purpose of levying and collecting funds for the operation, maintenance, and servicing of landscaping, lighting and all appurtenant facilities related to the Coastal Rail Trail. In order to levy and collect an assessment in the District, it is necessary to notify the property owners of the City and conduct a public hearing. Staff is recommending the public hearing be held on June 18, 2025.

This item is presented to the City Council for consideration of Resolution 2025-037 (Attachment 1) initiating proceedings for the District for Fiscal Year (FY) 2025/26, Resolution 2025-038 (Attachment 2) approving the Preliminary Engineer’s Report and Resolution 2025-039 (Attachment 3) setting a time and place for a public hearing.

DISCUSSION:

The District’s major costs are for ongoing maintenance of the CRT. The maintenance items include landscaping, irrigation, trail maintenance and graffiti removal. The costs also include the utility charges for water and lighting use along the CRT. The District includes funds for capital replacement as well including future replacement of landscaping, irrigation, pedestrian/bike path and hardscape items. The capital

CITY COUNCIL ACTION: _____ _____

replacement costs also include an operating reserve of approximately 10% of the direct maintenance costs.

The CRT District's assessment methodology uses an Equivalent Benefit Unit (EBU) System. The EBU method of apportioning benefit is typically viewed as the most appropriate and equitable assessment methodology for districts formed under the 1972 Act. The EBU for the CRT District establishes the single-family detached residential unit as the basic unit, representing 1.0 EBU. The following summarizes the EBU application by land use:

<u>Land Use</u>	<u>EBU</u>
Single-Family Residential	1.0 per parcel
Residential Condominium	1.0 per dwelling unit
Multi-Family Residential	0.75 per dwelling unit
Planned Residential Development	1.0 per proposed unit
Commercial/Industrial	1.0 per parcel
Vacant Single-Family Residential	1.0 per parcel
Vacant Multi-Family Residential	0.75 per parcel
Vacant Commercial/Industrial	1.0 per parcel

The methodology identifies parcels that are exempt from the CRT District. They include, but are not limited to, parcels identified as public streets, roadways, dedicated public easements, open space and rights-of-way. These properties, as well as other publicly owned properties such as schools, fire stations, post offices and community centers are considered to receive little or no benefit from the improvements of the CRT District.

In addition to assigning properties an EBU by land type, the assessment methodology utilizes three zones based on the proximity of parcels to the CRT. Properties located closest to the CRT will receive a greater special benefit than those properties that are located further away from the trail. A factor is applied to each of the zones according to their locations. The three zones are as follows:

Zone 1:

This zone includes all properties generally located within a few blocks and closest to the CRT. The properties are located between the east side of North Acacia Avenue north of Cliff Street, the east side of North Sierra Avenue south of Cliff Street, the east side of South Sierra Avenue and the west side of Rios Avenue (see the assessment boundary map in the Engineer's Report). Parcels in this zone are assessed the EBU amounts based on land use and then multiplied by a factor of three.

Zone 2:

This zone includes all properties that are generally located on the west side of North Acacia Avenue north of Cliff Street, the west side of North Sierra Avenue south of Cliff

Street, the west side of South Sierra Avenue and those properties located between the east side of Rios Avenue and west of Interstate 5. Parcels in this zone are assessed the EBU amounts based on land use and then multiplied by a factor of two.

Zone 3:

This zone includes properties located east of Interstate 5. Parcels in this zone are assessed the EBU amounts based on land use and then multiplied by a factor of 0.5.

At the formation of the CRT District, the adopted Maximum Assessment formula included an annual Consumer Price Index for All Urban Consumers (CPI-U) adjustment that is not to exceed 2.00%. This Maximum Assessment annual adjustment adopted by the initial vote is not considered an increased assessment. Since the CPI-U for 2024 was 3.12%, the increase to the EBU charge from last year is 2.00%, which is the maximum allowed. The following shows the maximum assessment rates proposed to be levied in FY 2025/26 by land use:

Land Use Description	Per	Base Rate Zone 1	Base Rate Zone 2	Base Rate Zone 3
Single-Family Residential	Lot or Parcel	\$25.56	\$17.04	\$4.26
Residential Condominium	Dwelling Unit	\$25.56	\$17.04	\$4.26
Multi-Family Residential	Dwelling Unit	\$19.18	\$12.78	\$3.20
Planned Residential Development	Lot or Dwelling Unit	\$25.56	\$17.04	\$4.26
Commercial/Industrial	Parcel	\$25.56	\$17.04	\$4.26
Vacant Single-Family Residential	Parcel	\$25.56	\$17.04	\$4.26
Vacant Multi-Family Residential	Parcel	\$19.18	\$12.78	\$3.20
Vacant Commercial/Industrial	Parcel	\$25.56	\$17.04	\$4.26
Timeshare Units	1 week of ownership	\$ 0.00	\$ 0.00	\$0.00
Exempt Parcels	Parcel	\$ 0.00	\$ 0.00	\$0.00
Public Owned Parcels	Parcel	\$ 0.00	\$ 0.00	\$0.00

The 1972 Act requires the City Council to adopt a resolution annually directing the preparation and filing of an Annual Report and a Resolution of Intention to renew the annual assessments for the District. The resolutions declare the City Council's intention to levy and collect assessments and set the date of the public hearing at which the assessments will be levied. The law requires the assessment information to be submitted to the County by August 10 of each year.

Attachment 4 is the preliminary CRT Maintenance District Engineer's Report for FY 2025/26. The report contains an overview of the CRT District; a description of the services and improvements to be maintained; the proposed FY 2025/26 Budget; and the method of apportionment.

The City will notify the property owners about levying and collecting assessments in the Solana Beach Coastal Rail Trail Maintenance District by publishing a notice about the date of the Public Hearing (June 18, 2025) in the local paper.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The District began assessing a benefit charge in FY 2006/07. The CPI-U for 2024 was 3.12%. Since the maximum amount the assessment is allowed to increase each year is equal to the CPI-U but not greater than 2.00%, the assessments for FY 2025/26 are proposed to increase by 2.00% per Table 3 of the Report (and indicated previously in this Staff Report). The amount of the Equivalent Benefit Unit for FY 2025/26 is \$8.52. This is \$0.16 more per EBU than last year's assessment and is consistent with the approval of the District by the vote of the property owners in January 2006.

Based on the above methodology and included in the Engineer's Report, the CRT is expected to receive \$85,788 in benefit charge revenues (total assessment amount). The total amount expected to be spent on maintenance of the Coastal Rail Trail in FY 2025/26 is \$165,169. The shortfall of \$79,381, or the difference between the amount expected to be received (\$85,788) and the amount expected to be spent (\$165,169) will be covered by an interfund transfer from Measure S Funds in the amount of \$86,306. As described below, the interfund transfer from Measure S Funds includes an adjustment to the Operating Reserves in the amount of \$6,925. Details of this accounting can be found on Table 1 in the CRT Maintenance District Engineer's Report (Attachment 4).

The available projected reserves in the CRT fund on July 1, 2025, is projected to be \$35,969. The CRT fund should keep reserves equal to approximately 50% of the annual assessment amount, which would be \$42,894 for FY 2025/26. In order to keep the Operating Reserves at the maximum recommended cash flow reserve amount, \$6,925 would be added to the cash flow reserve amount through an interfund transfer from Measure S Funds.

WORK PLAN:

Although not specifically mentioned in the 2024/25 Work Plan, renewal of the CRT Maintenance District is consistent with the Fiscal Sustainability section of the City's Work Plan.


OPTIONS:

- Accept the Preliminary Coastal Rail Trail Maintenance District Engineer's Report for FY 2025/26, proceed with the annual levy of assessments and set the time and date for a public hearing to be held on June 18, 2025.
- Do not renew the CRT Maintenance District and fund cost for maintenance of the CRT through the General Fund.
- Provide direction.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution 2025-037, initiating the proceedings for the annual levy of assessments within the Coastal Rail Trail Maintenance District for Fiscal Year 2025/26.
2. Adopt Resolution 2025-038, approving the Preliminary Engineer's Report for proceedings of the annual levy of assessments within Coastal Rail Trail Maintenance District.
3. Adopt Resolution 2025-039, declaring intention to provide for the annual levy and collection of assessments in Coastal Rail Trail Maintenance District and setting a time and date for a public hearing for June 18, 2025.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-037, Initiating Proceedings
2. Resolution 2025-038, Approving Preliminary Engineer's Report
3. Resolution 2025-039, Setting the Public Hearing
4. CRT Maintenance District Engineer's Report for FY 2025/26

RESOLUTION 2025-037

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, INITIATING PROCEEDINGS FOR THE CITY OF SOLANA BEACH COASTAL RAIL TRAIL MAINTENANCE DISTRICT FOR FY 2025/26 AND FOR THE ANNUAL LEVY OF ASSESSMENTS WITHIN THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT

WHEREAS, the City Council of the City of Solana Beach, California, by previous Resolutions formed and approved the maximum annual assessment rates for the City of Solana Beach Coastal Rail Trail Maintenance District (“District”), pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with sections 22500)* (1972 Act); and

WHEREAS, the 1972 Act provides the City Council the authority to annually levy and collect assessments for the District on the San Diego County tax roll on behalf of the District to pay the maintenance, services, and operation of facilities and improvements related thereto; and

WHEREAS, the City has retained Koppel & Gruber Public Finance for the purpose of preparing and filing an engineer’s report (hereinafter referred to as the Engineer’s Report) with the City Clerk.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. The City Council hereby appoints Koppel & Gruber Public Finance as the District Assessment Engineer and orders Koppel & Gruber Public Finance to prepare the Engineer’s Report concerning the District and the levy of assessments for Fiscal Year (FY) 2025/26, in accordance with *Chapter 1, Article 4, beginning with Section 22565* of the Act.

That Coastal Rail Trail Maintenance District Engineer’s Report for FY 2025/26, as presented, consists of the following:

- A description of the District boundary and improvements; and
- The Annual Budget (costs and expenses of services, operation and maintenance); and
- The method of apportionment for calculating the assessment for

each of the assessed parcels, lots and subdivisions of land for the property located within the CRT Maintenance District in proportion to the special benefits received and a roll containing the proposed levy amount for each assessed parcel within the CRT Maintenance District for FY 2025/26; and

- An exhibit showing the boundaries of the District.

Upon completion of the Engineer's Report, said Report shall be filed with the City Clerk, who shall submit the same to the City Council for its consideration pursuant to *Section 22586* of the Act.

3. The proposed improvements for the District include, but are not limited to: the ongoing maintenance, operation and servicing of landscaping and public lighting improvements that were installed as part of the construction of the City's Coastal Rail Trail. These improvements may also include all materials, equipment, utilities, labor, and appurtenant facilities related to those improvements. The Engineer's Report describes in more detail the items to be maintained and serviced.
4. The City Council hereby determines that to provide the improvements described in Section 3 of this resolution, it is necessary to levy and collect assessments against lots and parcels within the District.
5. The City Manager of the City of Solana Beach is hereby authorized and directed to take any and all action necessary and appropriate in connection with the annual levy and collection of assessments for the District.

PASSED AND ADOPTED this 21st day of May 2025, at a Regular Meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2025-038

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR PROCEEDINGS FOR THE ANNUAL LEVY OF ASSESSMENTS WITHIN THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT

WHEREAS, the City Council of the City of Solana Beach, California, pursuant to the terms of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, did, by previous Resolution, initiate proceedings and ordered the preparation of an Engineer's Report for the annual levy of assessments within a special assessment district, such special assessment district known and designated as City of Solana Beach Coastal Rail Trail Maintenance District (Maintenance District); and

WHEREAS, pursuant to Section 22586 of the Streets and Highways Code, there has now been presented to this City Council the Engineer's Report as required by said Division 15 of the Streets and Highways Code and as previously directed by Resolution; and

WHEREAS, the City Council has carefully examined and reviewed the Preliminary Engineer's Report as presented, and is preliminarily satisfied with the Maintenance District, each and all the budget items and documents as set forth therein and is satisfied that the proposed assessments have been spread in accordance with the benefits received from the improvements to be maintained and services, as set forth in said Engineer's Report.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the Coastal Rail Trail Maintenance District Engineer's Report for Fiscal Year 2025/26, as presented, consists of the following:
 - A description of the Maintenance District boundary and improvements; and
 - The Annual Budget (costs and expenses of services, operation and maintenance); and
 - The method of apportionment for calculating the assessment for each of the assessed parcels, lots, and subdivisions of land for the property located within the Maintenance District in proportion to the special benefits received and a roll containing the proposed levy

amount for each assessed parcel within the Maintenance District for Fiscal Year 2025/26; and

- An exhibit showing the boundaries of the District.
3. That the Engineer's Report is hereby preliminarily approved and ordered to be filed in the Office of the City Clerk as a permanent record and to remain open to public inspection.
 4. That the City Clerk shall certify to the passage and adoption of this Resolution and the minutes of this meeting shall so reflect the presentation of the Engineer's Report.

PASSED AND ADOPTED this 21st day of May 2025, at a Regular Meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2025-039

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, DECLARING ITS INTENTION TO PROVIDE FOR THE ANNUAL LEVY AND COLLECTION OF ASSESSMENTS IN THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT FOR FY 2025/26 AND SETTING A TIME AND PLACE FOR A PUBLIC HEARING THEREON

WHEREAS, the City Council of the City of Solana Beach, California, has previously formed a special assessment district pursuant to the terms of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, such special assessment district known and designated as City of Solana Beach Coastal Rail Trail Maintenance District (the Maintenance District); and

WHEREAS, at this time, the City Council is desirous to take proceedings to provide for the annual levy of assessments for the next ensuing fiscal year to provide for costs and expenses necessary to pay for the maintenance of the improvements in said Maintenance District; and

WHEREAS, at the formation of the District, the adopted Maximum Assessment formula includes an annual Consumer Price Index for All Urban Consumers (CPI-U) adjustment not to exceed 2.00% and this annual adjustment adopted by the initial vote is not considered an increased assessment. The CPI-U for 2023 was 3.12%. Since the maximum amount the assessment is allowed to increase each year is 2.00%, the assessments per Equivalent Benefit Unit (EBU) for Fiscal Year 2025/26 are proposed to increase by 2.00%; and

WHEREAS, there has been presented and approved by this City Council the Engineer's Report, as required by law, and this City Council is desirous of continuing with the proceedings for said annual levy by adopting this Resolution of Intent pursuant to Streets and Highways Code Section 22587.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. The public interest and convenience require, and the City Council does propose at this time, to levy assessments for the Maintenance District to provide for the financing of the operation, maintenance and servicing of certain improvements located within the Coastal Rail Trail including both

landscaping improvements and appurtenances and public lighting improvements and appurtenances.

The landscaping improvements and services to be maintained by the Maintenance District include, but are not limited to, landscaping, planting, ground cover, shrubbery, turf, trees, irrigation and drainage systems, hardscape, fixtures, sidewalks, fencing and other appurtenant items located along and adjacent to the City portion of the Coastal Rail Trail.

The public lighting improvements to be maintained and serviced include, but are not limited to, poles, fixtures, bulbs, conduits, conductors, equipment including guys, anchors, posts and pedestals, metering devices and appurtenant facilities as required to provide lighting along and within the Coastal Rail Trail.

3. That said works of improvement are of special benefit to the properties within the boundaries of said Maintenance District, which Maintenance District the legislative body previously declared to be the area specially benefited by said works of improvement, and for particulars, reference is made to the boundary map as previously approved by this legislative body, a copy of which is on file in the Office of the City Clerk and open for public inspection, and is designated by the name of this Maintenance District.
4. That the Engineers Report, as preliminarily approved by the legislative body, is on file with the City Clerk and open for public inspection. Reference is made to such Engineer's Report for a full and detailed description of the improvements to be installed and/or maintained, the boundaries of the Maintenance District, any zones therein and the proposed assessments upon assessable lots and parcels of land within the Maintenance District.
5. All costs and expenses of the works of maintenance and incidental expenses have been apportioned and distributed to the benefiting parcels in accordance with the special benefits received from the proposed work.
6. Notice is hereby given of a public hearing on the 18th day of June, 2025 at 6:00 P.M.
7. At that time, the legislative body will consider and finally determine whether to levy the proposed annual assessment, and to hear all protests relating to said proposed proceedings, or the estimate of the cost and expenses of the proposed maintenance, or the proposed annual assessment; and any and all persons interested may file a written protest at clerkoffice@cosb.org before 12:00 p.m. of the hearing day or, having

filed such a protest, may file a written withdrawal of that protest at clerkoffice@cosb.org prior to 12:00 p.m. of such hearing day. Any such written protest must state all grounds for objection. A written protest by a property owner must contain a description sufficient to identify the property owned by such person, e.g. assessor's parcel number.

Any interested person may mail a protest to the following address:

CITY CLERK
CITY OF SOLANA BEACH
635 S. HIGHWAY 101
SOLANA BEACH, CA 92075
clerkoffice@cosb.org

To be considered by the legislative body, all protests must be received by 12:00 p.m. the public hearing date. A postmark prior to such date and time will not be sufficient.

8. That the City Clerk is hereby authorized and directed to give notice as required by law by causing a copy of the Resolution to be published in the newspaper of general circulation within said City; and publication to be completed not less than ten (10) days prior to the date set for the public hearing.

PASSED AND ADOPTED this 21st day of May 2025, at a Regular Meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



City Of Solana Beach

Coastal Rail Trail Maintenance District
Engineer's Report
Fiscal Year 2025/2026

Date May 7, 2025

KOPPEL & GRUBER
PUBLIC FINANCE

334 Via Vera Cruz, Suite 256

San Marcos, California 92078

760-510-0290

info@kgpf.net

TABLE OF CONTENTS

SECTION I.	OVERVIEW	1
SECTION II.	PLANS AND SPECIFICATION.....	3
SECTION III.	PROPOSED FISCAL YEAR 2025/2026 BUDGET	5
A.	ESTIMATED FISCAL YEAR 2025/2026 BUDGET	5
B.	DESCRIPTION OF BUDGET ITEMS	7
SECTION IV.	METHOD OF APPORTIONMENT	8
A.	GENERAL	8
B.	GENERAL BENEFIT ANALYSIS	8
C.	SPECIAL BENEFIT ANALYSIS	9
D.	ASSESSMENT METHODOLOGY	10
E.	RATES	12
F.	ASSESSMENT RANGE FORMULA	13
SECTION V.	ASSESSMENT ROLL.....	14
SECTION VI.	ASSESEMENT DIAGRAM	15

SECTION I. OVERVIEW

A. INTRODUCTION AND BACKGROUND

The Coastal Rail Trail (the “CRT”) is a project sponsored by the cities of Oceanside, Carlsbad, Encinitas, Solana Beach and San Diego for a multi-use pathway (bicycle facilities and pedestrian) that will ultimately extend from the San Luis Rey River in Oceanside to the Santa Fe Depot in San Diego. Each of the sponsoring cities has agreed to construct and maintain the portion of the trail that is located within their jurisdiction. The City of Solana Beach (the “City”) began construction on their portion of the CRT (“City CRT”) in August 2003 by obtaining outside grants and the City CRT was substantially completed in November of 2004.

The City CRT consists of a Class I bicycle trail that is approximately 1.7 miles long. The Solana Beach portion of the CRT starts at the south City boundary at Via de la Valle and extends north to Ocean Street near the north City boundary.

The City of Solana Beach Coastal Rail Trail Maintenance District (“District”) was formed in January 2006 in order to provide funding for the maintenance of certain public improvements including but not limited to the operation, maintenance and servicing of landscaping and public lighting improvements along the City CRT. This report constitutes the Fiscal Year 2025/2026 Engineer’s Report for the District.

The City Council pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500* (“Act”) and in compliance with the substantive and procedural requirements of the *California State Constitution Article XIIC and XIID* (“Proposition 218”) and the *Proposition 218 Omnibus Implementation Act (Government Code Section 53750 and following)* (the “Implementation Act”) desires to levy and collect annual assessments against lots and parcels within the District beginning in the fiscal year commencing July 1, 2025 and ending June 30, 2026 to pay for the operation, maintenance and servicing of landscaping and public lighting improvements along the City CRT. The proposed assessments are based on the City’s estimate of the costs for Fiscal Year 2025/2026 to maintain the City CRT improvements that provide a special benefit to properties assessed within the District. The assessment rates set for Fiscal Year 2025/2026 as set forth in this Engineer’s Report, do not exceed the maximum rates established at the time the District was formed, therefore, the City and the District are not required to go through a property owner ballot procedure in order to establish the 2025/2026 assessment rates.

B. CONTENTS OF ENGINEER'S REPORT

This Report describes the District boundaries and the proposed improvements to be assessed to the property owners located within the District. The Report is made up of the following sections.

SECTION I. OVERVIEW – Provides a general introduction into the Report and provides background on the District and the assessment.

SECTION II. PLANS AND SPECIFICATIONS – Contains a general description of the improvements that are maintained and serviced by the District.

SECTION III. PROPOSED FISCAL YEAR 2025/2026 BUDGET – Identifies the cost of the maintenance and services to be provided by the District including incidental costs and expenses.

SECTION IV. METHOD OF APPORTIONMENT – Describes the basis in which costs have been apportioned to lots or parcels within the District, in proportion to the special benefit received by each lot or parcel.

SECTION V. ASSESSMENT ROLL – The assessment roll identifies the maximum assessment to be levied to each lot or parcel within the District.

SECTION VI. ASSESSMENT DIAGRAM – Displays a diagram of the District showing the boundaries of the District.

For this Report, each lot or parcel to be assessed, refers to an individual property assigned its own Assessment Parcel Number (“APN”) by the San Diego County (“County”) Assessor’s Office as shown on the last equalized roll of the assessor.

Following the conclusion of the Public Hearing, the City Council will confirm the Report as submitted or amended and may order the collection of assessments for Fiscal Year 2025/2026.

SECTION II. PLANS AND SPECIFICATION

A. GENERAL DESCRIPTION OF THE DISTRICT

The boundaries of the District are defined as being contiguous with the boundaries of the City of Solana Beach. Solana Beach is located approximately thirty miles north of the City of San Diego in the north coastal area of the County. The City is bordered by the Pacific Ocean to the west, the City of Encinitas to the north, the City of Del Mar to the south and the County of San Diego to the east.

The properties within the District include single-family residential, multi-family residential, timeshare, commercial, and industrial parcels. Each parcel has been categorized into three zones based upon their general proximity to the City CRT. Please refer to Section IV D of the Report for a further explanation on the zones included within the District.

B. DESCRIPTION OF SERVICES AND IMPROVEMENTS TO BE MAINTAINED

The District provides a funding mechanism for the ongoing maintenance, operation and servicing of landscaping and public lighting improvements that were installed as part of the construction of the City CRT. These improvements may include, but are not limited to, all materials, equipment, utilities, labor, and appurtenant facilities related to those improvements.

The improvements constructed as part of the project that are to be maintained and serviced by the District relate to landscaping and public lighting improvements, and are generally described as follows:

- Concrete and decomposed granite trails including landscaping, irrigation, drainage, grading, lighting, and hardscape features.
- Concrete paths, trees, plantings, lighting, irrigation, conduit, infrastructure, earthwork, trash receptacles, fencing, node structures (bus shelters, art amenities, garden nodes), drinking fountains, signage, and observation deck.
- Open space and irrigated and planted slopes located along the Trail.
- Public lighting facilities within and adjacent to the City CRT.

Maintenance services will be provided by City personnel and/or private contractors. The proposed improvements to be maintained and services are generally described as follows:

LANDSCAPING AND APPURTENANT IMPROVEMENTS

The landscaping improvements and services to be maintained by the District include but are not limited to landscaping, planting, ground cover, shrubbery, turf, trees, irrigation and drainage systems, hardscape, fixtures, sidewalks, fencing and other appurtenant items located along and adjacent to the City CRT.

PUBLIC LIGHTING AND APPURTENANT IMPROVEMENTS

The public lighting improvements to be maintained and serviced include but are not limited to the following, which provide public lighting directly or indirectly to the City CRT or to other public areas associated with or necessary for use of the trail:

- Maintenance, repair and replacement of public light poles and fixtures, including changing light bulbs, painting, photoelectric cell repair or replacement, and repairing damage caused by automobile accidents, vandalism, time, and weather.
- Electrical conduit repair and replacement due to damage by vandalism, time and weather.
- Service-call maintenance, repair and replacement including painting, replacing worn out electrical components and repairing damage due to accidents, vandalism, and weather.
- Payment of the electrical bill for the existing street lighting system.
- Responding to constituent and business inquiries and complaints regarding the public lighting.

Maintenance means the furnishing of services and materials for the ordinary and usual maintenance, operation and servicing of landscaping and public lighting improvements facilities and appurtenant facilities. This includes repair, removal or replacement of all or part of any of the landscaping and street lighting improvements, or appurtenant facilities; providing for the life, growth, health and beauty of landscaping improvements and for the operation of the lighting improvements.

Servicing means the furnishing of all labor, materials, equipment and utilities necessary to maintain the landscaping improvements and to maintain and operate the public lighting improvements or appurtenant facilities in order to provide adequate illumination.

SECTION III. PROPOSED FISCAL YEAR BUDGET

A. ESTIMATED FISCAL YEAR 2025/2026 BUDGET

A summary of the proposed District Fiscal Year 2025/2026 budget is summarized, by category, in Table 1 shown on the following page:

Table 1
CITY OF SOLANA BEACH
COASTAL RAIL TRAIL MAINTENANCE DISTRICT
2025/2026 BUDGET

	TOTAL BUDGET	GENERAL BENEFIT PORTION^{1&2}	PROPOSED FY 2025/2026 ASSESSMENT
OPERATING AND MAINTENANCE COSTS			
Operating and Maintenance			
Landscape, Irrigation & Hardscape Maintenance Thru an Outside Contract (Includes Tree Trimming)	\$129,742	\$30,591	\$99,151
Utilities (Water)	\$30,000	\$0	\$30,000
Utilities (Electricity)	\$40,000	\$40,000	\$0
Trail Maintenance (DG & Concrete Paths)	\$1,400	\$0	\$1,400
Graffiti Abatement	\$200	\$0	\$200
Ballard Replacement (2)	\$8,000	\$0	\$8,000
Total Operating and Maintenance Costs	\$209,342	\$70,591	\$138,751
CAPITAL REPLACEMENT AND RESERVES			
Capital Replacement			
Landscape & Irrigation Replacement	\$3,600	\$200	\$3,400
Pedestrian/Bicycle Path Replacement	\$2,600	\$200	\$2,400
Hardscape Features Replacement (water fountain, art work, bus shelter)	\$2,600	\$200	\$2,400
Reserves			
Fiscal Year 2025/2026 Reserve Collection	\$0	\$0	\$0
Total Capital Replacement and Reserves	\$8,800	\$600	\$8,200
ADMINISTRATION COSTS			
District Administration Costs			
County SB 2557 Costs			\$600
County Electronic Data Processing Costs			\$602
City Administration/Consultant Costs			\$17,016
Total Administration Costs			\$18,218
AMOUNT TO LEVY			
TOTAL BUDGET			\$165,169
LESS OPERATING RESERVES USED IN FY²			(\$79,381)
TOTAL ASSESSMENT AMOUNT			\$85,788
Total Parcels in the District			13,105
Total Parcels Levied			5,658
Total Equivalent Benefit Units			10,069.13
Proposed Levy Per Equivalent Benefit Unit			\$8.52
Inflation Percentage Applied to Proposed Levy Per EBU			2.00%

OPERATING RESERVES	
Beginning Balance as of 7/1/25	\$35,969
FY 2025/2026 Collection	85,788
Expenditures	(165,169)
Measure S Funds - Interfund Transfer	86,306
Projected Ending Balance as of 6/30/26 ³	\$42,894
Maximum Recommended Cash Flow Reserve Amount	\$42,894

1. While the cost of the electricity is not 100% general benefit, the City is paying for the entire cost through other available funds and none of the cost is being allocated to the parcels located within the District.
2. The CRT landscaping cost is greater than the available funding from the District so other available funding is being utilized to cover the difference.
3. The City is developing a plan on how to utilize the operating reserves on the CRT in the future.

B. DESCRIPTION OF BUDGET ITEMS

The following is a brief description of the major budget categories that includes the detailed costs of maintenance and services for the District included in the table above.

OPERATING AND MAINTENANCE COSTS – This includes the costs of maintaining and servicing the landscaping and lighting improvements. This may include, but is not limited to, the costs for labor, utilities, equipment, supplies, repairs, replacements and upgrades that are required to properly maintain the items that provide a direct benefit to properties located within the District.

CAPITAL REPLACEMENT AND RESERVES – These items provide a funding source to pay for items that wear out over time, other unanticipated items not directly budgeted for and for the replacement of the landscaping, pathways and hardscape features located along and adjacent to the City CRT.

ADMINISTRATION COSTS – This includes the indirect costs not included above that are necessary to pay for administrative costs related to the District, including the levy and submittal of the assessments to the County to be placed on the Fiscal Year 2025/2026 County equalized tax roll, responding to property owner inquiries relating to the assessments and services, and any other related administrative costs.

SECTION IV. METHOD OF APPORTIONMENT

A. GENERAL

The 1972 Act permits the establishment of assessment districts by agencies for the purpose of providing certain public improvements, which include the construction, maintenance, and servicing of landscaping and public lights and appurtenant facilities.

Streets and Highways Code Section 22573 requires that maintenance assessments be levied according to benefit rather than the assessed value.

“The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements.”

In addition, Article XIID and the Implementation Act require that a parcel’s assessment may not exceed the reasonable cost for the proportional special benefit conferred to that parcel. A special benefit is a particular and distinct benefit over and above general benefits conferred on property located within the assessment district. Article XIID and the Implementation Act further provides that only special benefits are assessable and the City must separate the general benefits from the special benefits. They also require that publicly owned properties which specifically benefit from the improvements be assessed.

B. GENERAL BENEFIT ANALYSIS

The improvements described in Section II B of this Report are for the special benefit, enhancement and use of properties within the District. However, the City CRT was constructed as a portion of a much larger regional trail that eventually will extend from the City of Oceanside to the north to the City of San Diego to the south. Residents and property owners located in each of the cities along the trail will receive a special benefit from the construction and maintenance of the trail within their city. Residents from each of these cities will have an opportunity to use the entire trail upon completion including the portion in Solana Beach which creates a general benefit.

Additionally, included among the different property types in the City are timeshare units. Though individuals may purchase and “own” their timeshare unit, their ownership rights are limited and temporary (typically one week per year.) Owners of timeshare units have an opportunity to use the CRT while vacationing in the City. Due to the limited ownership time-frame of timeshare owners, their special benefit is limited and thus considered as part of the general benefit similar to the general benefit to the public at large.

The general benefit portion of the assessment has been determined by looking at each participating city’s trail length as a factor of the entire trail. The City of Solana Beach’s portion of the CRT is 1.7 miles compared to the entire proposed trail length of 44.0 miles. Comparing the length of the City CRT to the total length of the CRT results in a general benefit of 3.86%. Engineering also determined that timeshares add an additional 2.0%

general benefit impact. For rounding purposes after adding the two components (3.86% + 2.0%) the general benefit is considered to be 6.0% overall to the public at large. The budget has been allocated to parcels based on their special benefit share. In addition, the City is paying 100% of the electricity costs, totaling \$29,500, for the District through funds available from other sources resulting in over 30% of the costs paid directly by the City.

C. SPECIAL BENEFIT ANALYSIS

Each of the proposed improvements and the associated costs and assessments within the District has been reviewed, identified and allocated based on special benefit pursuant to the provisions of Article XIID, the Implementation Act, and the Streets and Highways Code Section 22573.

Proper maintenance and operation of the City CRT landscaping, hardscape, open space and public lighting provides special benefit to adjacent properties by providing community character, security, safety and vitality. Additionally, one of the purposes of the trail is to facilitate alternative transportation opportunities in order to reduce air pollution and vehicular traffic congestion which provide special benefit to the properties within the District.

TRAIL AND LANDSCAPING SPECIAL BENEFIT

Landscaping and appurtenant facilities, if well maintained, provide beautification, shade and enhancement of the desirability of the surroundings, and therefore increase property values. Specifically, they provide a sense of ownership and a common theme in the community providing aesthetic appeal, recreational and health opportunities and increased desirability of properties.

PUBLIC LIGHTING SPECIAL BENEFIT

The operation, maintenance and servicing of public lighting along and adjacent to the City CRT provide safety and security to properties along City CRT specifically as follows:

- Improved security, deterrence of crime and aid to police and fire protection.
- Reduced vandalism and damage to the improvements and property.
- Increased business activity to the coastal community during nighttime hours.

D. ASSESSMENT METHODOLOGY

To establish the special benefit to the individual lots or parcels within the District, an Equivalent Benefit Unit system based on land use is used along with a Zone Factor based on geographic proximity to the City CRT.

EQUIVALENT BENEFIT UNITS

Each parcel of land is assigned an Equivalent Benefit Unit in proportion to the estimated special benefit the parcel receives relative to other parcels within the District. The single family detached (“SFD”) residential property has been selected as the basic unit for calculating assessments; therefore, a SFD residential parcel equals one Equivalent Benefit Unit (“EBU”).

The EBU method of apportioning benefit is typically seen as the most appropriate and equitable assessment methodology for districts formed under the 1972 Act, as the benefit to each parcel from the improvements are apportioned as a function of land use type, size and development. A methodology has been developed to relate all other land uses to the SFD residential as described below.

EBU APPLICATION BY LAND USE:

SINGLE-FAMILY RESIDENTIAL — This land use is defined as a fully subdivided residential parcel in which a tract map has been approved and recorded. This land use is assessed 1.0 EBU per lot or parcel. This is the base value that all other land use types are compared and weighted against (i.e. Equivalent Benefit Unit or EBU).

RESIDENTIAL CONDOMINIUM — This land use is defined as a fully subdivided residential parcel that has more than one residential unit developed on the property with individual unit ownership. This land use is assessed 1.0 EBU per dwelling unit.

MULTI-FAMILY RESIDENTIAL — This land use is defined as a fully subdivided residential parcel that has more than one residential unit developed on the property not available for individual unit ownership. This land use is assessed 0.75 EBU per dwelling unit.

PLANNED-RESIDENTIAL DEVELOPMENT — This land use is defined as any property not fully subdivided with a specific number of proposed residential lots or dwelling units to be developed on the parcel. This land use type is assessed at 1.0 EBU per planned (proposed) residential lot or dwelling unit.

COMMERCIAL/INDUSTRIAL — This land use is defined as property developed for either commercial or industrial use. This land use type is assessed at 1.0 EBU per parcel.

VACANT SINGLE-FAMILY RESIDENTIAL — This land use is defined as property currently zoned for single-family detached residential development, but a tentative or final tract map has not been submitted and/or approved. This land use is assessed at 1.0 EBU per parcel.

VACANT MULTI-FAMILY RESIDENTIAL — This land use is defined as property currently zoned for multi-family residential development, but a tentative or final tract map has not been submitted and/or approved. This land use is assessed at 0.75 EBU per parcel.

VACANT COMMERCIAL/INDUSTRIAL — This land use is defined as property currently zoned for either commercial or industrial use. This land use is assessed at 1.0 EBU per parcel.

EXEMPT PARCELS — This land use identifies properties that are not assessed and are assigned 0.0 EBU. This land use classification may include, but is not limited, to lots or parcels identified as public streets and other roadways (typically not assigned an APN by the County); dedicated public easements, open space areas and right-of-ways including greenbelts and parkways; utility right-of-ways; common areas, sliver parcels and bifurcated lots or any other property that can not be developed; park properties and other publicly owned properties that are part of the District improvements or that have little or no improvement value. These types of parcels are considered to receive little or no benefit from the improvements and are therefore exempted from assessment.

PUBLIC OWNED PARCELS — This land use identifies properties that are not assessed and are assigned 0.0 EBU. This land use classification includes other typically non-assessed parcels that are not considered exempt parcels and may include, but is not limited, to lots or parcels identified as schools, government owned buildings, fire and police stations, and administration offices. These types of properties are considered to receive little special benefit from the improvements and any benefit that they may receive is considered to be part of the City's general benefit contribution to the District.

ZONE FACTOR

The District was divided into three zones based on the proximity of parcels in location to the City CRT. Properties located the closest to the trail will receive a greater special benefit as compared to those parcels the farthest away. In order to calculate this into the assessment a factor is applied to each parcel according to the following Zone location.

ZONE 1 PROPERTIES – This Zone is defined as properties located adjacent to or within a few blocks of the City CRT improvements. This includes all properties that are generally located east of Acacia and Sierra Avenue and west of Rios Avenue. Parcels located in this zone use the EBU amounts derived above based on land use and then multiplied by a proximity factor of three (3).

ZONE 2 PROPERTIES – This Zone is defined as properties located close to the improvements but not adjacent to the City CRT or properties defined as Zone 1 Properties. This includes all properties that are generally located west of Acacia Avenue and also those properties located east of Rios Avenue and west of Interstate-5. Parcels located in this zone use the EBU amounts derived above based on land use and then multiplied by a proximity factor of two (2).

ZONE 3 PROPERTIES – This Zone is defined as properties located the furthest away from the City CRT improvements. This includes all properties that are located east of Interstate-5. Parcels located in this zone use the EBU amounts derived above based on land use and then multiplied by a proximity factor of 0.5.

The following table summarizes the EBU and Zone Factors based on land use.

Table 2

**CITY OF SOLANA BEACH
COASTAL RAIL TRAIL MAINTENANCE DISTRICT
EQUIVALENT BENEFIT UNITS AND ZONE FACTOR BY LAND USE**

Land Use Description	Equivalent Benefit Units (EBUs)	Per	Zone 1 Multiplier	Zone 2 Multiplier	Zone 3 Multiplier	No. of EBUs for Property in Zone 1	No. of EBUs for Property in Zone 2	No. of EBUs for Property in Zone 3
Single Family Residential	1.00	Lot or Parcel	3.00	2.00	0.50	3.00	2.00	0.50
Residential Condominium	1.00	Dwelling Unit	3.00	2.00	0.50	3.00	2.00	0.50
Multi-Family Residential	0.75	Dwelling Unit	3.00	2.00	0.50	2.25	1.50	0.38
		Lot or Dwelling						
Planned Residential Development	1.00	Unit	3.00	2.00	0.50	3.00	2.00	0.50
Commercial/Industrial	1.00	Parcel	3.00	2.00	0.50	3.00	2.00	0.50
Vacant Single Family Residential	1.00	Parcel	3.00	2.00	0.50	3.00	2.00	0.50
Vacant Multi-Family Residential	0.75	Parcel	3.00	2.00	0.50	2.25	1.50	0.38
Vacant Commercial/Industrial	1.00	Parcel	3.00	2.00	0.50	3.00	2.00	0.50
		1 week of						
Timeshare Units	0.00	ownership	3.00	2.00	0.50	0.00	0.00	0.00
Exempt Parcels	0.00	Parcel	3.00	2.00	0.50	0.00	0.00	0.00
Public Owned Parcels	0.00	Parcel	3.00	2.00	0.50	0.00	0.00	0.00

In order to determine the maximum annual assessment rate for each type of land use described above, the following formula is applied:

Applicable EBU * Applicable Zone Factor*Maximum Assessment Rate per 1.0 EBU=Assessment Rate per Unit/Parcel.

E. RATES

Table 3 below shows the maximum assessments rates proposed to be levied in Fiscal Year 2025/2026 by land use. Because the San Diego Consumer Price Index for All Urban Consumers (“CPI-U”) was over 2.00% for 2024 (3.12%), the maximum assessments were increased by 2.00% as allowed for in the assessment range formula discussed below.

Table 3

**CITY OF SOLANA BEACH
COASTAL RAIL TRAIL MAINTENANCE DISTRICT
EQUIVELANT BENEFIT UNITS AND ZONE FACTOR BY LAND USE**

Land Use Description	Per	Base Rate for Zone 1	Base Rate for Zone 2	Base Rate for Zone 3
Single Family Residential	Lot or Parcel	\$25.56	\$17.04	\$4.26
Residential Condominium	Dwelling Unit	\$25.56	\$17.04	\$4.26
Multi-Family Residential	Dwelling Unit	\$19.18	\$12.78	\$3.20
	Lot or Dwelling			
Planned Residential Development	Unit	\$25.56	\$17.04	\$4.26
Commercial/Industrial	Parcel	\$25.56	\$17.04	\$4.26
Vacant Single Family Residential	Parcel	\$25.56	\$17.04	\$4.26
Vacant Multi-Family Residential	Parcel	\$19.18	\$12.78	\$3.20
Vacant Commercial/Industrial	Parcel	\$25.56	\$17.04	\$4.26
	1 week of			
Timeshare Units	ownership	\$0.00	\$0.00	\$0.00
Exempt Parcels	Parcel	\$0.00	\$0.00	\$0.00
Public Owned Parcels	Parcel	\$0.00	\$0.00	\$0.00

F. ASSESSMENT RANGE FORMULA

The purpose of establishing an Assessment Range Formula is to provide for reasonable inflationary increases to the annual assessments without requiring the District to go through an expensive balloting process required by law in order to get a small increase. On July 1, 2007 and each year thereafter, the Maximum Assessment Rate shall be increased by the lesser of Local CPI-U in the San Diego County area or 2.0%. The CPI-U used shall be as determined annually by the Bureau of Labor Statistics beginning with the CPI-U rate increase for 2006.

Beginning in the Fiscal Year 2007/2008 the Maximum Assessment may be increased using the lesser of the increase in the CPI-U from first year levy (the Assessment Range Formula) or 2.0%. This Assessment Rate Formula would be applied every fiscal year thereafter and a new Maximum Assessment will be established to include the allowable increase.

The Maximum Assessment adjusted annually by this formula is not considered an increased assessment. Although the Maximum Assessment will increase each year, the actual assessment will only reflect the necessary budgeted amounts and may remain unchanged. Increases in the budget or an increase in the rate in one year from the prior year will not require a new 218 balloting unless the rate is greater than the Maximum Assessment adjusted to reflect an increase in the CPI-U.

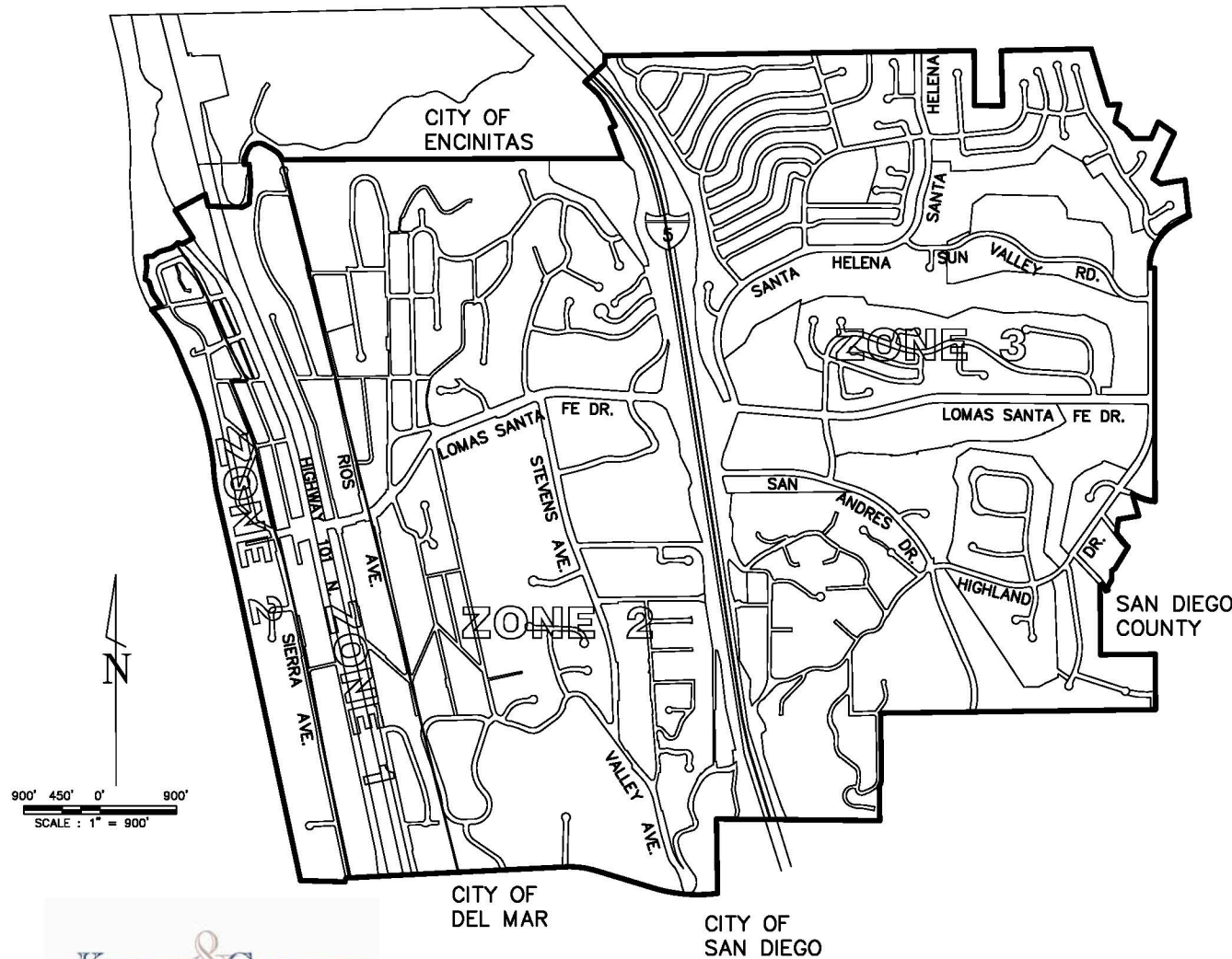
SECTION V. ASSESSMENT ROLL

Parcel identification, for each lot or parcel within the District shall be the parcel as shown on the County Assessor's map for the year in which this Report is prepared.

A listing of parcels assessed within the District, along with the proposed assessment amounts, has been submitted to the City Clerk, under a separate cover, and by reference is made part of this Report. Said listing of parcels to be assessed shall be submitted to the County Auditor/Controller and included on the property tax roll for each parcel in Fiscal Year 2025/2026. If any parcel submitted for collection is identified by the County Auditor/Controller to be an invalid parcel number for the current fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment and assessment rate approved in this Report. Therefore, if a single parcel has changed to multiple parcels, the assessment amount applied to each of the new parcels shall be recalculated and applied according to the approved method of apportionment and assessment rate rather than a proportionate share of the original assessment.

SECTION VI. ASSESSMENT DIAGRAM

The parcels within the District consist of all lots, parcels and subdivisions of land located in the City. A reduced copy of the boundary map of the area is attached.



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF SOLANA BEACH
THIS _____ DAY OF _____, 2005.

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING PROPOSED BOUNDARIES
OF THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT, CITY OF SOLANA
BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, WAS APPROVED BY
THE CITY COUNCIL OF THE CITY OF SOLANA BEACH AT A REGULAR MEETING
THEREOF, HELD ON THE _____ DAY OF _____
2005, BY ITS RESOLUTION NO. _____

CITY CLERK
CITY OF SOLANA BEACH

NOTE: FOR PARTICULARS OF THE LINES AND DIMENSIONS OF ASSESSOR'S
PARCELS, REFERENCE IS MADE TO THE MAPS OF THE SAN DIEGO COUNTY
ASSESSOR OF SAN DIEGO COUNTY RECORDS, WHICH MAPS SHALL GOVERN
FOR ALL DETAILS RELATING THERETO.

KOPPEL & GRUBER
PUBLIC FINANCE

334 Via Vera Cruz
Suite 266
San Marcos, California 92078
Phone (760) 510-0290 Fax (760) 510-0288

PROPOSED BOUNDARY MAP OF COASTAL RAIL TRAIL MAINTENANCE DISTRICT

CITY OF SOLANA BEACH
COUNTY OF SAN DIEGO
STATE OF CALIFORNIA

CITY OF SOLANA BEACH

CITY OF SOLANA BEACH COASTAL RAIL TRAIL MAINTENANCE DISTRICT

Engineer's Report Fiscal Year 2025/2026

The undersigned respectfully submits the enclosed Report as directed by City Council.

Report Submitted By:



By: _____
Scott Koppel
Koppel & Gruber Public Finance

By: _____
Daniel Goldberg, City Engineer
City of Solana Beach



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Engineering/Public Works Department – Dan Goldberg, City Engineer
SUBJECT: **Consideration of Resolution 2025-042 - List of Projects for Fiscal Year 2025/26 to Receive Road Maintenance Rehabilitation Account Funding as Required by Senate Bill (SB) 1**

BACKGROUND:

On April 28, 2017, Governor Brown signed Senate Bill (SB) 1 (Beall, Chapter 5, Statutes of 2017), which is known as the Road Repair and Accountability Act of 2017. To address basic road maintenance, rehabilitation and critical safety needs on both the state highway and local streets and roads system, SB 1 increased per gallon fuel excise taxes, increased diesel fuel sales taxes, and vehicle registration fees, and also provided for inflationary adjustments to tax rates in future years.

Beginning November 1, 2017, the State Controller (Controller) started depositing various portions of this new funding into the newly created Road Maintenance and Rehabilitation Account (RMRA). A percentage of this new RMRA funding is apportioned by formula to eligible cities and counties pursuant to Streets and Highways Code (SHC) Section 2032(h) for basic road maintenance, rehabilitation, and critical safety projects on the local streets and roads system.

SB 1 emphasizes the importance of accountability and transparency in the delivery of California's transportation programs. Therefore, to be eligible for RMRA funding, the statute requires cities and counties to provide basic annual RMRA project reporting to the California Transportation Commission (Commission). One of the reporting requirements is that all projects proposed to receive SB 1 funding must be included in a city/county budget that is adopted by the applicable city council or county board of supervisors at a regular public meeting.

COUNCIL ACTION:

This item is before the City Council for the consideration of Resolution 2025-042 (Attachment 1) which would authorize Staff to establish a project list for the 2025 and 2026 Local Streets and Roads Funding Program using funds from the Road Maintenance and Rehabilitation Account, designating the 2025 and 2026 Street Maintenance and Repairs Project to receive the funding from this program and to submit to the Commission a list of projects proposed to be funded with an apportionment of RMRA funds. The project list will include only one project, the 2025 and 2026 Annual Street Maintenance and Repairs Project.

DISCUSSION:

Pursuant to Streets and Highway Codes (SHC) Section 2030(a), the objective of the Local Streets and Roads Program is to address deferred maintenance on local streets and roads through the prioritization and delivery of basic road maintenance and rehabilitation projects as well as critical safety projects.

Cities and counties receiving RMRA funds must comply with all relevant federal and state laws, regulations, policies, and procedures. The main requirements for the program are codified in SHC Sections 2034, 2036, 2037, and 2038 and include the following:

- Prior to receiving an apportionment of RMRA funds from the Controller in a fiscal year, a city or county must submit to the Commission a list of projects proposed to be funded with these funds. All projects proposed to receive funding must be included in a city or county budget that is adopted by the applicable city council or county board of supervisors at a regular public meeting [SHC 2034(a)(1)].
- The list of projects must include a description and the location of each proposed project, a proposed schedule for the project's completion, and the estimated useful life of the improvement [SHC 2034(a)(1)].
- The project list does not limit the flexibility of an eligible city or county to fund projects in accordance with local needs and priorities so long as the projects are consistent with RMRA priorities as outlined in SHC 2030(b) [SHC 2034(a)(1)].
- The initial project list must be submitted to the Commission no later than July 1, 2025, for the Fiscal Year (FY) 2025/26 Local Streets and Roads Funding Program.
- The Commission will report to the Controller the names of the cities and counties that have submitted a list of projects as described in SHC 2034(a)(1) and therefore are eligible to receive an apportionment of RMRA funds for the applicable fiscal year [SHC 2034(a)(2)].

- The Controller, upon receipt of the report from the Commission, shall apportion RMRA funds to eligible cities and counties pursuant to SHC 2032(h) [SHC 2034(a)(2)].
- For each fiscal year in which RMRA funds are received and expended, cities must submit documentation to the Commission that includes a description and location of each completed project, the amount of funds expended on the project, the completion date, and the estimated useful life of the improvement [SHC 2034(b)].
- A city or county receiving an apportionment of RMRA funds is required to sustain a maintenance of effort (MOE) by spending at least the annual average of its general fund expenditures during the 2009/10, 2010/11, and 2011/12 fiscal years for street, road, and highway purposes from the city's or county's general fund [SHC 2036]. Monitoring and enforcement of the maintenance of effort requirement for RMRA funds will be carried out by the Controller.
- A city or county may spend its apportionment of RMRA funds on transportation priorities other than priorities outlined in SHC 2030(b) if the city or county's average Pavement Condition Index (PCI) meets or exceeds 80 [SHC 2037].
- By July 1, 2025, cities and counties receiving RMRA funds must follow guidelines developed by the California Workforce Development Board (Board) that address participation and investment in, or partnership with, new or existing pre-apprenticeship training programs [SHC 2038].
- Project types that are eligible to receive and use RMRA funding include road maintenance/rehabilitation, safety project, complete streets components and traffic control devices [SHC 2030(b)].

To comply with requirements of SB 1, Staff is proposing to include the RMRA funding for the annual street repair project that repairs and resurfaces streets throughout the City. The 2025 and 2026 Street Maintenance and Repairs Project is proposed to be included in the FY 2025/26 Adopted Budget; this action does not establish the budget item. While the approval of the budget for this work is required in June, in order to be completely transparent and as required by the SB 1 program, Staff is recommending that Council consider Resolution 2025-042 to provide clear documentation that the 2025 and 2026 Street Maintenance and Repairs Project will be funded through the SB 1 program.

CEQA COMPLIANCE STATEMENT:

The annual street repair project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

Project funding will be from the Fiscal Year (FY) 2024/25 Annual Pavement Management Program as adopted in the Capital Improvement Program section of the Adopted Budget. The funding includes \$200,000 in Gas Tax Funds, account 2026510.66610, \$210,000 in *TransNet* Funds, account 2286510.66610, \$300,000 in Road Repair and Accountability Act (SB1) Funds, account 2476510.66610, \$500,000 in City CIP Funds (transferred from Measure S Surplus in FY24), account 4596510.66610, and \$390,000 in General Funds – Measure S, account 1106510.66610. The funding available for the FY 2024/25 Street Maintenance and Repairs Project is \$1,600,000. It is anticipated that funding for the FY 2025/26 Street Maintenance and Repairs Project will be \$1,100,000. Actual funding amounts for the FY 2025/26 project will be identified when the FY 2025/26 and FY 2026/27 two-year budget is adopted later this fiscal year.

Based on January 2025 projections, the City is expected to receive \$339,268 in FY 2025/26 as part of the SB 1/RMRA program. Note that these projections were estimates from January 2025, are subject to change, and will be updated again in May 2025.

WORK PLAN:

This item is listed in the FY 2024/25 Work Plan under the Circulation and Parking section of Ongoing Priorities and Monitoring and is also included in the draft 2025/26 Work Plan.

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments or modifications.
- Deny Staff recommendation and provide direction.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-042:

1. Authorizing the City Engineer to establish a project list for Local Streets and Roads Funding Program Road Maintenance and Rehabilitation Account FY 2025/26 revenues and designates the 2025 and 2026 Annual Street Maintenance and Repairs Project, as identified in the City's FY 2025/26 Capital Improvement Program list, to receive SB 1 funding. It is anticipated that the designated project will rehabilitate the pavement through asphalt overlays of Lomas Santa Fe Drive from the eastern edge of the North County Transit District railroad right of way to east of Solana Hills Drive; and several residential streets including San Rodolfo Drive/Solana Hills Drive from Stevens Avenue to Lomas Santa Fe Drive, Sierra Avenue from Estrella Street to W. Cliff Street, sections of Highland Drive, all of Cerro Verde Drive, all of El Pedregal Court, all of Ramona Place, all of La Sobrina Court, all of Loma Corta Drive, all of Santa Madera Court, and all of Santa Rufina

Court. It is also anticipated that the designated project will be completed by March 2026 and will have an estimated useful life of approximately 15 years.

2. Authorizing the City Engineer to submit the project list to the California Transportation Commission for the 2025/26 Local Streets and Roads Funding Program using funds from the Road Maintenance and Rehabilitation Account.



Ayssa Muto, City Manager

Attachments:

1. Resolution 2025-042
2. Area map of the 2025 and 2026 Annual Street Maintenance and Repairs Project

RESOLUTION 2025-042

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ESTABLISHING A PROJECT LIST FOR THE FISCAL YEAR 2025/26 LOCAL STREETS AND ROADS FUNDING PROGRAM AND AUTHORIZING THE CITY ENGINEER TO SUBMIT THE LIST TO THE CALIFORNIA TRANSPORTATION COMMITTEE

WHEREAS, Senate Bill 1 (SB 1), the Road Repair and Accountability Act of 2017 (Chapter 5, Statutes of 2017), was passed by the Legislature and Signed into law by the Governor in April 2017 to address the significant multi-modal transportation funding shortfalls statewide; and

WHEREAS, SB 1 includes accountability and transparency provisions that will ensure the residents of the City of Solana Beach are aware of the projects proposed for funding in the City and which projects have been completed each fiscal year; and

WHEREAS, the City of Solana Beach must adopt by resolution a list of projects proposed to receive fiscal year funding from the Road Maintenance and Rehabilitation Account (RMRA), created by SB 1, which must include a description and the location of each proposed project, a proposed schedule for the project's completion, and the estimated useful life of the improvement; and

WHEREAS, the City of Solana Beach, will receive an estimated \$339,268 in RMRA funding in FY 2025/26 from SB 1; and

WHEREAS, this is the ninth year in which the City is receiving SB 1 funding and will enable the City to continue essential road maintenance and rehabilitation projects, safety improvements, repairing and replacing aging bridges, and increasing access and mobility options for the traveling public that would not have otherwise been possible without SB 1; and

WHEREAS, the City has undergone a robust public process to ensure public input into the City's transportation priorities and the project list; and

WHEREAS, the City used a Pavement Management System to develop the SB 1 project list to ensure revenues are being used on the most high-priority and cost-effective projects that also meet the community's priorities for transportation investment; and

WHEREAS, the funding from SB 1 will help the City maintain and rehabilitate, through overlays and digouts, portions of at least thirteen streets throughout the City this year and many similar projects into the future; and

WHEREAS, the 2023 California Statewide Local Streets and Roads Needs Assessment found that the City's streets and roads are in good condition and this revenue will help the City increase the overall quality of the road system and over the next decade will help upgrade and improve the conditions of City streets and roads; and

WHEREAS, the SB 1 project list and overall investment in our local streets and roads infrastructure with a focus on basic maintenance and safety, investing in complete streets infrastructure, and using cutting-edge technology, materials and practices, will have significant positive benefits within the City and throughout the state.

NOW, THEREFORE IT IS HEREBY RESOLVED, ORDERED AND FOUND by, the City Council of the City of Solana Beach, California, as follows:

1. The foregoing recitals are true and correct.
2. That the City Council authorizes the City Engineer to establish a project list for Local Streets and Roads Funding Program Road Maintenance and Rehabilitation Account FY 2025/26 revenues and designates the 2025 and 2026 Annual Street Maintenance and Repairs Project, as identified in the City's FY 2025/26 Capital Improvement Program list, to receive SB 1 funding. It is anticipated that the designated project will rehabilitate the pavement through asphalt overlays of Lomas Santa Fe Drive from the eastern edge of the North County Transit District railroad right of way to east of Solana Hills Drive; several residential streets including San Rodolfo Drive/ Solana Hills Drive from Stevens Avenue to Lomas Santa Fe Drive, Sierra Avenue from Estrella Street to W. Cliff Street, sections of Highland Drive, all of Cerro Verde Drive, all of El Pedregal Court, all of Ramona Place, all of La Sobrina Court, all of Loma Corta Drive, all of Santa Madera Court, and all of Santa Rufina Court. It is also anticipated that the designated project will be completed by March 2026, and will have an estimated useful life of approximately 15 years.
3. That the City Council authorizes the City Engineer to submit the project list to the California Transportation Commission for the 2025/26 Local Streets and Roads Funding Program using funds from the Road Maintenance and Rehabilitation Account.

PASSED AND ADOPTED this 21st day of May 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

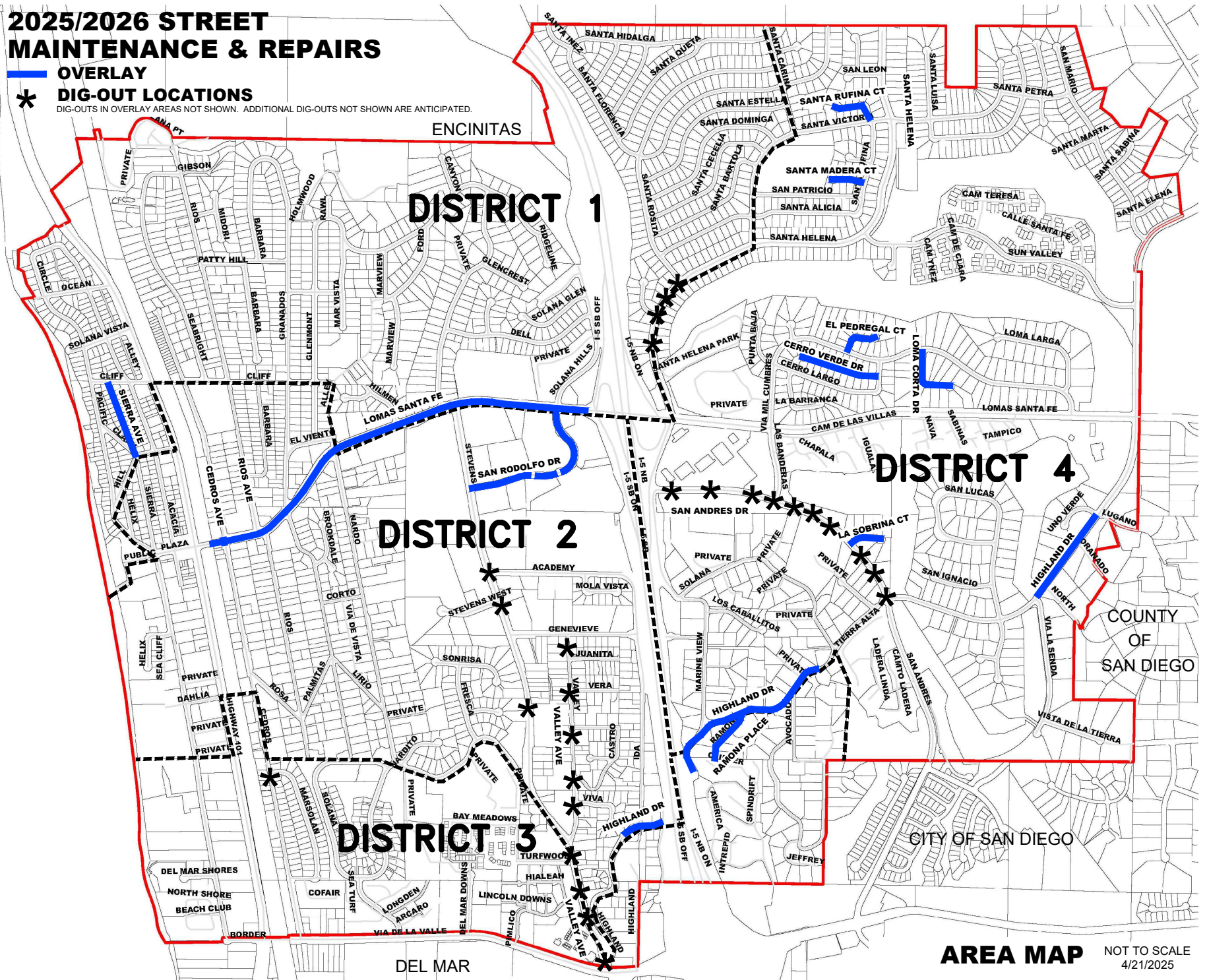
JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

2025/2026 STREET MAINTENANCE & REPAIRS

-  **OVERLAY**
-  **DIG-OUT LOCATIONS**

DIG-OUTS IN OVERLAY AREAS NOT SHOWN. ADDITIONAL DIG-OUTS NOT SHOWN ARE ANTICIPATED.



AREA MAP NOT TO SCALE
4/21/2025

ATTACHMENT 2



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Finance – Rachel Jacobs, Finance Director
SUBJECT: **Quarterly Investment Report**

BACKGROUND:

California Government Code Section 53600 *et seq.* requires timely reporting of local agency investment transactions and portfolio to the agency's legislative body.

This item is before City Council to accept and file the Cash and Investment Report for the quarter ended March 31, 2025.

DISCUSSION:

The investment objectives for the City of Solana Beach are 1) to provide safety to ensure the preservation of capital in the overall portfolio, 2) to provide sufficient liquidity for cash needs and 3) to generate a market rate of return consistent with the Investment Policy. The performance objective for the portfolio is to earn a total rate of return through a market cycle that is equal to, or above, the return on the benchmark yield. In order to achieve this objective, the portfolio invests in high-quality fixed income securities that comply with the Investment Policy and all applicable regulations governing the funds.

The attached Quarterly Cash and Investment Report ensures that the City complies with Section 53600 *et seq.* The City's investment portfolio complies with the City's Investment Policy that is approved annually by the City Council. The majority of City funds are invested in Chandler Asset Management (Chandler), Public Agency Retirement Services (PARS), and Local Agency Investment Fund (LAIF).

CEQA COMPLIANCE STATEMENT:

Provision of this quarterly financial report is not a "project" as defined by CEQA because it is not an activity that will cause a direct or indirect physical change in the environment.

CITY COUNCIL ACTION:

FISCAL IMPACT:

While no action is being taken by the Council that has a fiscal outcome, this quarterly investment report shows the current state of our cash and investment accounts and the actual investment revenue being received and posted to various funds. This revenue is included in the City's budgets and is updated as needed at the mid-year and end-of-year budget updates.

WORK PLAN:

This item is in the drafted Fiscal Year 2025/26 Work Plan under General Governance and Fiscal Responsibility as it relates to our investment practices.

OPTIONS:

- Receive the report as complete.
- Do not receive the report as complete and provide direction to staff.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council accepts and files the attached Cash and Investment Report for the quarter ending March 31, 2025.



Alyssa Muto, City Manager

Attachments:

1. Cash and Investment Report – March 31, 2025
2. Chandler Asset Quarterly Investment Report – March 31, 2025
3. PARS Trust Monthly Statement – March 31, 2025

**City of Solana Beach
Cash and Investment Report
March 31, 2025**

Type of Investment	Custodian	Maturity	Percent of Portfolio	Cost Value (Rounded)	Market Value (Rounded)	Quarter Interest Earned (Rounded)	Fiscal Year to Date Interest Earned (Rounded)
General Checking Account	US Bank	On Demand ⁽¹⁾	8.76%	\$ 6,172,080	\$ 6,172,080	N/A	N/A
Payroll Account	US Bank	On Demand ⁽¹⁾	0.70%	493,527	493,527	N/A	N/A
Worker's Comp - Checking	US Bank	On Demand ⁽¹⁾	0.04%	28,009	28,009	N/A	N/A
Successor Agency - Checking	US Bank	On Demand ⁽¹⁾	0.25%	173,875	173,875	N/A	N/A
Local Agency Investment Fund	State of CA	On Demand ⁽¹⁾	30.54%	21,511,096	21,511,096 ⁽²⁾	237,045	738,773
Chandler Asset Management (CMA) Investment Portfolio	US Bank	1 to 3 years	46.83%	32,981,944	33,398,036 ⁽⁵⁾	280,144 ⁽⁶⁾	738,732 ⁽⁶⁾
Public Agency Retirement Services (PARS)	US Bank	Varied	12.87%	9,064,081	8,980,631 ⁽³⁾	54,436 ⁽⁶⁾	951,522 ⁽⁶⁾
Total Cash and Investments			100.00%	<u>\$ 70,424,611</u>	<u>\$ 70,757,254</u>	<u>\$ 571,625</u>	<u>\$ 2,429,028</u>

⁽¹⁾ Funds may be withdrawn with 24 hours notice

⁽²⁾ Source: Monthly Pooled Money Investment Account Market Valuation as reported by LAIF (if available)

⁽³⁾ Source: US Bank Asset Summary

⁽⁴⁾ Source: Fiscal agent month-end statements

⁽⁵⁾ Source: US Bank

⁽⁶⁾ Includes realized investment gains/losses of current quarter

I certify that this report accurately reflects all pooled investments and is in compliance with Government Code Section 53640-53646 as amended January 1, 1996, as well as the investment policy of the City of Solana Beach as approved annually by the City Council.

Furthermore, I certify that sufficient investment liquidity and anticipated revenues are available to meet the City's budgeted expenditure requirements for the next six months.

Date 05/07/2025

Rachel E. Jacobs

Approved by:
Rachel Jacobs
Finance Director/Treasurer

INVESTMENT REPORT

City of Solana Beach | As of March 31, 2025

CHANDLER ASSET MANAGEMENT | chandlerasset.com

Chandler Team:

For questions about your account, please call (800) 317-4747,
or contact clientservice@chandlerasset.com

ATTACHMENT 2

Information contained herein is confidential. We urge you to compare this statement to the one you receive from your qualified custodian. Please see Important Disclosures at the end of the statement.

[ECONOMIC UPDATE](#)

[ACCOUNT PROFILE](#)

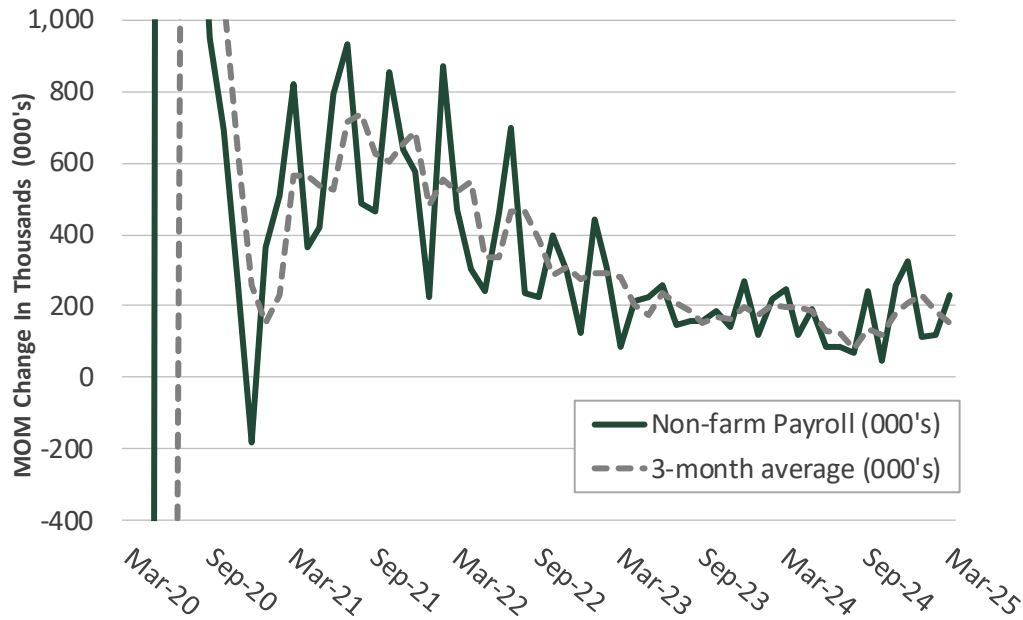
ECONOMIC UPDATE

- Recent economic data suggest slower growth in 2025 and greater market uncertainty as the effects of fiscal policy unfold. Inflationary trends have subsided, but some components remain sticky, and core levels remain above the Fed's target. The labor market reflects improved balance between supply and demand for workers. While job creation has been robust, continuing jobless claims remain elevated. Given the economic outlook, we expect gradual normalization of monetary policy and a steepening yield curve.

- As broadly anticipated, the Federal Open Market Committee (FOMC) left the Federal Funds Rate unchanged at the range of 4.25 - 4.50% at the March meeting. Fed Chair Powell emphasized increased uncertainty around the economic outlook and the need for "greater clarity" before making changes to interest rate policy. He also acknowledged possible transitory inflationary impacts from tariffs. The summary of economic projections (SEP) indicated lower GDP growth, higher inflation, and higher unemployment estimates than December projections, along with roughly two 25-basis point rate cuts this year. The FOMC also announced a slowdown in the pace of balance sheet reduction.

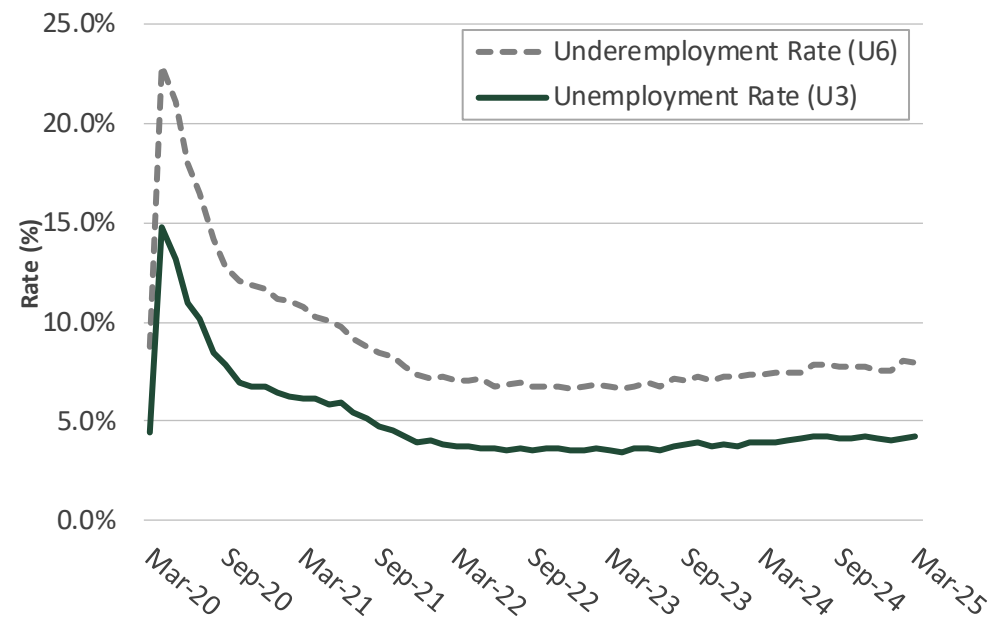
- US Treasury yields declined, and the curve steepened in March. The 2-year Treasury yield declined 10 basis points to 3.89%, the 5-year Treasury fell 7 basis points to 3.95%, and the 10-year Treasury yield was unchanged 4.21%. The spread between the 2-year and 10-year Treasury yield points on the curve widened to +32 basis points at March month-end versus +22 basis points at February month-end. The spread between the 2-year Treasury and 10-year Treasury yield one year ago was -42 basis points. The spread between the 3-month and 10-year Treasury yield points on the curve was -9 basis points in March, unchanged from February.

Nonfarm Payroll (000's)



Source: US Department of Labor

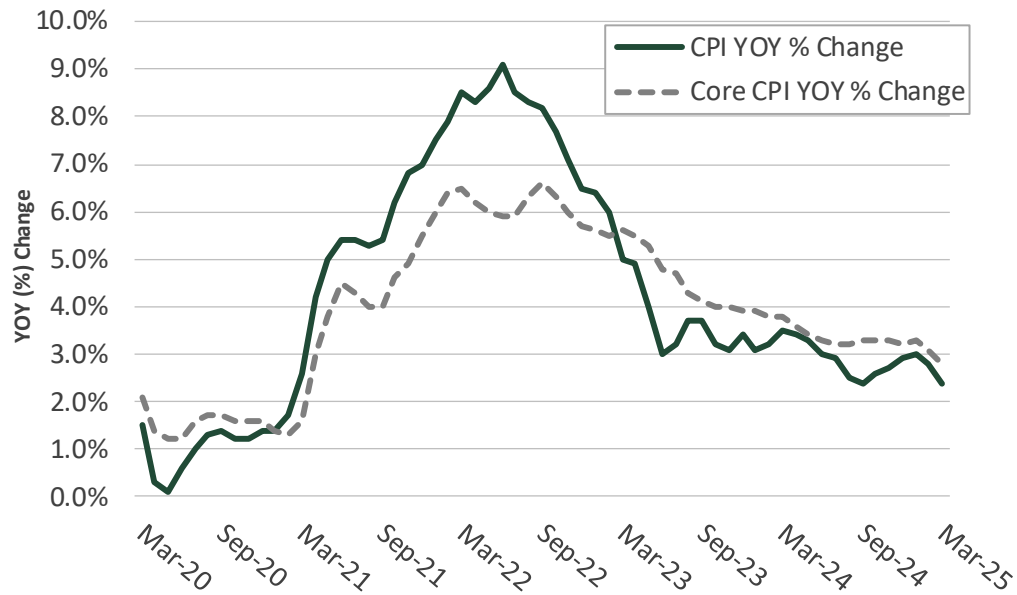
Unemployment Rate



Source: US Department of Labor

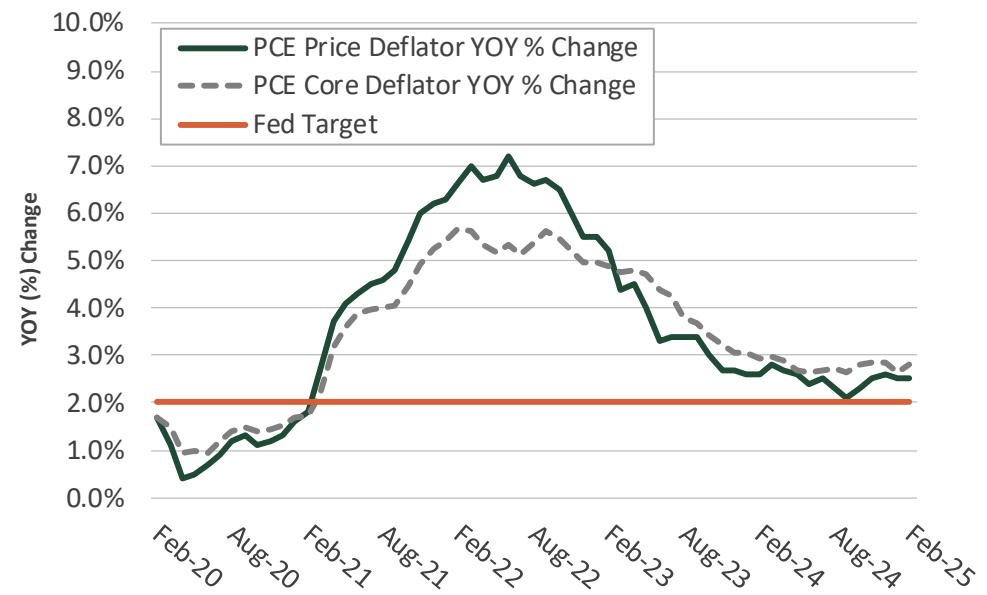
The U.S. economy added 228,000 jobs in March, exceeding consensus expectations, and the last two months were revised down by 48,000. Gains were led by healthcare, retail, social assistance, and transportation. The three-month moving average and six-month moving average payrolls totaled 152,000 and 181,000 respectively. The unemployment rate rose to 4.2% in March, and the labor participation rate edged up to 62.5%, remaining below the pre-pandemic level of 63.3%. The U-6 underemployment rate, which includes those who are marginally attached to the labor force and employed part time for economic reasons edged down to 7.9% in March from 8.0% in February. Average hourly earnings ticked down to an increase of 3.8% year-over-year in March.

Consumer Price Index (CPI)



Source: US Department of Labor

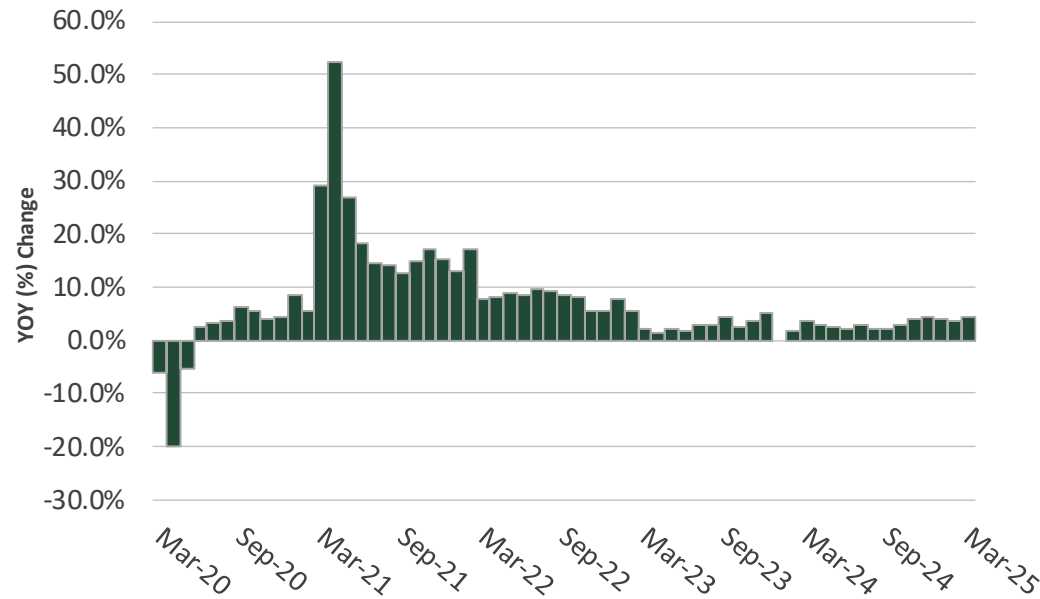
Personal Consumption Expenditures (PCE)



Source: US Department of Commerce

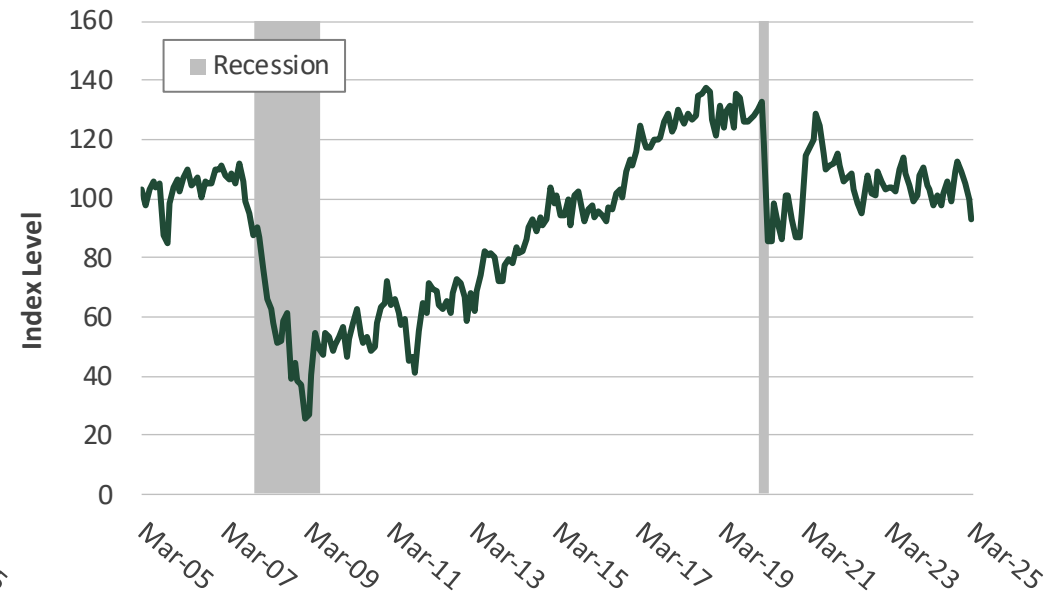
In March, price increases measured by both the Consumer Price Index (CPI) and Core CPI, which excludes volatile food and energy components, decelerated from last month and came in lower than consensus expectations. The headline CPI dropped 0.1% month-over-month and rose 2.4% year-over-year, while the Core CPI rose 0.1% month-over-month and 2.8% year-over-year. The Personal Consumption Expenditures (PCE) price index increased by 0.3% from the previous month and 2.5% year-over-year in February. The Core PCE deflator, which excludes food and energy and is the Fed's preferred gauge, accelerated its increase to 0.4% month-over-month and 2.8% from 2.6% year-over-year. Inflation remains above the Fed's 2% target.

Retail Sales YOY % Change



Source: US Department of Commerce

Consumer Confidence



Source: The Conference Board
All time high is 144.70 (1/31/00); All time low is 25.30 (2/28/09)

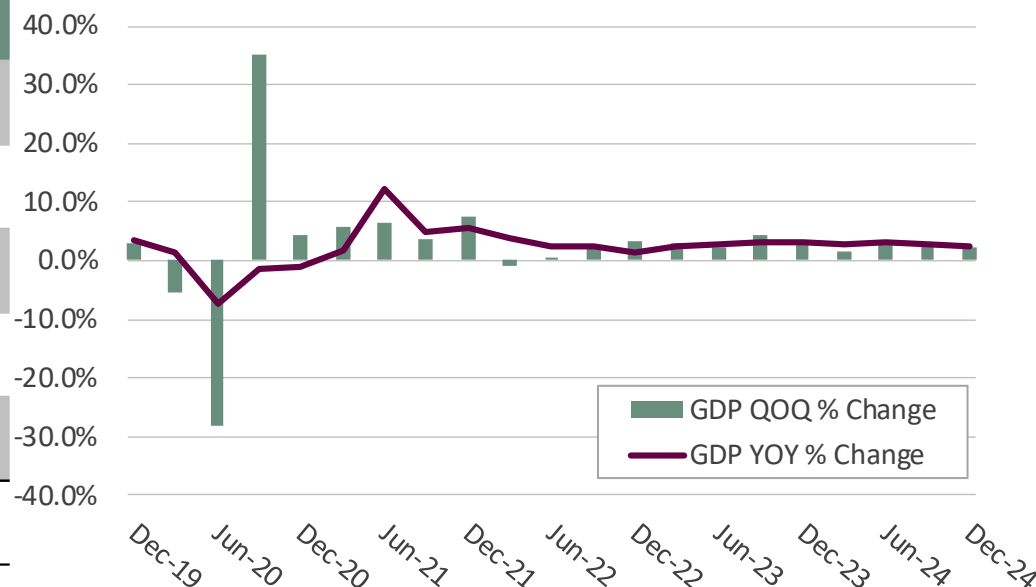
Advance Retail Sales increased 1.4% month-over-month in March following a 0.2% gain in February. Auto sales jumped, and spending ramped up broadly ahead of tariffs. Building materials, garden equipment, and restaurants also soared with the transition to spring weather. However, control group sales, which feeds into gross domestic product, increased a disappointing 0.4% in March. On a year-over-year basis, Retail Sales grew 4.6% in March versus 3.5% in February. The Conference Board's Consumer Confidence Index tumbled 7.2 points in March to 92.9, a notable decrease from February. Consumers' assessment of the present situation fell, and expectations for income, business, and labor market conditions dropped, with pessimism about future employment prospects falling to a 12-year low. While the consumer has been resilient, rising inflation expectations, concerns about trade policies and tariffs, and general economic and policy uncertainty could pose potential risks to future spending.

GROSS DOMESTIC PRODUCT (GDP)

Components of GDP	3/24	6/24	9/24	12/24
Personal Consumption Expenditures	1.3%	1.9%	2.5%	2.7%
Gross Private Domestic Investment	0.6%	1.5%	0.2%	-1.0%
Net Exports and Imports	-0.6%	-0.9%	-0.4%	0.3%
Federal Government Expenditures	0.0%	0.3%	0.6%	0.3%
State and Local (Consumption and Gross Investment)	0.3%	0.3%	0.3%	0.3%
Total	1.6%	3.0%	3.1%	2.4%

Source: US Department of Commerce

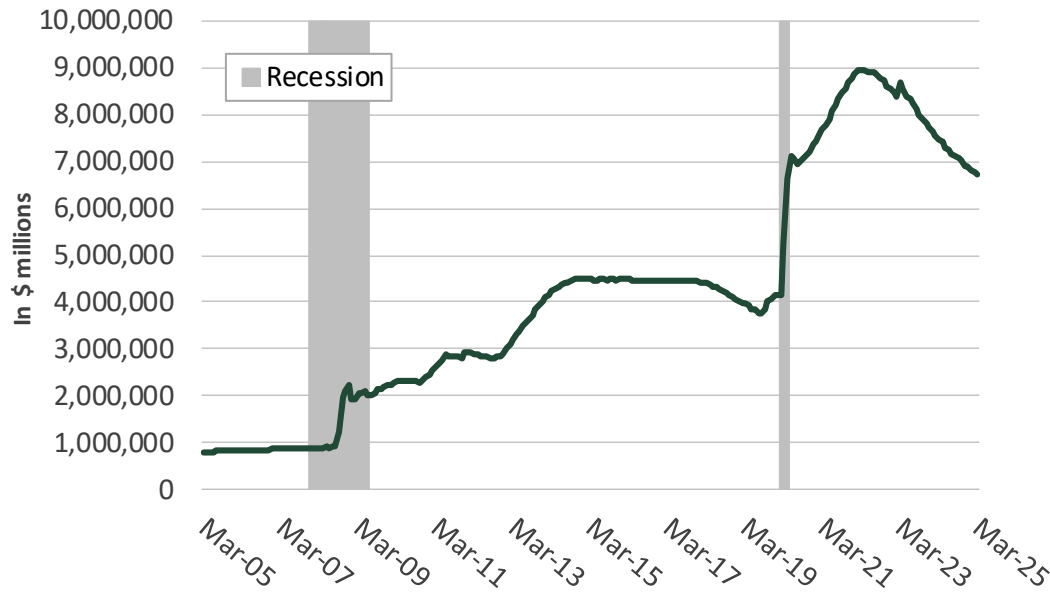
Gross Domestic Product (GDP)



Source: US Department of Commerce

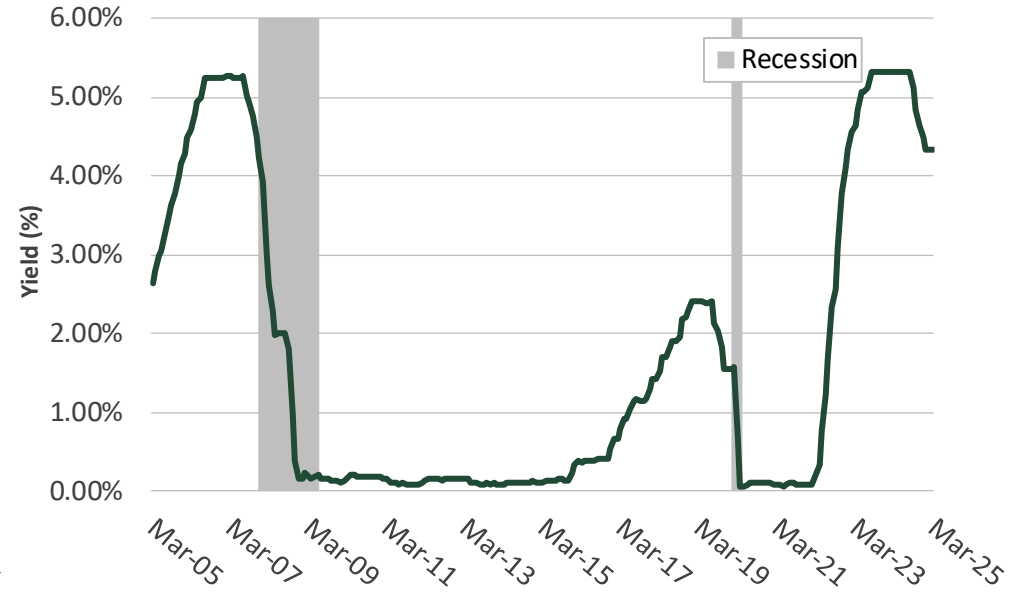
According to the third estimate, fourth quarter GDP increased at an annualized rate of 2.4 percent, revised up 0.1 percentage point from the second estimate. Growth continues to be powered by consumer spending and government spending, partly offset by a decrease in investment. Imports also decreased. Real GDP increased 2.8 percent in 2024. The consensus projection calls for 1.2% growth for the first quarter and 2.0% for the full year 2025.

Federal Reserve Balance Sheet Assets



Source: Federal Reserve

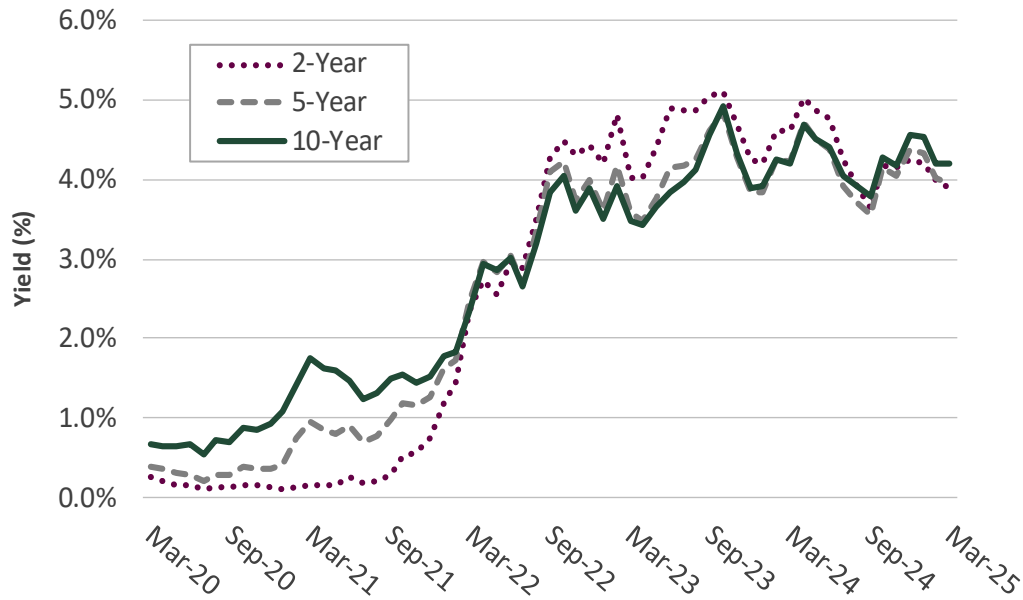
Effective Federal Funds Rate



Source: Bloomberg

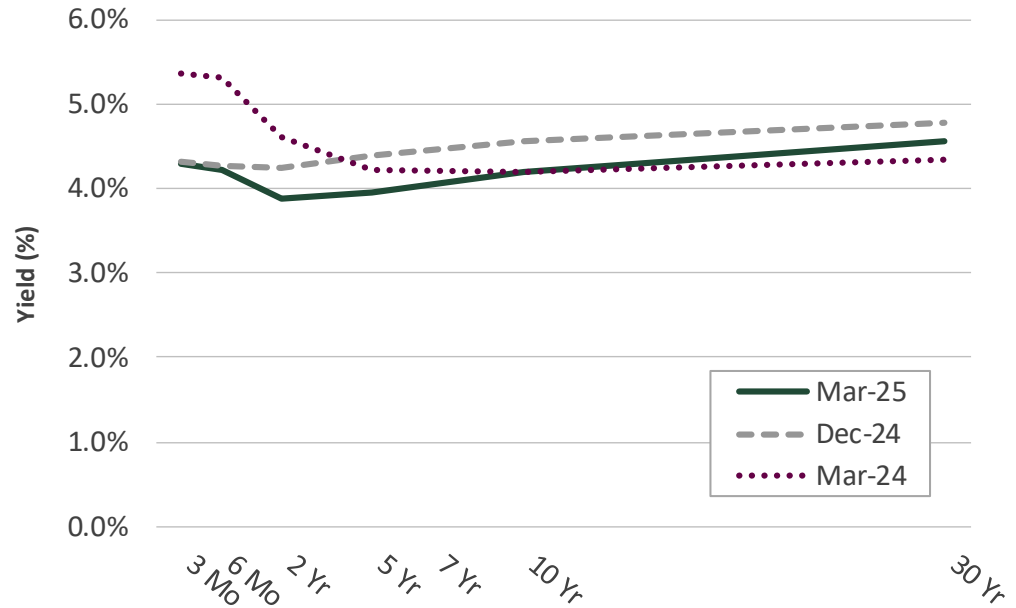
As broadly anticipated, the Federal Open Market Committee (FOMC) left the Federal Funds Rate unchanged at the range of 4.25 - 4.50% at the March meeting. Fed Chair Powell emphasized increased uncertainty around the economic outlook and the need for “greater clarity” before making changes to interest rate policy. He also acknowledged possible transitory inflationary impacts from tariffs. The summary of economic projections (SEP) indicated lower GDP growth, higher inflation, and higher unemployment estimates than December projections, along with roughly two 25-basis point rate cuts this year. The FOMC also announced a slowdown in the pace of balance sheet reduction. The monthly redemption cap on Treasuries will be reduced from \$25 billion to \$5 billion, while the cap on agencies and mortgage-backed securities will be maintained at \$35 billion. Since the Fed began its Quantitative Tightening campaign in June 2022, securities holdings have declined by approximately \$2.2 trillion to approximately \$6.8 trillion.

US Treasury Note Yields



Source: Bloomberg

US Treasury Yield Curve



Source: Bloomberg

At the end of March, the 2-year Treasury yield was 74 basis points lower, and the 10-Year Treasury yield was 6 basis points higher, year-over-year. The spread between the 2-year and 10-year Treasury yield points on the curve widened to +32 basis points at March month-end versus +22 basis points at February month-end. The recent yield curve inversion which began in July 2022 was historically long. The average historical spread (since 2005) is about +99 basis points. The spread between the 3-month and 10-year Treasury yield points on the curve was -9 basis points in March, unchanged from February.

ACCOUNT PROFILE

Investment Objectives

The investment objectives for the City of Solana Beach, in order of priority, are to provide safety to ensure the preservation of capital in the overall portfolio, provide sufficient liquidity for cash needs, and a market rate of return consistent with the investment program.

Chandler Asset Management Performance Objective

The performance objective for the portfolio is to earn a total rate of return through a market cycle that is equal to or above the return on the benchmark index.

Strategy

In order to achieve this objective, the portfolio invests in high-quality fixed income securities that comply with the investment policy and all regulations governing the funds.

STATEMENT OF COMPLIANCE



City of Solana Beach | Account #10471 | As of March 31, 2025

Rules Name	Limit	Actual	Compliance Status	Notes
AGENCY MORTGAGE SECURITIES (CMOS)				
Max % (MV)	20.0	0.0	Compliant	
Max Maturity (Years)	5.0	0.0	Compliant	
ASSET-BACKED SECURITIES (ABS)				
Max % (MV)	20.0	9.9	Compliant	
Max % Issuer (MV)	5.0	1.3	Compliant	
Max Maturity (Years)	5	4	Compliant	
Min Rating (AA- by 1)	0.0	0.0	Compliant	
BANKERS' ACCEPTANCES				
Max % (MV)	40.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Days)	180	0.0	Compliant	
Min Rating (A-1 by 1 or A- by 1)	0.0	0.0	Compliant	
CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS)				
Max % (MV)	30.0	0.0	Compliant	
Max Maturity (Years)	5.0	0.0	Compliant	
COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD)				
Max % (MV)	20.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5.0	0.0	Compliant	
COMMERCIAL PAPER				
Max % (MV)	25.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Days)	270	0.0	Compliant	
Min Rating (A-1 by 1 or A- by 1)	0.0	0.0	Compliant	
CORPORATE MEDIUM TERM NOTES				
Max % (MV)	30.0	25.6	Compliant	
Max % Issuer (MV)	5.0	1.4	Compliant	

STATEMENT OF COMPLIANCE

City of Solana Beach | Account #10471 | As of March 31, 2025

Rules Name	Limit	Actual	Compliance Status	Notes
Max Maturity (Years)	5	4	Compliant	
Min Rating (A- by 1)	0.0	0.0	Compliant	
FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD)				
Max % (MV)	20.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5	0.0	Compliant	
FEDERAL AGENCIES				
Max % (MV)	100.0	25.1	Compliant	
Max % Issuer (MV; Agencies & Agency CMOs)	30.0	12.6	Compliant	
Max Callables (MV)	20.0	0.0	Compliant	
Max Maturity (Years)	5	4	Compliant	
LOCAL AGENCY INVESTMENT FUND (LAIF)				
Max Concentration (MV)	75.0	0.0	Compliant	
MONEY MARKET MUTUAL FUNDS				
Max % (MV)	20.0	0.5	Compliant	
Max % Issuer (MV)	20.0	0.5	Compliant	
Min Rating (AAA by 2)	0.0	0.0	Compliant	
MORTGAGE-BACKED SECURITIES (NON-AGENCY)				
Max % (MV)	20.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5.0	0.0	Compliant	
Min Rating (AA- by 1)	0.0	0.0	Compliant	
MUNICIPAL SECURITIES (CA, LOCAL AGENCY)				
Max % (MV)	30.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5	0.0	Compliant	
Min Rating (A- by 1)	0.0	0.0	Compliant	
MUNICIPAL SECURITIES (OTHER STATES)				
Max % (MV)	30.0	0.0	Compliant	

STATEMENT OF COMPLIANCE



City of Solana Beach | Account #10471 | As of March 31, 2025

Rules Name	Limit	Actual	Compliance Status	Notes
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5	0.0	Compliant	
Min Rating (A- by 1)	0.0	0.0	Compliant	
MUTUAL FUNDS				
Max % (MV)	20.0	0.0	Compliant	
Max % Issuer (MV)	10.0	0.0	Compliant	
Min Rating (AAA by 2)	0.0	0.0	Compliant	
NEGOTIABLE CERTIFICATES OF DEPOSIT (NCD)				
Max % (MV)	30.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5	0.0	Compliant	
Min Rating (A-1 by 1 or A- by 1 if > FDIC Limit)	0.0	0.0	Compliant	
REPURCHASE AGREEMENTS				
Max Maturity (Years)	1.0	0.0	Compliant	
SRI PROHIBITED INVESTMENTS				
Prohibited Investment - Fossil Fuels	0.0	0.0	Compliant	
SUPRANATIONAL OBLIGATIONS				
Max % (MV)	30.0	3.9	Compliant	
Max % Issuer (MV)	10.0	3.0	Compliant	
Max Maturity (Years)	5	4	Compliant	
Min Rating (AA- by 1)	0.0	0.0	Compliant	
U.S. TREASURIES				
Max % (MV)	100.0	35.0	Compliant	
Max Maturity (Years)	5	5	Compliant	

PORTFOLIO CHARACTERISTICS



City of Solana Beach | Account #10471 | As of March 31, 2025

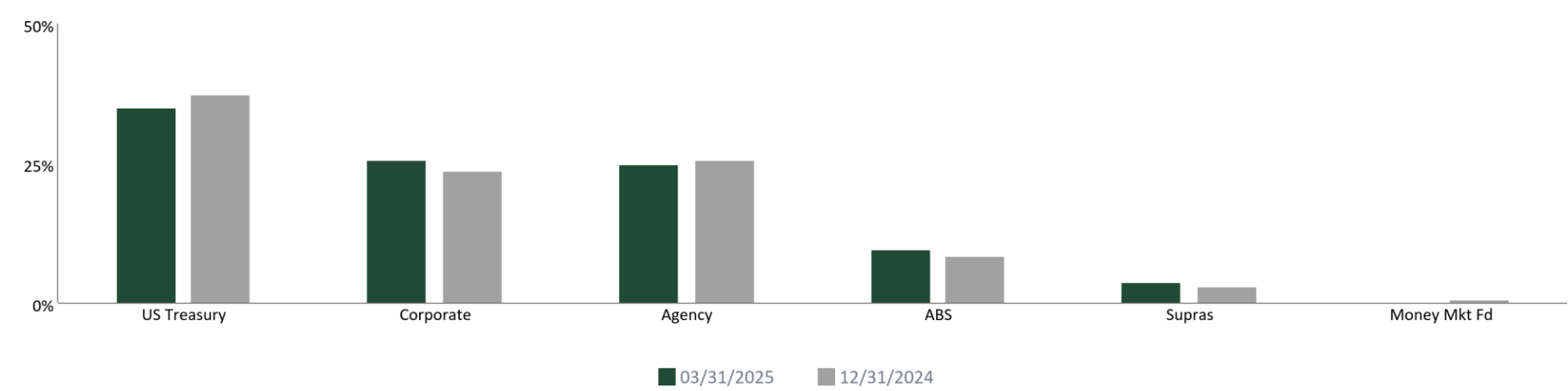
	Benchmark*	3/31/2025 Portfolio	12/31/2024 Portfolio
Average Maturity (yrs)	1.84	2.18	2.17
Average Modified Duration	1.75	1.81	1.85
Average Purchase Yield		4.13%	3.90%
Average Market Yield	3.94%	4.17%	4.41%
Average Quality**	AA+	AA+	AA+
Total Market Value		33,667,731	33,113,741

*Benchmark: ICE BofA 1-3 Year US Treasury & Agency Index
**The credit quality is a weighted average calculation of the highest of S&P, Moody's and Fitch.

SECTOR DISTRIBUTION



City of Solana Beach | Account #10471 | As of March 31, 2025



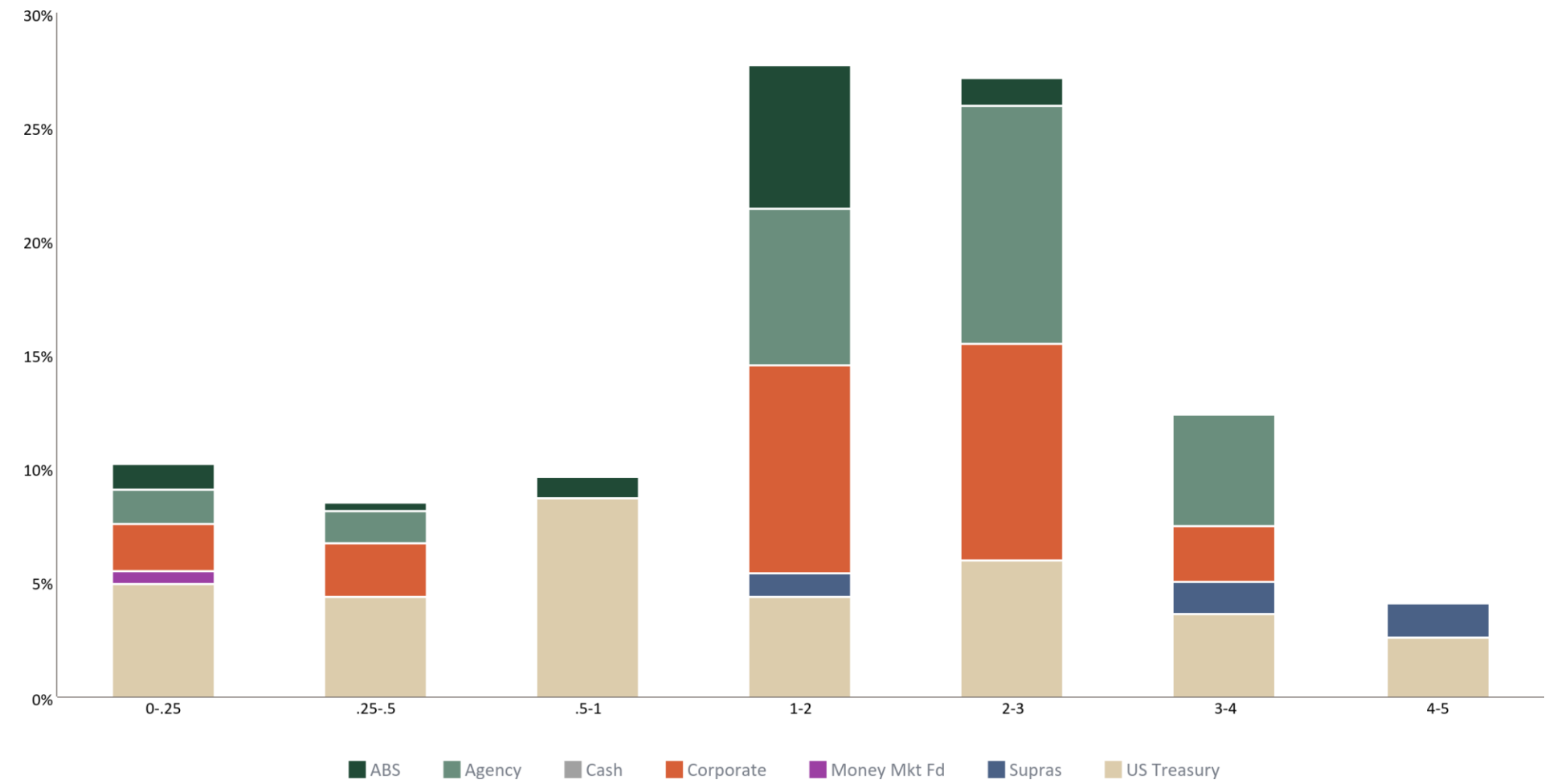
Sector as a Percentage of Market Value

Sector	03/31/2025	12/31/2024
US Treasury	34.98%	37.59%
Corporate	25.61%	23.68%
Agency	25.08%	25.88%
ABS	9.92%	8.74%
Supras	3.92%	3.31%
Money Mkt Fd	0.49%	0.81%

DURATION ALLOCATION



City of Solana Beach | Account #10471 | As of March 31, 2025



	0-25	.25-.5	.5-1	1-2	2-3	3-4	4-5	5-7	7+
03/31/2025	10.2%	8.6%	9.7%	27.7%	27.2%	12.4%	4.2%	0.0%	0.0%

ISSUERS

City of Solana Beach | Account #10471 | As of March 31, 2025

Issuer	Investment Type	% Portfolio
Government of The United States	US Treasury	34.98%
Farm Credit System	Agency	12.58%
Federal Home Loan Banks	Agency	11.02%
International Bank for Recon and Dev	Supras	2.97%
FNMA	Agency	1.47%
Bank of America Corporation	Corporate	1.37%
PepsiCo, Inc.	Corporate	1.36%
American Express Credit Master Trust	ABS	1.28%
PACCAR Inc	Corporate	1.26%
JPMorgan Chase & Co.	Corporate	1.25%
The Progressive Corporation	Corporate	1.24%
The PNC Financial Services Group, In	Corporate	1.22%
Caterpillar Inc.	Corporate	1.22%
The Home Depot, Inc.	Corporate	1.21%
Cisco Systems, Inc.	Corporate	1.21%
Mastercard Incorporated	Corporate	1.20%
Northern Trust Corporation	Corporate	1.19%
Chubb Limited	Corporate	1.18%
Amazon.com, Inc.	Corporate	1.17%
BMW Vehicle Owner Trust	ABS	1.15%
Walmart Inc.	Corporate	1.14%
Chase Issuance Trust	ABS	1.05%
Wells Fargo & Company	Corporate	1.05%
UnitedHealth Group Incorporated	Corporate	1.01%
International Finance Corporation	Supras	0.95%
Royal Bank of Canada	Corporate	0.91%
Honeywell International Inc.	Corporate	0.89%
GM Financial Securitized Term	ABS	0.84%
Honda Auto Receivables Owner Trust	ABS	0.81%
John Deere Owner Trust	ABS	0.76%

ISSUERS

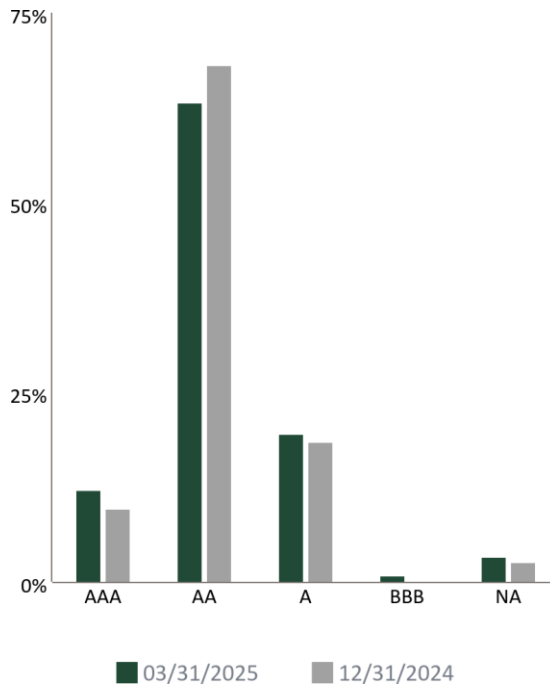
City of Solana Beach | Account #10471 | As of March 31, 2025

Issuer	Investment Type	% Portfolio
Deere & Company	Corporate	0.75%
BMW Vehicle Lease Trust	ABS	0.75%
Verizon Master Trust, Series 2025-3	ABS	0.75%
Morgan Stanley	Corporate	0.75%
Apple Inc.	Corporate	0.75%
BlackRock, Inc.	Corporate	0.71%
Mercedes-Benz Auto Lease Trust	ABS	0.65%
Eli Lilly and Company	Corporate	0.63%
Ford Credit Auto Owner Trust	ABS	0.59%
Hyundai Auto Receivables Trust	ABS	0.53%
First American Govt Oblig fund	Money Mkt Fd	0.49%
The Toronto-Dominion Bank	Corporate	0.49%
Bank of America Credit Card Trust	ABS	0.49%
Toyota Motor Corporation	Corporate	0.45%
GM Financial Automobile Leasing Trus	ABS	0.27%
Toyota Auto Receivables Owner Trust	ABS	0.01%
Cash	Cash	0.00%
TOTAL		100.00%

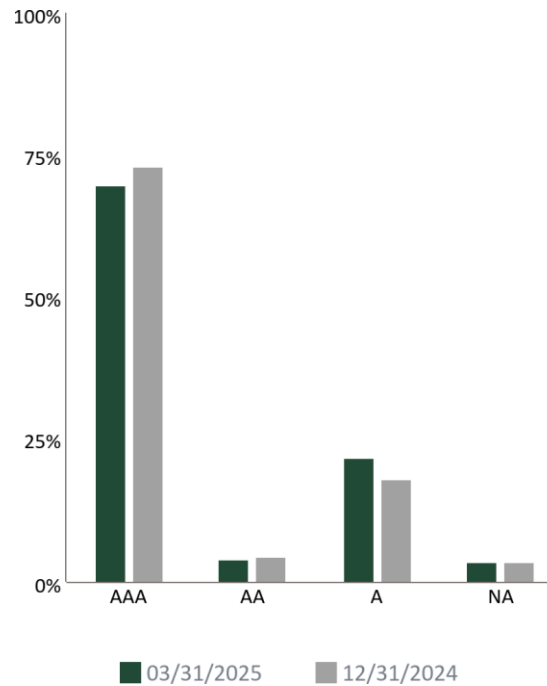
QUALITY DISTRIBUTION

City of Solana Beach | Account #10471 | As of March 31, 2025

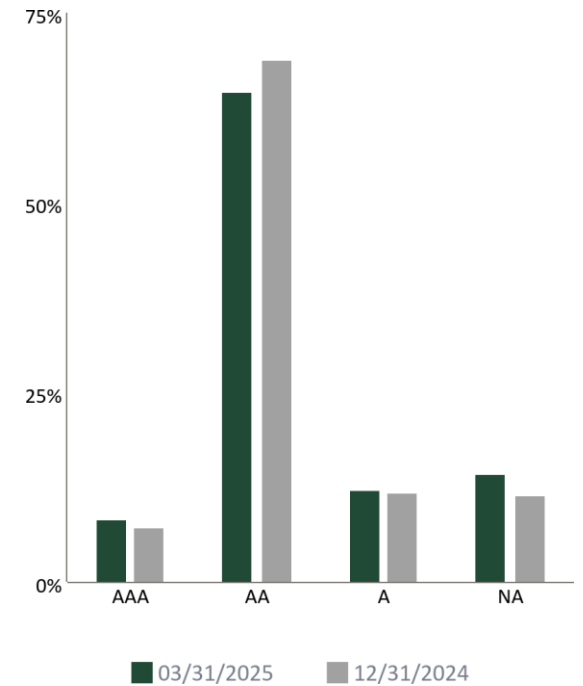
S&P Rating



Moody's Rating



Fitch Rating



Rating	03/31/2025	12/31/2024
AAA	12.2%	10.0%
AA	63.4%	68.5%
A	19.6%	18.7%
BBB	1.1%	--
NA	3.6%	2.8%

Rating	03/31/2025	12/31/2024
AAA	69.9%	73.2%
AA	4.4%	4.9%
A	22.1%	18.1%
NA	3.5%	3.8%

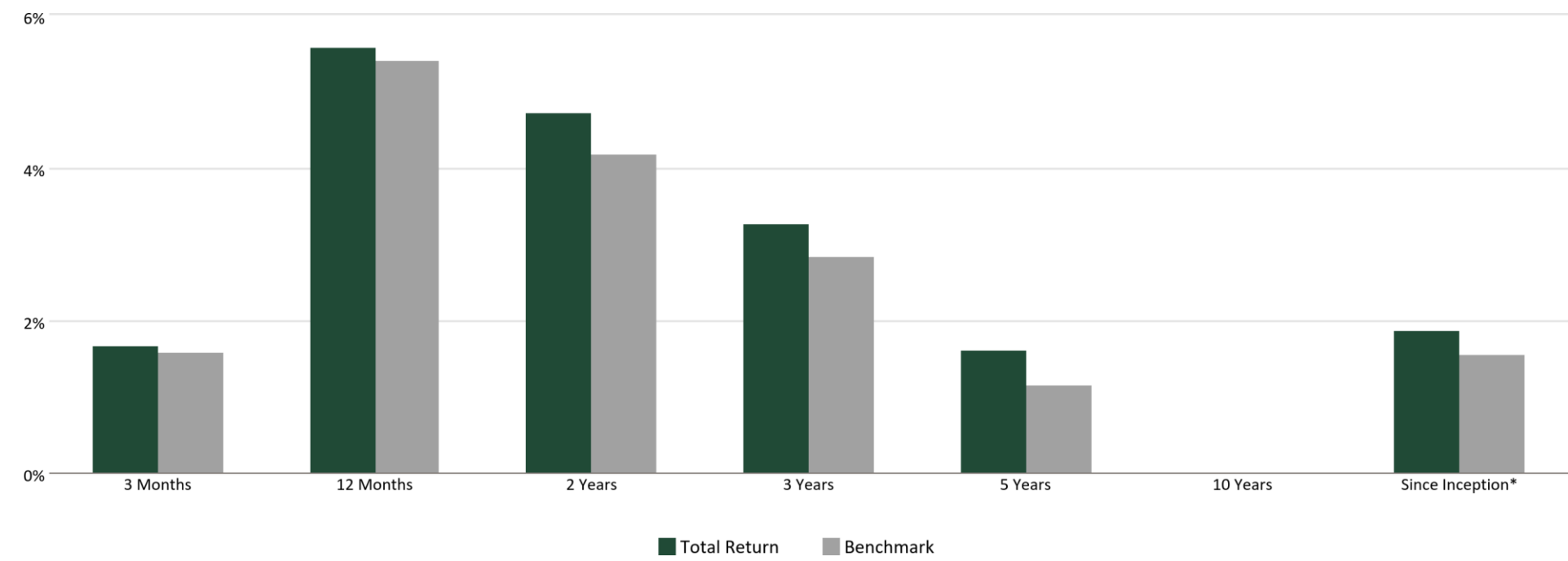
Rating	03/31/2025	12/31/2024
AAA	8.5%	7.4%
AA	64.8%	69.0%
A	12.2%	11.9%
NA	14.4%	11.7%

INVESTMENT PERFORMANCE



City of Solana Beach | Account #10471 | As of March 31, 2025

Total Rate of Return : Inception | 04/01/2016



	3 Months	12 Months	2 Years	3 Years	5 Years	10 Years	Since Inception
TOTAL RATE OF RETURN							
City of Solana Beach	1.70%	5.60%	4.73%	3.29%	1.63%		1.88%
Benchmark	1.59%	5.43%	4.19%	2.84%	1.17%		1.57%

*Periods over 1 year are annualized.
Benchmark: ICE BofA 1-3 Year US Treasury & Agency Index
Total rate of return: A measure of a portfolio's performance over time. It is the internal rate of return, which equates the beginning value of the portfolio with the ending market value; it includes interest earnings, realized and unrealized gains and losses in the portfolio.

INVESTMENT COMPARISON

City of Solana Beach | As of March 31, 2025

	LAIF EARNINGS ESTIMATE*	GROSS INCOME EARNED CHANDLER-MANAGED PORTFOLIO	INCOME EARNED CHANDLER-MANAGED PORTFOLIO**
Apr 2016 - Dec 2016	\$113,770	\$185,849	\$169,455
2017	\$327,563	\$439,162	\$410,891
2018	\$628,152	\$553,633	\$524,542
2019	\$716,012	\$600,606	\$573,809
2020	\$339,385	\$513,751	\$488,476
2021	\$78,472	\$361,519	\$336,824
2022	\$323,555	\$327,223	\$301,127
2023	\$1,009,794	\$516,542	\$489,439
2024	\$1,443,258	\$944,782	\$916,603
Jan 2025	\$124,605	\$95,070	\$92,676
Feb 2025	\$112,208	\$95,643	\$93,237
Mar 2025	\$124,644	\$98,020	\$95,602
Total:	\$5,341,418	\$4,731,800	\$4,492,681

*LAIF earnings estimate calculated using daily yield

**Income earned net of Chandler fees

IMPORTANT DISCLOSURES



2025 Chandler Asset Management, Inc, An Independent Registered Investment Adviser.

Information contained herein is confidential. Prices are provided by ICE Data Services Inc (“IDS”), an independent pricing source. In the event IDS does not provide a price or if the price provided is not reflective of fair market value, Chandler will obtain pricing from an alternative approved third party pricing source in accordance with our written valuation policy and procedures. Our valuation procedures are also disclosed in Item 5 of our Form ADV Part 2A.

Performance results are presented gross-of-advisory fees and represent the client’s Total Return. The deduction of advisory fees lowers performance results. These results include the reinvestment of dividends and other earnings. Past performance may not be indicative of future results. Therefore, clients should not assume that future performance of any specific investment or investment strategy will be profitable or equal to past performance levels. All investment strategies have the potential for profit or loss. Economic factors, market conditions or changes in investment strategies, contributions or withdrawals may materially alter the performance and results of your portfolio.

Index returns assume reinvestment of all distributions. Historical performance results for investment indexes generally do not reflect the deduction of transaction and/or custodial charges or the deduction of an investment management fee, the incurrence of which would have the effect of decreasing historical performance results. It is not possible to invest directly in an index.

Source ICE Data Indices, LLC (“ICE”), used with permission. ICE permits use of the ICE indices and related data on an “as is” basis; ICE, its affiliates and their respective third party suppliers disclaim any and all warranties and representations, express and/or implied, including any warranties of merchantability or fitness for a particular purpose or use, including the indices, index data and any data included in, related to, or derived therefrom. Neither ICE data, its affiliates or their respective third party providers guarantee the quality, adequacy, accuracy, timeliness or completeness of the indices or the index data or any component thereof, and the indices and index data and all components thereof are provided on an “as is” basis and licensee’s use it at licensee’s own risk. ICE data, its affiliates and their respective third party do not sponsor, endorse, or recommend chandler asset management, or any of its products or services.

This report is provided for informational purposes only and should not be construed as a specific investment or legal advice. The information contained herein was obtained from sources believed to be reliable as of the date of publication, but may become outdated or superseded at any time without notice. Any opinions or views expressed are based on current market conditions and are subject to change. This report may contain forecasts and forward-looking statements which are inherently limited and should not be relied upon as indicator of future results. Past performance is not indicative of future results. This report is not intended to constitute an offer, solicitation, recommendation or advice regarding any securities or investment strategy and should not be regarded by recipients as a substitute for the exercise of their own judgment.

Fixed income investments are subject to interest, credit and market risk. Interest rate risk: the value of fixed income investments will decline as interest rates rise. Credit risk: the possibility that the borrower may not be able to repay interest and principal. Low rated bonds generally have to pay higher interest rates to attract investors willing to take on greater risk. Market risk: the bond market in general could decline due to economic conditions, especially during periods of rising interest rates.

Ratings information have been provided by Moody’s, S&P and Fitch through data feeds we believe to be reliable as of the date of this statement, however we cannot guarantee its accuracy.

Security level ratings for U.S. Agency issued mortgage-backed securities (“MBS”) reflect the issuer rating because the securities themselves are not rated. The issuing U.S. Agency guarantees the full and timely payment of both principal and interest and carries a AA+/Aaa/AAA by S&P, Moody’s and Fitch respectively.

Benchmark	Disclosure
ICE BofA 1-3 Yr US Treasury & Agency Index	The ICE BofA 1-3 Year US Treasury & Agency Index tracks the performance of US dollar denominated US Treasury and nonsubordinated US agency debt issued in the US domestic market. Qualifying securities must have an investment grade rating (based on an average of Moody’s, S&P and Fitch). Qualifying securities must have at least one year remaining term to final maturity and less than three years remaining term to final maturity, at least 18 months to maturity at time of issuance, a fixed coupon schedule, and a minimum amount outstanding of \$1 billion for sovereigns and \$250 million for agencies.

Monthly Account Report for the Period
03/01/2025 to 03/31/2025

Kristine Pratt

CITY OF SOLANA BEACH
City of Solana Beach PARS PAPEBT

Plan Summary

Beginning Plan Value as of 03/01/2025	\$9,191,019.79
Change in Plan Value	\$(210,388.89)
Ending Plan Value as of 03/31/2025	\$8,980,630.90

Activity Summary by Source

Source	Balance on 03/01/2025	Contributions	Earnings	Expenses	Distributions	Transfers	Balance on 03/31/2025
OPEB	\$2,039,894.64	\$0.00	\$(45,763.95)	\$(930.67)	\$0.00	\$0.00	\$1,993,200.02
PENSION	\$7,151,125.15	\$0.00	\$(160,431.68)	\$(3,262.59)	\$0.00	\$0.00	\$6,987,430.88
Totals	\$9,191,019.79	\$0.00	\$(206,195.63)	\$(4,193.26)	\$0.00	\$0.00	\$8,980,630.90

Transactions for the Period

Source	Date	Description	Amount
OPEB	03/31/2025	ACCOUNT GAINS/(LOSSES)	\$(45,763.95)
OPEB	03/31/2025	ASSET MGMT FEES	\$(505.69)
OPEB	03/31/2025	TRUST ADMINISTRATOR FEES	\$(424.98)
PENSION	03/31/2025	ACCOUNT GAINS/(LOSSES)	\$(160,431.68)
PENSION	03/31/2025	ASSET MGMT FEES	\$(1,772.77)
PENSION	03/31/2025	TRUST ADMINISTRATOR FEES	\$(1,489.82)

Investment Selection

Source	Selected Investment
OPEB	Moderate - Strategic Blend
PENSION	Moderate - Strategic Blend

Investment Objective

Selected Investment	Description
Moderate - Strategic Blend	The dual goals of the Moderate Strategic Blend Strategy are growth of principal and income. It is expected that dividend and interest income will comprise a significant portion of total return, although growth through capital appreciation is equally impor

**Monthly Account Report for the Period
03/01/2025 to 03/31/2025**

Kristine Pratt

**CITY OF SOLANA BEACH
City of Solana Beach PARS PAPEBT**

Investment Performance

Source	1-Month	3-Month	1-Year	Annualized Return			Inception Date
				3-Years	5-Years	10-Years	
OPEB	-2.24%	0.23%	5.49%	3.84%	8.24%	-	03/01/2016
PENSION	-2.24%	0.23%	5.49%	3.84%	8.24%	-	03/01/2016

Information as provided by US Bank, Trustee for PARS. Investments are NOT insured by the FDIC or by any other Federal Government Agency, are NOT Bank deposits, are NOT guaranteed by the Bank or any Bank affiliate, and MAY lose value, including possible loss of principal. Past performance does not guarantee future results. Account balances are inclusive of Trust Administration, Trustee and Investment Management fees if applicable. Performance returns may not reflect the deduction of applicable fees, which could reduce returns. Annualized Return is the return on an investment over a period other than one year multiplied or divided to give a comparable one-year return. Information is deemed reliable but may be subject to change. The plan's Rate of Return may differ from the rate of return in the above linked document. Reasons for the difference may include the timing of transactions into and out of the plan, the duration of time the plan's funds reside in the sweep account and differences in the methodology used to calculate performance.



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Community Development Department – Joseph Lim, Community Development Director
SUBJECT: **Consideration of Resolution 2025-044 to Enter into Professional Service Agreements with Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc. for Third Party Environmental Planning Services**

BACKGROUND:

The Community Development Department utilizes third party services to prepare and evaluate environmental planning documents for development projects in the City. These third-party services are paid for by project applicants through developer deposit accounts.

This item is before Council to consider authorizing a 3rd Party agreement with Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc. for professional as-needed environmental planning services.

DISCUSSION:

In February 2025, the City issued a Request for Proposals (RFP) seeking qualified consulting firms to provide environmental planning services on an on-call basis. The environmental planning consultants would be responsible for the preparation of Environmental Impact Reports (EIR), Negative Declarations (ND), Mitigated Negative Declarations, and other technical studies necessary for California Environmental Quality Act (CEQA) documentation for proposed projects. In addition, they would also peer review biological reports for private development projects that are within or near Environmentally Sensitive Habitat Areas (ESHAs). The environmental planning consultants would work collaboratively with and manage the work of other members of the environmental analysis team. The City received seven (7) proposals from experienced

4926-0457-1971 v1

COUNCIL ACTION:

professional environmental planning firms. Staff reviewed the proposals and, after thorough consideration, it was determined that the following four (4) environmental planning firms were the most responsive to the RFP and able to address the needs of the City:

- Ascent
- Harris & Associates, Inc.
- Helix Environmental Planning, Inc.
- Michael Baker International, Inc.

Staff has prepared a resolution (Attachment 1) requesting City Council to authorize the City Manager to enter into 3rd Party agreements with Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc. for professional environmental planning services.

CEQA COMPLIANCE STATEMENT:

This is not a project under the California Environmental Quality Act (CEQA).

FISCAL IMPACT:

Third party environmental planning services for development projects are cost neutral in that project applicants pay for these services at cost plus a 15% administrative fee for Staff oversight and management of the project.

WORK PLAN: N/A

OPTIONS:

- Authorize Staff recommendation.
- Do not authorize Staff recommendation.
- Provide alternative direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution No. 2025-044 (Attachment 1) authorizing the City Manager to execute Professional Services Agreements with Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-044

RESOLUTION 2025-044

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING PROFESSIONAL SERVICES AGREEMENTS WITH ASCENT, HARRIS & ASSOCIATES, INC., HELIX ENVIRONMENTAL PLANNING, INC., AND MICHAEL BAKER INTERNATIONAL, INC. FOR PROFESSIONAL ENVIRONMENTAL PLANNING SERVICES

WHEREAS, the Community Development Department is in need of professional 3rd party, as-needed, environmental planning services on new development projects; and

WHEREAS, in February 2025, the City issued a Requests for Proposals to provide 3rd party, as-needed, professional environmental planning services; and

WHEREAS, the City received seven responses to the City's RFP for 3rd Party Professional Environmental Planning Services; and

WHEREAS, after due review and consideration, it was determined that Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc. were the most qualified and responsive to provide professional environmental planning services; and

WHEREAS, the City wishes to enter contracts with these four highly qualified environmental planning firms for as-needed environmental planning services.

NOW, THEREFORE, the City Council of the City of Solana Beach does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a professional service agreement with Ascent, Harris & Associates, Inc., Helix Environmental Planning, Inc., and Michael Baker International, Inc. for an open-ended dollar amount for third-party pass-through payments for environmental planning services for a three-year agreement.
3. That the City Council authorizes the City Manager to extend all of the agreements for two additional one-year terms, at the City's option.

PASSED AND ADOPTED this 21st day of May, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –

NOES: Councilmembers –

ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Public Works/Engineering Department – Luis Carrillo, Deputy Director of Public Works
SUBJECT: **Consideration of Resolution 2025-058 Amending the Professional Services Agreement with iDrains, LLC, DBA Affordable Pipeline Services, for Sewer and Storm Drain Maintenance Services**

BACKGROUND:

The City currently has a Professional Services Agreement (PSA) (Attachment 2) with iDrains, LLC, DBA Affordable Pipeline Services (Affordable), for routine sewer cleaning and as-needed storm drain maintenance. The scope of work includes the annual scheduled cleaning of approximately 255,000 feet of sewer line within the City. Preventative maintenance is also performed under this agreement for the two low-flow diverters at Fletcher Cove Park and Seascape Sur Beach Access, the siphon structure in San Elijo Lagoon, sewer laterals at various City facilities, and more than 35 storm drain catch basins Citywide. In addition to routine cleaning and preventative maintenance, the service agreement also includes video inspections and an "on-call" component to support investigations, emergency responses, and spill cleanups as directed by City Staff.

This item is before the City Council for consideration of Resolution 2025-058 (Attachment 1) to authorize the City Manager to execute Amendment No. 3 (Attachment 3) to the PSA with Affordable, the City's current service provider, for the maintenance of the newly constructed Full Capture Systems (FCS), in the amount of \$10,120 per fiscal year.

COUNCIL ACTION:

DISCUSSION:

The City is required to comply with the Trash Amendments as outlined in the San Diego Regional Water Quality Control Board's Order No. R9-2017-0077. This Order mandates municipalities to control trash in discharges from their Municipal Separate Storm Sewer Systems (MS4). The City elected to comply with the requirements of Track 1, which calls for the installation of certified full capture systems or devices to prevent trash from entering the storm drain system.

As part of the City's Implementation Plan, submitted by the required deadline of December 3, 2018, the City provided a jurisdictional map identifying all priority land uses and MS4 infrastructure, along with proposed locations for FCS installations. The City also submitted a schedule outlining compliance efforts through the phased installation of these devices, with the goal of having a total of 30 Full Capture Systems constructed and fully implemented by December 2, 2030.

To support ongoing compliance with the Trash Amendments, the City recently completed construction of an additional 23 Full Capture Systems, bringing the total number of constructed systems to 28. These systems now require routine, quarterly maintenance to ensure they remain effective in capturing trash and preventing it from entering the stormwater system.

Affordable has been providing Citywide sewer and storm drain maintenance services since 2009, and City Staff remain satisfied with the quality and reliability of their work. With extensive knowledge of the City's infrastructure, Affordable is well-positioned to take on the additional cleaning and maintenance of the Full Capture Systems with minimal disruption. A summary of the required services is provided below:

Scope of Work: Clean Full Capture Systems (28)

- Vacuum material from each catch basin;
- Pressure wash walls, floors, and screens;
- All materials captured (debris & water) during the cleaning process will be collected in a combination Jet/Vacuum truck and dumped at the San Elijo Joint Powers Authority facility for proper disposal; and,
- Implementation of standard traffic/pedestrian control to secure general work area.

It is recommended that this quarterly maintenance work be incorporated into the City's current PSA with Affordable since they currently perform scheduled and as-needed cleaning services on the City's sewer and storm drain infrastructure. Adding the maintenance of these newly constructed Full Capture Systems will ensure a consistent, streamlined approach to stormwater system upkeep and regulatory compliance.

City Staff recommends adding \$10,120 annually to Affordable's PSA for this quarterly maintenance in Fiscal Year (FY) 2025/2026 and subsequent years.

The FY 2025/2026 not-to-exceed contract amount is \$379,910, this increase will raise the not-to-exceed amount to \$390,030 for FY 2025-26 and subsequent years.

CEQA COMPLIANCE STATEMENT:

Exempt pursuant to Section 15301(b) of the State CEQA Guidelines.

FISCAL IMPACT:

The agreement, including the expanded scope of work, is funded from two budget units, with the bulk of the cost each year for sewer line cleaning coming from the Sanitation Professional Services Account 5097700-65300. Storm drain cleaning and related storm drain facility maintenance is funded from the Environmental Professional Services Account 1006520-65300.

This amendment increases Affordable' s PSA for FY 2025/2026 and subsequent years by \$10,120, bringing the not-to-exceed amount to \$390,030 over 2 years.

Although the Fiscal Year 2025/26 and 2026/27 proposed 2-year budget has not yet been formally adopted, Staff has requested that the additional funding be incorporated into the proposed budget for consideration.

WORK PLAN:

Although not specifically mentioned in the Work Plan, maintenance of the City's sanitary sewer system and storm drains is consistent with the Environmental Sustainability section of the proposed 2025/26 Work Plan.


OPTIONS:

- Adopt Staff recommendations.
- Reject Staff recommendation and provide direction.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2025-058:

1. Authorizing the City Manager to execute Amendment No. 3 to the Professional Services Agreement with iDrains, LLC, DBA Affordable Pipeline Services, to include quarterly maintenance of an additional 23 Full Capture Systems, increasing the agreement by \$10,120 annually, to a not-to-exceed amount of \$390,030 for FY 2025/2026 and subsequent years.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-058
2. Professional Services Agreement with Affordable
3. Amendment No. 3

RESOLUTION 2025-058

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING AN AMENDMENT TO THE PROFESSIONAL SERVICES AGREEMENT WITH iDRAINS, LLC, DBA AFFORDABLE PIPELINE SERVICES, FOR SEWER AND STORM DRAIN MAINTENANCE SERVICES

WHEREAS, the City currently has a Professional Services Agreement with iDrains, LLC, DBA Affordable Pipeline Services (Affordable), for routine sewer cleaning and as-needed storm drain maintenance. The scope of work includes the annual scheduled cleaning of approximately 255,000 feet of sewer line. Preventative maintenance is also performed under this agreement for the two low-flow diverters at Fletcher Cove Park and Seascape Sur Beach Access, the siphon structure in San Elijo Lagoon, sewer laterals at various City facilities, and more than 35 storm drain catch basins Citywide; and

WHEREAS, Affordable has been providing Citywide sewer and storm drain maintenance services since 2009, and City Staff remain satisfied with the quality and reliability of their work; and

WHEREAS, the City is required to comply with the Trash Amendments as outlined in the San Diego Regional Water Quality Control Board's Order No. R9-2017-0077. This Order mandates municipalities to control trash in discharges from their Municipal Separate Storm Sewer Systems. The City elected to comply with the requirements of Track 1, which calls for the installation of certified full capture systems or devices to prevent trash from entering the storm drain system; and

WHEREAS, as part of the City's Implementation Plan, submitted by the required deadline of December 3, 2018, the City provided a jurisdictional map identifying all priority land uses and MS4 infrastructure, along with proposed locations for Full Capture Systems installations. The City also submitted a schedule outlining compliance efforts through the phased installation of these devices, with the goal of full implementation by December 2, 2030; and

WHEREAS, to support ongoing compliance with the Trash Amendments, the City has completed construction of an additional 23 Full Capture Systems. These systems now require routine, quarterly maintenance to ensure they remain effective in capturing trash and preventing it from entering the stormwater system; and

WHEREAS, City Staff recommends adding \$10,120 annually to Affordable's PSA for this quarterly maintenance in Fiscal Year (FY) 2025/2026 and subsequent years. The FY 2025/2026 not-to-exceed contract amount is \$379,910, this increase will raise the not-to-exceed amount to \$390,030 for FY 2025-26 and subsequent years, through 2027 and

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute Amendment No. 3 to the Professional Services Agreement with iDrains, LLC, DBA Affordable Pipeline Services, to include quarterly maintenance of 23 full capture systems, increasing the agreement by \$10,120 annually, to a not-to-exceed amount of \$390,030 for FY 2025/2026 and subsequent years, through 2027.

PASSED AND ADOPTED this 21st day of May 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

City of Solana Beach
PROFESSIONAL SERVICES AGREEMENT
FOR SEWER AND STORM DRAIN MAINTENANCE SERVICES AND VIDEO
INSPECTIONS

This Professional Services Agreement ("AGREEMENT") is made and entered into this 1st day of July, 2022 by and between the CITY OF SOLANA BEACH, a municipal corporation ("CITY"), and, iDrains, LLC dba Affordable Drain and Pipeline Services ("CONTRACTOR") (collectively "PARTIES").

WHEREAS, the CITY desires to employ a CONTRACTOR to furnish sewer and storm drain services and video inspections ("PROFESSIONAL SERVICES") for City Sewer and Storm Drain Systems ("PROJECT"); and

WHEREAS, the CITY has determined that CONTRACTOR is qualified by experience and ability to perform the services desired by CITY, and CONTRACTOR is willing to perform such services; and

WHEREAS, CONTRACTOR will conduct all the work as described and detailed in this AGREEMENT to be provided to the CITY.

NOW, THEREFORE, the PARTIES hereto mutually covenant and agree with each other as follows:

1. PROFESSIONAL SERVICES.

- 1.1. Scope of Services.** The CONTRACTOR shall perform the PROFESSIONAL SERVICES as set forth in the written Scope of Services, attached as Exhibit "A" Scope of Services and Fee, at the direction of the CITY. CITY shall provide CONTRACTOR access to appropriate staff and resources for the coordination and completion of the projects under this AGREEMENT. For all work to be performed on site in the City, the CITY and CONTRACTOR agree that the Scope of Services begins when the CONTRACTOR arrives on site and terminates when the CONTRACTOR leaves the site. Travel time to and from project site shall not be considered time on the job or compensated by the CITY.
- 1.2. Project Coordinator.** The Public Works Manager is hereby designated as the Project Coordinator for CITY and will monitor the progress and execution of this AGREEMENT. CONTRACTOR shall assign a single Project Director to provide supervision and have overall responsibility for the progress and execution of this AGREEMENT for CONTRACTOR. Corey Charfauros is hereby designated as the Project Director for CONTRACTOR.
- 1.3. City Modification of Scope of Services.** CITY may order changes to the Scope of Services within the general scope of this AGREEMENT consisting of additions, deletions, or other revisions. If such changes cause a change in the CONTRACTOR's cost of, or time required for, completion of the Scope of Services, an equitable adjustment to CONTRACTOR's compensation and/or contract time shall be made, subject to the CITY'S approval. All such changes shall be authorized in writing, executed by CONTRACTOR and CITY.

2. DURATION OF AGREEMENT.

- 2.1. Term.** The term of this AGREEMENT shall be for a period of one (1) years beginning from the date of execution of the AGREEMENT. Time is of the essence in the performance of work under this AGREEMENT, unless otherwise specified.

- 2.2. Extensions.** ☒ If marked, the CITY shall have the option to extend the AGREEMENT for four (4) additional one (1) year periods or parts thereof for an amount not to exceed Three hundred seventy-nine thousand nine hundred ten dollars (\$379,910) per AGREEMENT year. Extensions shall be in the sole discretion of the City Manager and shall be based upon CONTRACTOR's satisfactory past performance, CITY needs, and appropriation of funds by the City Council. The CITY shall give written notice to CONTRACTOR prior to exercising the option.
- 2.3. Delay.** Any delay occasioned by causes beyond the control of CONTRACTOR may merit an extension of time for the completion of the Scope of Services. When such delay occurs, CONTRACTOR shall immediately notify the Project Coordinator in writing of the cause and the extent of the delay, whereupon the Project Coordinator shall ascertain the facts and the extent of the delay and grant an extension of time for the completion of the PROFESSIONAL SERVICES when justified by the circumstances.
- 2.4. City's Right to Terminate for Default.** Should CONTRACTOR be in default of any covenant or condition hereof, CITY may immediately terminate this AGREEMENT for cause if CONTRACTOR fails to cure the default within ten (10) calendar days of receiving written notice of the default.
- 2.5. City's Right to Terminate without Cause.** Without limiting its rights in the event of CONTRACTOR's default, CITY may terminate this AGREEMENT, without cause, by giving written notice to CONTRACTOR. Such termination shall be effective upon receipt of the written notice. CONTRACTOR shall be compensated for all effort and material expended on behalf of CITY under the terms of this AGREEMENT, up to the effective date of termination. All personal property remaining in CITY facilities or on CITY property thirty (30) days after the expiration or termination of this AGREEMENT shall be, at CITY's election, considered the property of CITY.

3. COMPENSATION.

- 3.1. Total Amount.** The total cost for all work described in the Scope of Services and Fee (Exhibit "A") shall not exceed Three hundred seventy-nine thousand nine hundred ten dollars (\$379,910) without prior written authorization from CITY. CONTRACTOR shall bill the CITY for work provided and shall present a written request for such payment monthly.
- 3.2. Additional Services.** CITY may, as the need arises or in the event of an emergency, request additional services of CONTRACTOR. Should such additional services be required, CITY and CONTRACTOR shall agree to the cost prior to commencement of these services.
- 3.3. Not a pledge of general funds.** The city does not pledge any general funds for the payment of the services rendered. The City shall establish a separate fund to pay the fees and costs incurred that are reflected in the monthly general account invoice. The separate fund shall be funded by monies collected from the City's permit applicants or other persons requiring the City's services pursuant to the adopted USER FEE schedule which CONTRACTOR will provide according to the terms of this AGREEMENT.
- 3.4. Costs.** Any costs billed to the CITY shall be approved in writing in advance and in accordance with any terms negotiated and incorporated herein as part of Exhibit "A" Scope of Services and Fee.

4. INDEPENDENT CONTRACTOR.

- 4.1.** CONTRACTOR is, for all purposes arising out of this AGREEMENT, an independent contractor. The CONTRACTOR has and shall retain the right to exercise full control and supervision of all persons assisting the CONTRACTOR in the performance of said services hereunder, the CITY only being concerned with the finished results of the work being performed. Neither CONTRACTOR nor CONTRACTOR's employees shall in any event be entitled to any benefits to which CITY employees are entitled, including, but not limited to, overtime, retirement benefits, workers' compensation benefits, injury leave or other leave benefits. CONTRACTOR is solely responsible for all such matters, as well as compliance with social security and income tax withholding and all other regulations and laws governing such matters.
- 4.2 PERS Eligibility Indemnification.** In the event that CONTRACTOR's employee providing services under this AGREEMENT claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS of the CITY, CONTRACTOR shall indemnify, defend, and hold harmless CITY for the payment of any employer and employee contributions for PERS benefits on behalf of the employee as well as for payment of any penalties and interest on such contributions which would otherwise be the responsibility of the CITY. Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, CONTRACTOR's employees providing service under this AGREEMENT shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation and benefit including but not limited to eligibility to enroll in PERS as an employee of CITY and entitlement to any contributions to be paid by CITY for employer contributions and/or employee contributions for PERS benefits.
- 4.3 Indemnification for Employee Payments.** CONTRACTOR agrees to defend and indemnify the CITY for any obligation, claim, suit or demand for tax, retirement contribution including any contribution to the PERS, social security, salary or wages, overtime payment, or workers' compensation payment which the CITY may be required to make for work done under this AGREEMENT.
- 4.4** The provisions of this section 4 are continuing obligations that shall survive expiration or termination of this AGREEMENT.

5. STANDARD OF PERFORMANCE.

While performing the PROFESSIONAL SERVICES, CONTRACTOR shall exercise the reasonable professional care and skill customarily exercised by reputable members of CONTRACTOR's profession practicing in the metropolitan Southern California Area, and will use reasonable diligence and best judgment while exercising its professional skill and expertise.

6. WARRANTY OF CONTRACTOR'S LICENSE.

CONTRACTOR warrants that CONTRACTOR is properly licensed with the applicable government agency(ies) for any PROFESSIONAL SERVICES that require a license. If the CONTRACTOR lacks such license, this AGREEMENT is void and of no effect.

7. AUDIT OF RECORDS.

- 7.1.** At any time during normal business hours and as often as may be deemed necessary the CONTRACTOR shall make available to a representative of CITY for examination all of its records with respect to all matters covered by this AGREEMENT and shall permit CITY to audit, examine and/or reproduce such records. CONTRACTOR shall retain such financial and program service records for at least four (4) years after termination or final payment under this AGREEMENT.
- 7.2.** The CONTRACTOR shall include the CITY's right under this section in any and all of their subcontracts, and shall ensure that these sections are binding upon all subcontractors.

8. CONFIDENTIALITY.

- 8.1. Confidential Work Product.** All professional services performed by CONTRACTOR, including but not limited to all drafts, data, correspondence, proposals, reports, research and estimates compiled or composed by CONTRACTOR, pursuant to this AGREEMENT, are for the sole use of the CITY, its agents and employees. Neither the documents nor their contents shall be released to any third party without the prior written consent of the CITY. This provision does not apply to information that (a) was publicly known, or otherwise known to CONTRACTOR, at the time that it was disclosed to CONTRACTOR by the CITY, (b) subsequently becomes publicly known through no act or omission of CONTRACTOR or (c) otherwise becomes known to CONTRACTOR other than through disclosure by the CITY. Except for any subcontractors that may be allowed upon prior agreement, neither the documents nor their contents shall be released to any third party without the prior written consent of the CITY. The sole purpose of this section is to prevent disclosure of CITY's confidential and proprietary information by CONTRACTOR or subcontractors.
- 8.2. Confidentiality.** Both parties recognize that their respective employees and agents, in the course of performance of this AGREEMENT, may be exposed to confidential information and that disclosure of such information could violate the rights of private individuals and entities, including the parties and third parties. Confidential information is nonpublic information that a reasonable person would believe to be confidential and includes, without limitation, personal identifying information (e.g., social security numbers) and trade secrets, each as defined by applicable state law, and all other information protected by applicable law ("Confidential Information"). The party receiving Confidential Information ("Receiving Party") of the other ("Disclosing Party") shall not, and shall cause its employees and agents who are authorized to receive Confidential Information, not to, use Confidential Information for any purpose except as necessary to implement, perform or enforce this AGREEMENT or comply with its legal obligations. Receiving Party will use the same reasonable efforts to protect the Confidential Information of Disclosing Party as it uses to protect its own proprietary information and data. The Receiving Party will not disclose or release Confidential Information to any third person without the prior written consent of the Disclosing Party, except for where required by law or for authorized employees or agents of the Receiving Party. Prior to disclosing the Confidential Information to its authorized employees or agents, Receiving Party shall inform them of the confidential nature of the Confidential Information and require them to abide by the terms of this AGREEMENT. Receiving Party will promptly notify Disclosing Party if Receiving Party discovers any improper use or disclosure of Confidential Information and will promptly commence all reasonable efforts to investigate and correct the causes of such improper use or disclosure. If Receiving Party believes the Confidential Information must be disclosed under applicable law, Receiving Party may do so provided that, to the extent permitted by law, the other party is given a reasonable notice and opportunity to contest such disclosure or obtain a protective order. Confidential Information does not include information that: (i) is or becomes known to the public without fault or breach of the Receiving Party; (ii) the Disclosing Party regularly discloses to third parties without restriction on disclosure; or (iii) the Receiving Party obtains from a third party without restriction on disclosure and without breach of a non-disclosure obligation. Confidential Information does not include any information that is required to be provided to the public pursuant to the laws of the United States and/or California such as the California Public Records Act, due to the nature of CITY being a local governmental agency. The non-disclosure and non-use obligations of this AGREEMENT will remain in full force with respect to each item of Confidential Information for a period of ten (10) years after the Receiving Party's receipt of that item.
- 8.3. Enforcement.** Each party acknowledges that any breach of any of the provisions of Section 8 of this AGREEMENT may result in irreparable injury to the other for which money damages would not adequately compensate. If there is a breach, then the injured party shall be entitled, in addition to all other rights and remedies which it may have, to have a decree of specific performance or an injunction issued by any competent court, requiring the breach to be cured or enjoining all persons involved from continuing the breach.

9. CONFLICTS OF INTEREST.

- 9.1.** CONTRACTOR shall at all times comply with all federal, state and local conflict of interest laws, regulations, and policies applicable to public contracts and procurement practices, including but not limited to California Government Code Section 81000 *et seq.* (Political Reform Act) and Section 1090 *et seq.* CONTRACTOR shall immediately disqualify itself and shall not use its official position to influence in any way any matter coming before the CITY in which the CONTRACTOR has a financial interest as defined in Government Code Section 87103. CONTRACTOR represents that it has no knowledge of any financial interests which would require it to disqualify itself from any matter on which it might perform services for the CITY.
- 9.2.** If, in performing the PROFESSIONAL SERVICES set forth in this AGREEMENT, the CONTRACTOR makes, or participates in, a "governmental decision" as described in Title 2, Section 18700.3(a) of the California Code of Regulations, or performs the same or substantially all the same duties for the CITY that would otherwise be performed by a CITY employee holding a position specified in the department's conflict of interest code, the CONTRACTOR shall be subject to a conflict of interest code requiring the completion of one or more statements of economic interests disclosing the CONTRACTOR's relevant financial interests.
- 9.3.** ☐ If checked, the CONTRACTOR shall comply with all of the reporting requirements of the Political Reform Act. Specifically, the CONTRACTOR shall file a Fair Political Practices Commission Form 700 (Assuming Office Statement) within thirty (30) calendar days of the CITY's determination that the CONTRACTOR is subject to a conflict of interest code. The CONTRACTOR shall also file a Form 700 (Annual Statement) on or before April 1 of each year of the AGREEMENT, disclosing any financial interests held during the previous calendar year for which the CONTRACTOR was subject to a conflict of interest code.
- 9.4.** CITY represents that pursuant to California Government Code Section 1090 *et seq.*, none of its elected officials, officers, or employees has an interest in this AGREEMENT.

10. DISPOSITION AND OWNERSHIP OF DOCUMENTS.

- 10.1.** All documents, data, studies, drawings, maps, models, photographs and reports prepared by CONTRACTOR under this AGREEMENT, whether paper or electronic, shall become the property of CITY for use with respect to this PROJECT, and shall be turned over to the CITY upon completion of the PROJECT or any phase thereof, as contemplated by this AGREEMENT.
- 10.2.** Contemporaneously with the transfer of documents, the CONTRACTOR hereby assigns to the CITY and CONTRACTOR thereby expressly waives and disclaims, any copyright in, and the right to reproduce, all written material, drawings, plans, specifications or other work prepared under this AGREEMENT, except upon the CITY's prior authorization regarding reproduction, which authorization shall not be unreasonably withheld. The CONTRACTOR shall, upon request of the CITY, execute any further document(s) necessary to further effectuate this waiver and disclaimer.

11. INSURANCE

- 11.1.** CONTRACTOR shall procure and maintain for the duration of the AGREEMENT insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the work hereunder and the results of that work by the CONTRACTOR, their agents, representatives, employees or subcontractors. Insurance shall be placed with insurers with a current A.M. Best's rating of no less than "A" and "VII" unless otherwise approved in writing by the CITY's Risk Manager.

- 11.2. CONTRACTOR's liabilities, including but not limited to CONTRACTOR's indemnity obligations, under this AGREEMENT, shall not be deemed limited in any way to the insurance coverage required herein. All policies of insurance required hereunder must provide that the CITY is entitled to thirty (30) days prior written notice of cancellation or non-renewal of the policy or policies, or ten (10) days prior written notice for cancellation due to non-payment of premium. Maintenance of specified insurance coverage is a material element of this AGREEMENT.
- 11.3. **Types and Amounts Required.** CONTRACTOR shall maintain, at minimum, the following insurance coverage for the duration of this AGREEMENT:
- 11.3.1. ☒ **Commercial General Liability (CGL).** If checked the CONTRACTOR shall maintain CGL Insurance written on an ISO Occurrence form or equivalent providing coverage at least as broad as CG 00 01 which shall cover liability arising from any and all personal injury or property damage, including ongoing and completed operations, in the amount no less than \$2,000,000.00 per occurrence and subject to an annual aggregate of \$4,000,000.00. If limits apply separately to this project (CG 25 03 or 25 04) the general aggregate limit shall not apply. There shall be no endorsement or modification of the CGL limiting the scope of coverage for either insured vs. insured claims or contractual liability. All defense costs shall be outside the limits of the policy. If the CONTRACTOR or subcontractor maintains higher limits than the limits shown above, the CITY shall be entitled to coverage for the higher limits maintained by the CONTRACTOR and their subcontractor. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the CITY. Any excess or umbrella policies being used to meet the required limits of insurance will be evaluated separately and must meet the same qualifications as the CONTRACTOR's primary policy.
- 11.3.2. ☒ **Commercial Automobile Liability.** If checked the CONTRACTOR shall maintain Commercial Automobile Liability Insurance for all of the CONTRACTOR's automobiles including owned, hired and non-owned automobiles, automobile insurance written on an ISO form CA 00 01 12 90 or a later version of this form or an equivalent form providing coverage at least as broad for bodily injury and property damage for a combined single limit no less than \$1,000,000.00 per occurrence. Insurance certificate shall reflect coverage for any automobile (any auto).
- 11.3.3. ☒ **Workers' Compensation.** If checked the CONTRACTOR shall maintain Worker's Compensation insurance for all of the CONTRACTOR's employees who are subject to this AGREEMENT and to the extent required by applicable state or federal law, a Workers' Compensation policy providing at minimum \$1,000,000.00 employers' liability coverage. The CONTRACTOR shall provide an endorsement that the insurer waives the right of subrogation against the CITY and its respective elected officials, officers, employees, agents and representatives.
- 11.3.4. ☐ **Professional Liability.** If checked the CONTRACTOR shall also maintain Professional Liability (errors and omissions) coverage with a limit no less than \$1,000,000 per claim and \$2,000,000 annual aggregate. The CONTRACTOR shall ensure both that (1) the policy retroactive date is on or before the date of commencement of the Scope of Services; and (2) the policy will be maintained in force for a period of three years after substantial completion of the Scope of Services or termination of this AGREEMENT whichever occurs last. The CONTRACTOR agrees that for the time period defined above, there will be no changes or endorsements to the policy that increase the CITY's exposure to loss. All defense costs shall be outside the limits of the policy. If CONTRACTOR maintains higher limits than the limits shown above, the CITY shall be entitled to coverage for the higher limits maintained by the CONTRACTOR. Any available proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the CITY.

- 11.4. Self-Insured Retentions.** Any self-insured retentions are the responsibility of the CONTRACTOR and must be declared to and approved by the CITY. At the option of the CITY, either (1) the insurer shall reduce or eliminate such self-insured retentions as respects the CITY, its officers, officials, employees and volunteers, or (2) the CONTRACTOR shall provide a financial guarantee satisfactory to the CITY guaranteeing payment of losses and related investigations, claim administration, and defense expenses.
- 11.5. Additional Required Provisions.** The commercial general liability, including any excess or umbrella policies being used to meet the required limits of insurance, and automobile liability policies shall contain, or be endorsed to contain, the following provisions:
- 11.5.1.** The CITY, its officers, officials, employees, and representatives shall be named as additional insureds with respect to liability arising out of work or operations performed by or on behalf of the CONTRACTOR including materials, parts, or equipment furnished in connection with such work or operations. The CITY's additional insured status must be reflected on additional insured endorsement form (20 10 1185 or 20 10 1001 and 20 37 1001) which shall be submitted to the CITY.
- 11.5.2.** The policies are primary and non-contributory to any insurance that may be carried by the CITY, as reflected in an endorsement at least as broad as CG 20 01 04 13 which shall be submitted to the CITY. Any insurance or self-insurance maintained by the CITY, its officers, officials, employees, or representatives shall be excess of the CONTRACTOR's insurance and shall not contribute with it.
- 11.6. Verification of Coverage.** CONTRACTOR shall furnish the CITY with original certificates and amendatory endorsements effecting coverage required by this Section 11, as well as a complete, certified copy of any general liability policy being used to meet the required limits of insurance, which shall include the declaration pages, a schedule of forms listing all policy endorsements, and all policy forms. The endorsements should be on forms approved by the CITY or on other than the CITY's forms provided those endorsements conform to CITY requirements. All certificates and endorsements are to be received and approved by the CITY before work commences. However, failure to obtain the required documents prior to the work beginning shall not waive the Contractor's obligation to provide them. The CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements affecting the coverage required by these specifications at any time.
- 11.7. Special Risks or Circumstances.** CITY reserves the right to modify these requirements, including limits, based on the nature of risk, prior experience, insurer, coverage, or other special circumstances.

12. INDEMNIFICATION.

CONTRACTOR agrees to indemnify, defend (with counsel acceptable to CITY), and hold harmless the CITY, and its officers, officials, agents and employees from any and all claims, demands, costs or liabilities that arise out of, or pertain to, or relate to the negligence, recklessness, or willful misconduct of CONTRACTOR, its employees, agents, and subcontractors in the performance of or failure to perform services or obligations under this AGREEMENT. CONTRACTOR's duty to indemnify under this section shall not include liability for damages for death or bodily injury to persons, injury to property, or other loss, damage or expense arising from the sole negligence or willful misconduct by the CITY or its elected officials, officers, agents, and employees. CONTRACTOR's indemnification obligations shall not be limited by the insurance provisions of this AGREEMENT. The PARTIES expressly agree that any payment, attorney's fees, costs or expense CITY incurs or makes to or on behalf of an injured employee under the CITY's self-administered workers' compensation is included as a loss, expense, or cost for the purposes of this section, and that this section will survive the expiration or early termination of this AGREEMENT.

13. SUBCONTRACTORS.

- 13.1.** The CONTRACTOR's hiring or retaining of third parties (i.e. subcontractors) to perform services related to the PROJECT is subject to prior written approval by the CITY.
- 13.2.** All contracts entered into between the CONTRACTOR and its subcontractor shall also provide that each subcontractor shall obtain insurance policies which shall be kept in full force and effect during any and all work on this PROJECT and for the duration of this AGREEMENT. The CONTRACTOR shall require the subcontractor to obtain, all policies described in Section 11 in the amounts required by the CITY, which shall not be greater than the amounts required of the CONTRACTOR.
- 13.3.** In any dispute between the CONTRACTOR and its subcontractor, the CITY shall not be made a party to any judicial or administrative proceeding to resolve the dispute. The CONTRACTOR agrees to defend and indemnify the CITY as described in Section 12 of this AGREEMENT should the CITY be made a party to any judicial or administrative proceeding to resolve any such dispute.

14. NON-DISCRIMINATION.

CONTRACTOR shall not discriminate against any employee or applicant for employment because of sex, race, color, age, religion, ancestry, national origin, military or veteran status, disability, medical condition, genetic information, gender expression, marital status, or sexual orientation. CONTRACTOR shall take affirmative action to insure that applicants are employed and that employees are treated during employment without regard to their sex, race, color, age, religion, ancestry, national origin, military or veteran status, disability, medical condition, genetic information, gender expression, marital status, or sexual orientation and shall make reasonable accommodation to qualified individuals with disabilities or medical conditions. Such action shall include, but not be limited to the following: employment, upgrading, demotion, transfer, recruitment, or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. CONTRACTOR agrees to post in conspicuous places available to employees and applicants for employment any notices provided by CITY setting forth the provisions of this non-discrimination clause.

15. NOTICES.

All communications to either party by the other party shall be delivered to the persons listed below. Any such written communications by mail shall be conclusively deemed to have been received by the addressee five (5) calendar days after the deposit thereof in the United States mail, postage prepaid and properly addressed as noted below.

MOHAMMAD SAMMAK,, DIRECTOR OF
ENGINEERING AND PUBLIC WORKST

City of Solana Beach
635 S. Highway 101
Solana Beach, CA 92075

COREY CHARFAUROS

iDrains, LLC dba Affordable Drain and Pipeline
Services
8340 Juniper Creek Lane
San Diego, CA 92126

16. ASSIGNABILITY.

This AGREEMENT and any portion thereof shall not be assigned or transferred, nor shall any of the CONTRACTOR's duties be delegated or sub-contracted, without the express written consent of the CITY.

17. RESPONSIBILITY FOR EQUIPMENT.

CITY shall not be responsible nor held liable for any damage to persons or property consequent upon the use, misuse, or failure of any equipment used by CONTRACTOR or any of CONTRACTOR's employees or subcontractors, even if such equipment has been furnished, rented, or loaned to CONTRACTOR by CITY. The acceptance or use of any such equipment by CONTRACTOR, CONTRACTOR's employees, or subcontractors shall be construed to mean that CONTRACTOR accepts full responsibility for and agrees to exonerate, defend, indemnify and hold harmless CITY from and against any and all claims for any damage whatsoever resulting from the use, misuse, or failure of such equipment.

18. CALIFORNIA LAW; VENUE.

This AGREEMENT shall be construed and interpreted according to the laws of the State of California. Any action brought to enforce or interpret any portion of this AGREEMENT shall be brought in the county of San Diego, California. CONTRACTOR hereby waives any and all rights it might have pursuant to California Code of Civil Procedure Section 394.

19. COMPLIANCE WITH LAWS.

The CONTRACTOR shall comply with all laws, ordinances, regulations, and policies of the federal, state, and local governments applicable to this AGREEMENT whether now in force or subsequently enacted. This includes maintaining a City of Solana Beach Business Certificate.

20. ENTIRE AGREEMENT.

This AGREEMENT sets forth the entire understanding of the PARTIES with respect to the subject matters herein. There are no other understandings, terms or other agreements expressed or implied, oral or written, except as set forth herein. No change, alteration, or modification of the terms or conditions of this AGREEMENT, and no verbal understanding of the PARTIES, their officers, agents, or employees shall be valid unless agreed to in writing by both PARTIES.

21. NO WAIVER.

No failure of either the City or the CONTRACTOR to insist upon the strict performance by the other of any covenant, term or condition of this AGREEMENT, nor any failure to exercise any right or remedy consequent upon a breach of any covenant, term, or condition of this AGREEMENT shall constitute a waiver of any such breach of such covenant, term or condition.

22. SEVERABILITY.

The unenforceability, invalidity, or illegality of any provision of this AGREEMENT shall not render any other provision unenforceable, invalid, or illegal.

23. DRAFTING AMBIGUITIES.

The PARTIES agree that they are aware that they have the right to be advised by counsel with respect to the negotiations, terms and conditions of this AGREEMENT, and the decision of whether or not to seek advice of counsel with respect to this AGREEMENT is a decision which is the sole responsibility of each Party. This AGREEMENT shall not be construed in favor of or against either Party by reason of the extent to which each Party participated in the drafting of the AGREEMENT.

24. CONFLICTS BETWEEN TERMS.

If an apparent conflict or inconsistency exists between the main body of this AGREEMENT and the Exhibits, the main body of this AGREEMENT shall control. If a conflict exists between an applicable federal, state, or local law, rule, regulation, order, or code and this AGREEMENT, the law, rule, regulation, order, or code shall control. Varying degrees of stringency among the main body of this AGREEMENT, the Exhibits, and laws, rules, regulations, orders, or codes are not deemed conflicts, and the most stringent requirement shall control. Each Party shall notify the other immediately upon the identification of any apparent conflict or inconsistency concerning this AGREEMENT.

25. EXHIBITS INCORPORATED.

All Exhibits referenced in this AGREEMENT are incorporated into the AGREEMENT by this reference.

26. SIGNING AUTHORITY.

- 26.1.** The representative for each Party signing on behalf of a corporation, partnership, joint venture, association, or governmental entity hereby declares that authority has been obtained to sign on behalf of the corporation, partnership, joint venture, association, or entity and agrees to hold the other Party or PARTIES hereto harmless if it is later determined that such authority does not exist.
- 26.2.** ☐ If checked, a proper notary acknowledgement of execution by CONTRACTOR must be attached.

IN WITNESS WHEREOF, the PARTIES hereto have executed this AGREEMENT the day and year first hereinabove written.

CITY OF SOLANA BEACH, a municipal
corporation

iDrains, LLC dba Affordable Drain and Pipeline
Services.

By:



City Manager, Gregory Wade

By:

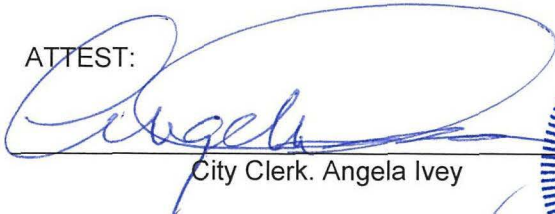


Signature

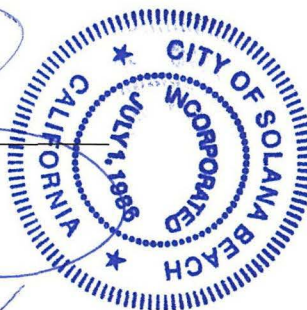
Corey Charfauros Operations Manager

Print Name and Title

ATTEST:



City Clerk, Angela Ivey



APPROVED AS TO CONTENT:



Mohammad Sammak, Director of Engineering and
Public Works

APPROVED AS TO FORM:



City Attorney, Johanna N. Canlas

EXHIBIT "A"
SCOPE OF SERVICES AND FEE
EXHIBIT A: PRELIMINARY SCOPE OF WORK

I. GENERAL SPECIFICATIONS

- A. Intent of City: It is the intent of the City that the sewer and storm drains systems are functioning properly at all times.
- B. Supervision: All work shall meet with the approval of the Director of Engineering and Public Works or his/her designee.
- C. Payment Withheld: Any specific problem areas that do not meet the conditions of the Specifications set forth herein shall be called to the attention of the Contractor and, if not corrected, payment to the Contractor will not be made until condition is corrected in a satisfactory manner as set forth in the Specifications.
- D. Time: Time to be billed shall be figured as time on job and not from shop to job and return. The Public Works Division, Department of Engineering shall be notified as to the presence of contractor in the City so coordination of additional work may be possible.

II. SPECIFICATIONS

- A. Intent of Specifications: Specifications are intended to cover all labor, material and mechanical workmanship to be employed in the work that is called for in these specifications or reasonably implied by terms of the same. Work or materials of a minor nature which may not be specifically mentioned, but which may be reasonably assumed as necessary for the completion of this work shall be performed by the Contractor as if described in the Specifications.
- B. Interpretation of Specifications: Should a misunderstanding as to the meaning or interpretation of anything contained in these Specifications arise, the matter shall be decided by the Director of Public Works.
- C. Standard Specifications: Contractor agrees that all work engaged in the performance of this Agreement shall conform with the current Standard Specifications for Public Works Construction 2015 Edition (Greenbook), hereinafter referred to as Standard Specifications; the Supplementary Standard Special Provisions as prepared by the San Diego and Imperial Counties Chapter of the American Public Works Association, also hereinafter referred to as Standard Specifications; the San Diego Regional Standard Drawings issued as of December 2015 hereinafter referred to as the SDRSD and in accordance with these Special Provisions. In case of conflict between the Standard Specifications, the SDRSD, and the Special Provisions, the Special Provisions shall take precedence over and be used in lieu of such conflicting portions. Whenever a question as to the meaning of any portion of the specifications is in dispute, or where there may be more than one interpretation given to any portion of the specifications, the interpretation by the City shall be final.
- D. Storage of Materials: No storage facility will be furnished by the City.
- E. Clothing: Employees of Contractor shall at all times be dressed in clean clothing, including all required safety equipment and vests while working in the City.

- F. **On call/Emergency call out (sewer spill, storm drain stoppage). Contractor shall respond to emergency callbacks within one hour of initial notification.**

III. SEWER LINE CLEANING

- A. General: Contractor will furnish all labor, materials, equipment and incidentals necessary for the cleaning of approximately 255,000 feet of sewer lines and manholes described herein. The Contractor shall be responsible for the removal of debris from the pipeline and shall take all the necessary steps to ensure that no spills of any water occur. Pipeline debris is described as, but not limited to, sludge, dirt, sand, rocks, grease, roots and other solid or semisolid materials. Sewer lines are VCP, DIP and PVC and range in sizes from 4 to 24 inches in diameter. Lengths shown are approximate. Payment will be for actual footage cleaned regardless of the diameter of the pipe.
- B. On call/emergency call out (needed equipment for City facilities): Contractor shall possess all materials and equipment needed to alleviate blockages including sinks, drains and toilets at City facilities.
- C. Cleaning Equipment: Combination of high velocity hydro-cleaning and vacuum removal equipment shall be utilized and shall have the following features as a minimum:
1. A minimum of 900 feet of 1-inch diameter high pressure hydro flushing hose.
 2. Two or more high velocity nozzles capable of producing a scouring action from 15 degrees to 45 degrees in all size lines to be cleaned. Nozzle skirts shall be used for the appropriate size of pipe being cleaned. **Note**: Nozzle jet orifices shall be inspected periodically by Contractor and City representative to ensure jet diameter not to exceed 0.0860-inch diameter. Nozzle jets will be considered worn if a 3/32" drill bit can be inserted into the jet orifice. The nozzle shall then be removed from service. For nozzles with replaceable jets, the oversize jets shall be replaced before the nozzle can be used again.
 3. A root cutter attachment for 4" through 24" pipe
 4. A high-pressure handgun for washing and scouring manhole walls, channels, shelves and manhole cover frames.
 5. A 1,500-gallon minimum water tank pump and a hydraulically driven hose reel.
 6. Equipment operational controls located above ground.
 7. Minimum working pressure of 1,200 pounds per square inch at 60 G.P.M. rate.
 8. Centrifugal or positive displacement blower vacuum equipment suitable to remove all debris at the downstream manhole while the hydro flushing is being performed.
 9. Two (2) two-way hand held radios for communication in easements.
- D. Cleaning Precautions: During sewer cleaning operations, satisfactory precautions shall be taken to prevent damage or cause flooding of public or private property being served by the sewer. Care shall be exercised in the

selection and use of the cleaning tools to avoid pipe damage. Use of a nozzle skid is required to prevent accidental entry of nozzle into house connections.

E. Sewer Cleaning Procedures:

1. The designated sewer line segments will be cleaned using combination high-velocity jet with vacuum removal. The normal cleaning operation shall be to jet from the downstream manhole towards the upstream manhole thereby pulling any debris back to the downstream manhole. If no debris is present then a single pass shall be sufficient. If debris is encountered, the entire run shall be made repeatedly until debris is no longer present. At any sign of significant dirt and gravel, the cleaning operation for that pipe shall cease and the City shall be notified of a possible line break.
2. Once the appropriate traffic control has been placed, the Contractor shall wash the upstream manhole with the high-pressure water gun while being cautious not to spray any surrounding vehicles or pedestrians. Any major defects in the manhole or the frame and cover shall be noted and brought to the attention of the City for remedy.
3. Selection of the equipment used will be based on the conditions of the sewer lines at the time work commences. The equipment and methods selected must be satisfactory to the City representative(s). The equipment shall be capable of removing dirt, grease, roots and other materials and obstructions from the sewer lines and manholes. If cleaning of an entire section cannot be successfully performed from the downstream manhole, the equipment will be set up on the upstream manhole and cleaning will again be attempted. If successful cleaning again cannot be performed or the equipment fails to traverse the entire manhole section, it will be assumed that a major blockage exists and the Contractor will notify the City representative(s) of this condition immediately for further instruction. Pullback rate on jetting shall not be greater than three feet per second.
4. The cleaning method shall be to jet from the upstream manhole down slope for washing purposes on pipeline segments with extremely steep slopes where the jetter nozzle fails to climb to the upstream manhole. Following the down slope jetting procedure the contractor shall jet from the downstream manhole up slope so that the cleaning directions overlap. A portable, potable water meter will be provided by the City for all water needs from fire hydrants located throughout the City. Water costs shall be paid by the City directly to the water agency.
5. There is an alternate line item within the scope of services that requests an additional dollar amount for utilizing recycled water at a single source located on Via de la Valle near South Cedros Ave. If the City requires the selected contractor to utilize recycled water for the duration of the agreement, the contractor must have the ability to use recycled water on the first day of the agreement. A dollar amount must be added to this line item or the proposal will be considered non-responsive.

F. Licenses, Permits and Access:

1. Contractor must possess a State of California Class A General Engineering Contractor's License.
 2. Contractor shall acquire all required fees and licenses for any encroachment permits required by the City of Solana Beach when cleaning and inspections are necessary on the public right-of-way. The City will reimburse Contractor for permit fees.
 3. Contractor shall acquire a business license from the City of Solana Beach and information and an application are available from the City Finance Department, (858) 720-2460 or on the website at: http://www.ci.solana-beach.ca.us/index.asp?SEC=64DCE7C8-57B5-4CE4-90CC-EFF3A553B5EE&Type=B_BASIC. The City will not reimburse the Contractor for this fee.
 4. For easement cleaning where entry must be made onto homeowner's property, notice must be given for permission to enter property. Coordination of sewer cleaning will be made through the City representative, with notification to be provided a minimum of one week in advance of the anticipated cleaning date. Contractor will provide assistance with manhole access and make arrangements as needed for entry onto private property for the cleaning of easements.
 5. Easements requiring additional manpower for making turns in manholes or for pulling the jetter hose will be the responsibility of the Contractor. Two-way hand held radios may be needed for communication.
- G. Material Removed: The Contractor shall be responsible for the removal of debris from the pipeline and cleaning and/or re-cleaning the pipe wall to the City's satisfaction as proven by closed circuit television video (CCTV). All sludge, dirt, sand, rocks, roots, grease and/or other solid or semisolid material resulting from the cleaning operation shall be removed at the downstream manhole of the section being cleaned. Passing material from manhole section to manhole section, which may cause line stoppages, shall not be permitted.
- H. Material Disposal: Liquids shall be decanted and drained back to the sewer. All solids or semisolid resulting from the cleaning operations will be removed from the work site and taken to the San Elijo Joint Powers Authority (SEJPA) Treatment Facility. The City will be responsible for the costs of treating the waste at the SEJPA Treatment Facility, but the contractor will be responsible for all costs of transporting and off-loading the waste at the SEJPA site. All materials will be removed from the work site at the end of each workday. Under no circumstances will Contractor be allowed to accumulate debris, etc. on the site of work beyond a single workday.
- I. Spill Reporting and Handling:
1. Contractor shall immediately notify the City representative(s) of any manhole overflow or interruption/backup of customer service and the Contractor shall contain and control all overflow. The Contractor shall be responsible for any fines levied by others as a result of the Contractor's work. If the Contractor is involved with a spill, they must:

- a. Immediately notify the City.
 - b. Attempt to contain the spill to isolate it from entry to any waterways.
 - c. Attempt to relieve the spill. Once the spill has been contained and relieved, the area must be cleaned up.
 - d. Follow-up reports must be made. Once a spill is reported to the City, personnel will be dispatched for response.
- 2. Contractor shall be responsible for any fines levied by others, reimbursement of any agency incurred costs, damage, cleanup, restoration of flow and any disruption of service costs to customers as of a result of Contractor's work. This is in addition to any and all costs incurred by the City.
- 3. Contractor shall also notify the City immediately of any apparent non-contractor related spills and/or any abnormal conditions.
- J. Jet Sewer Line Hot Spots: The sewer line "hot spots" as listed in Exhibit A shall be cleaned on a quarterly basis (four times per year). Payment for this item shall be per linear foot each time the "hot spots" are cleaned.
- K. Confined Space and Safety Issues:
 - 1. All manholes in this work are defined as Title 8 Permit Required Confined Spaces. The Contractor's attention is directed to the General Industry Safety Orders of the State of California, Article 108, Confined Spaces, Section 5157 (Title 8 of California Code of Regulations, Sections 5167, 5157, 5158). Contractor shall attend a safety meeting with the City for the purpose of reviewing the Contractor's safety manuals, his knowledge of Title 8 and to discuss all safety aspects of the job.
 - 2. All work shall be conducted from above ground. Manhole entry, if required, shall be conducted in strict accordance with permit required confined space entry regulations. These regulations include, at a minimum: entry permit, trained authorized entrants(s), attendants(s), entry supervisor(s), full body harness (with life line), mechanical retrieval device, continued forced air ventilation, continuous air monitoring, communication systems (minimum two types) and all other protective equipment that may be required. Work shall be conducted in accordance with all Federal, State and local laws and regulations.
 - 3. The local fire department may be able to offer services for confined space rescue. Contractor shall make any and all arrangements necessary.
- L. Traffic Control: All traffic control shall be in accordance with the latest edition of the Work Area Traffic Control Handbook (WATCH) and City regulations and based on the speed limits posted in the work zones. Flagmen may be required in some locations. Additional local regulations shall have precedence. Contractor shall apply for all traffic control permits and pay all fees and permits for said permits with Caltrans when working on Pacific Coast Highway. Safe and adequate pedestrian and vehicular access shall be provided in accordance with Section 7-10 of the Standard Specifications for Public Works Construction,

2011 Edition. **Note: Inadequate or improper signing and delineation for traffic control may be cause for the cancellation of the agreement.**

- M. Work Plan: The Contractor shall prepare a weekly work plan and submit it one (1) week in advance to the City for review and acceptance. The plan shall verify the cleaning sequence and identify all the line sections to be cleaned based on City maps and sequence data provided. Plan may be amended for weather or local road maintenance or construction issues discovered by either party.
- N. Work Documentation: The contractor shall record the daily cleaning sheets electronically using Contractor-provided laptops. Weekly reports based on the work plan shall be submitted for City review with the invoice for payment. Contractor's log sheets, with a section by section breakdown including comments, shall be maintained on site, in a legible manner, for review at all times. Comments on log sheets shall include notice of badly worn frames and covers, and badly deteriorated manhole concrete structures.
- O. Crew Size: Contractor shall provide a minimum of a two-person crew at all times, one person shall witness the jetting nozzle reach the upstream manhole. A crew of three shall be utilized for all work in confined spaces. Additional personnel shall be utilized when needed for traffic control flagmen.
- P. Inclement Weather: During inclement weather, the Contractor shall contact the City for the determination of non-operation conditions.

IV. SEWER LINE VIDEO INSPECTIONS

- A. General: Contractor will furnish all labor, materials, equipment and incidentals necessary for the video inspection of various lengths and sizes of sanitary sewers cleaned as a part of the specification. Sewer lines are typically VCP (vitrified clay pipe), PVC (polyvinyl chloride) and DIP (ductile iron pipe) and range in sizes from 4" to 24" in diameter.
- B. CCTV Inspection:
1. City to provide contractor with maps showing pipeline data and locations. It will be the contractor's responsibility to input the data into the inspection reports. City will provide a list of pipelines to be inspected.
 2. Sewer sections and manholes shall be inspected by means of remote CCTV. The documentation of the work shall consist of CCTV Reports, logs, electronic reports, etc. noting important features encountered during the inspection. The completed inspection submitted on hard drive will become the property of the Owner.
 3. Every section of sewer (manhole to manhole) shall be identified by audio and alphanumeric on the video display and shall include: project name, street name, inspector's name, sewer diameter and length, and date of inspection. Important features shall be identified by audio and on all logs to include manholes, active and inactive service connections, structural defects, maintenance problems, grease, roots, infiltration, obvious inflow sources, etc. All video must be continuously metered from manhole to manhole. In addition to televising the sewer, all manholes shall be panned with the video camera and visually inspected.

C. Equipment:

1. Equipment will be of a type and design specifically intended for the inspection of sewer systems. All equipment is to be truck mounted. Cameras are to be equipped with rotating head, capable of 360 x 285 degree pan and rotate viewing capability.
2. Contractor's equipment shall meet the following requirements:
 - Minimum Camera Resolution: 400 vertical lines and 470 horizontal lines.
 - Camera Lens: Not less than 360 degree viewing angle, with automatic or remote focus and iris controls.
 - Focal Distance: Adjustable through range of 4 inches to infinity.
 - Camera(s) shall operative in 100 percent humidity conditions.
 - Lighting Intensity: Remote-controlled and adjusted to minimize reflective glare.
 - Lighting and Camera Quality: Provide clear, in-focus picture of entire inside periphery of sewer.
 - Equipment capable of recording reaches up to 1,500 feet in one direction.
3. Contractor shall have an intrinsically safe portable gas monitor capable of detecting oxygen, hydrogen sulfide and combustible gases. The gas monitor shall be calibrated in accordance with the manufacturer's recommended frequency.

D. Types of CCTV Inspections:

1. Preliminary Inspection: For accurate sewer assessment, it should be inspected in its natural working condition. This method of inspection is to inspect the pipeline before cleaning to get a general idea of the condition of the pipe.
2. Standard Inspection: Sewers will be assumed to be sufficiently cleaned for the camera to pass through the pipe and give a clear view of the conditions. Inspections of pipelines that do not allow a clear view of the conditions will be rejected by the owner. It will be the contractor's responsibility to re-clean and re-inspect the pipeline.
3. Push Camera Inspection: Some pipeline sections may require the use of a push camera to complete the inspection. These would include lined 6" pipeline or access locations that are too restricted to allow a tractor camera to be inserted in the pipeline.

E. Procedure:

1. The portable gas monitor shall be used to test the manhole before opening the cover. Once it is determined to be safe, the cover shall be removed and the gas monitor shall continue testing the inside of the manholes if the camera equipment is not approved as intrinsically safe. Compliance shall be to CAL OSHA reference Title 8, Section 2305.4.
2. Contractor will perform all CCTV inspections in accordance with industry standards. CCTV inspections will be conducted entirely in digital format. The entire inspection survey shall be recorded in MPEG-2 format written to and submitted on a hard drive with digital links to the survey. All television inspection reports shall be with-in +/- 2 (two) feet of the measured linear footage between manholes along the existing sewer centerline from the end

- of pipe to end of pipe. Work not following these specifications may be rejected for payment and the contractor may be required to re do the work.
3. If a blockage or defect cannot be removed and hampers the video inspection of the sewer in one direction, then the contractor shall attempt to complete the section by televising from the other manhole to complete the section.
 4. The speed of travel shall be slow enough to inspect each pipe joint, tee connection, structural deterioration, infiltration and inflow sources, and deposits, but should not ever exceed 50 ft per minute. The camera must be centered in the pipe to provide accurate distance measurements to provide exact locations of important features in the sewer and these footage measurements shall be displayed and documented on the video.
 5. The operator shall pause the recording during non-activity periods to minimize any unnecessary recording. The audio shall only be engaged for the necessary narration of the recording so as to minimize unnecessary background noise and idle chatter.
 6. The camera lens shall be kept clear of condensation and debris. Recorded footage showing steam, inadequate lighting, or other poor image quality will be cause for rejection and non-payment by the City. Recording with excessive distortion or discoloration shall be rejected.

F. CCTV Inspection Report and Video Recording:

1. Upon completion of the video inspection, the Contractor shall provide the agency with an inspection report that includes the following:
 - a. Brief summary of the work performed
 - b. Summary list of all pipeline segments inspected (ie. manhole to manhole).
 - c. All original digital recordings.
 - d. Summary list of recorded observations and defects.
 - e. Photographs of major defects for each pipeline segment (in JPEG format).
 - f. Electronic files of inspection data.
2. Minimum documentation shall consist of the Video Recording(s) and the Inspection Report. The Inspection Report for each segment shall be as specified above and may contain the following as directed by the City:
 - a. Agency project or contract number
 - b. CCTV date
 - c. CCTV time
 - d. Weather condition
 - e. Contractor name
 - f. Contractor job number
 - g. Operator(s) name(s)
 - h. Street name or location
 - i. Cross street name or location
 - j. Surface material (asphalt, concrete, dirt, etc.
 - k. Construction drawing number and sheet number

- l. Manhole number (access point) - up stream
 - m. Manhole number (access point) - down stream
 - n. Manhole to manhole segment number
 - o. Manhole depth - up stream
 - p. Manhole depth - down stream
 - q. Basin or area (service area)
 - r. Direction of camera
 - s. Pipe – size
 - t. Pipe – shape
 - u. Pipe - material (and coating, if applicable)
 - v. Pipe – age
 - w. Pipe – slope
 - x. Pipe - drop (total invert elevation change)
 - y. Pipe - footage centerlines (on plan or map, if available)
 - z. Pipe - footage centerlines (on CCTV)
 - aa. Pipe - flow up (percent of pipe at inlet or height of flow)
 - bb. Pipe - flow down (percent of pipe at outlet or height of flow)
 - cc. Pipe - joint lengths in feet
 - dd. Observation descriptions
 - ee. Schematic of pipeline showing laterals and observations and footage
 - ff. Clock position of noted observations
 - gg. Photographs of major defects or typical pipe condition (JPG)
 - hh. Notice of severely worn manhole covers
 - ii. Notice of severely deteriorated manhole concrete structures
 - jj. Notice of severely deteriorated manhole liners or coatings
 - kk. Sewer pre-cleaned prior to inspection? Yes or no
 - ll. Purpose of survey
3. All CCTV Inspection will utilize **the San Diego Regional Defect Coding System**. Operators must be trained in the defect coding system and have a minimum of two (2) years' experience utilizing the coding system.
 4. Voice recordings on the videotape shall be clear, complete and distinct. The audio description shall be made on a real time basis and not in any voiceover manner after the video image is recorded.
 5. A vocal description shall be recorded at the beginning of each tape and at the beginning of each inspection while the "Initial Screen Text" is displayed. A voice recording shall also be performed during each observation and at the conclusion of each inspection. Inappropriate language or idle chatter are not acceptable and shall be grounds for rejection of work by the City Representative(s) in accordance with the Agreement Documents. If rejected, the non-conforming videotape(s) shall be corrected to comply, at no cost to the City.
 6. The Contractor shall make color video recordings of the data on the television monitor, copies of which, in digital format, will be provided to the City. Additionally, a video clip of each specific defect shall be provided to the City on a digital storage hard drive. Video clips shall be MPEG-2 format. Title to the digital media will remain with the City.

G. Screen Text: City to provide sample screen text to contractor prior to the start of the contract. A City representative shall review and approve the screen layout prior to the first inspection on this contract. The display on the screen shall be temporarily moved or turned off as required to obtain the highest quality documentation of the pipeline defects. Contractor will be responsible to submit all video in accordance with the agreed format. Any video submitted that fails to provide the proper information will be rejected by the City.

H. Report Requirements:

1. Contractor will at a minimum provide the following reports in digital PDF format (sample reports can be provided):
 - a. Daily CCTV Inspection Log
 - b. Individual segment CCTV inspection reports to include:
 - i. CCTV Inspection Pipe Graphic
 - ii. CCTV Inspection Tabular Report
 - iii. CCTV Inspection Picture Report
 - c. Defects by Inspection Report
 - d. Log of all submitted inspections to include:
 - i. Pipe ID
 - ii. US MH Number
 - iii. DS MH Number
 - iv. Inspection Date
 - v. Map Footage
 - vi. Inspection Footage

I. Electronic Data Requirements: Contractor to provide all reports and videos in digital format on a hard drive. City will copy the data and return the hard drive to the contractor. It will be the contractor's responsibility to maintain a copy of all submitted data and reports for up to one (1) year after the completion of the contract. Files not meeting the required format will be returned to the contractor for correction. The City will not provide any data reformatting.

J. City Equipment and Labor: The City's equipment and labor, except for the City representative to monitor the work, shall not be utilized at any time.

K. Office for Inquires and Complaints:

1. The Contractor shall maintain an office at some fixed place and shall maintain a telephone therein, listed in the telephone directory in his/her own name or in the file name by which he/she is commonly known, and shall at all time during the hours between 8:00 AM and 5:00 PM of each working day have a full-time employee at said office for the answering of inquiries and for receiving communication from the Director of Engineering and Public Works. The Contractor shall maintain a written log of all complaints, the date thereof, and the action taken pursuant thereto or the reason for non-action. Such a log of complaints shall be open to the inspection of the Director of Engineering and Public Works.
2. The Contractor shall make every reasonable effort to respond to complaints on the same day they are received and shall report to the Director of

Engineering and public Works within twenty-four (24) hours as to the action taken concerning each complaint.

L. Public Relations:

1. Contractor is required to have radio-equipped or telephone equipped vehicles and a supervisor available by telephone on a 24-hour basis who is assigned to provide direction and prompt attention to requests from the City for emergency service.
2. Contractor shall, in person or through his/her agent, investigate any complaint, which may concern, or be involved in, the performance of the contract. Contractor shall report to the Director of Public Works, or designee, the following working day as to the action taken with reference to the complaint and, when necessary, complete a Service Request, which will remain on file at City Hall. Complaints received before noon shall be answered the same day; complaints received after noon shall be answered the following day.

M. Working Time Limits: The working hours are Monday - Friday, 8:00 AM to 4:00 PM.

N. Emergency Call Back: The Contractor shall provide employees and equipment to respond to any after hour emergency, sewer plug or spill in accordance with the Public Relations Section above. The emergency may require a video camera truck and a hydro flush/vacuum truck. This response includes nights, weekends, holidays and all hours not illustrated in the Public Relations Section above.

O. Damages: The Contractor shall report without delay any damage to City equipment, City property or private property. The Contractor shall be liable for damages caused by his/her actions. Any repairs and associated cost resulting from Contractor caused damage shall be the responsibility of the Contractor.

V. CATCH BASIN CLEANING

- A. Clean and vacuum approximately 70 catch basins per year (between May 1st and September 30th) with a combination truck. Specific catch basins to be cleaned will be determined by the City.
- B. Catch basins shall be cleaned in accordance with National Pollutant Discharge Elimination System (NPDES) Permit Order No. R9-2007-0001. The material collected from the catch basins shall be taken to the Joint Powers Authority (SEJPA) Treatment Facility. The City will be responsible for the costs of treating the waste at the JPA Treatment Facility, but the contractor will be responsible for all costs of transporting and off-loading the waste at the SEJPA site.
- C. Contractor must document the maintenance and cleaning activities including the overall quantity of waste removed and number of catch basins inspected and cleaned.

VI. CONTRACTOR, PERSONNEL AND SUPERVISION

A. Contractor Requirements:

1. All contractors submitting proposals for this work should have municipal maintenance experience of a similar nature to the work proposed as part of this RFP. As part of their proposal submittal, each contractor shall provide a list of similar projects and clients that their firm has completed on behalf of

other local agencies in the past 5 years. The name of the local agency and a contact for each project shall also be included with the proposal submittal.

B. Personnel Requirements:

1. The Contractor's Supervisor(s) performing the work must be qualified to perform the work and have a minimum of three (3) years of experience in cleaning and maintaining a municipal sewer line system including three (3) years of experience in videotaping sewer line inspections.
2. All non-supervisor classified workers shall have a minimum of one (1) year experience in cleaning and maintaining a municipal sewer line system.
3. Before the contract is awarded by the City Council, the contractor shall provide documentation that satisfies the two (2) sections above (VI.A.1 and VI.A.2).
4. The Contractor's supervisor(s) must be able to communicate both verbally and in writing with City staff as well as with his crew. The Contractor's supervisor must demonstrate the capability to read, interpret and understand the Safety/OSHA requirements, City plans, drawings and specifications as necessary.
5. All CCTV operators shall be National Association of Sewer Service Companies (NASSCO) certified by passing the three day Pipeline Assessment and Certification Program (PACP). The methodology of evaluation, data collection and reporting criteria used for the NASSCO certification shall be practiced for all CCTV evaluation in this contract.
6. All work and equipment utilized shall conform to FED-OSHA Title 8 Requirements, including, but not limited to work performed in confined spaces and/or gas hazardous environments.
7. Contractor shall provide a minimum of a two-person crew at all times.
8. The Contractor agrees to require his/her employees to present a neat appearance at all times while engaged in the performance of their duties. The employees shall also maintain good bearing and deportment toward the public. Should for any reason an employee be unsatisfactory in the opinion of the City, the Contractor, when notified in writing, shall cause that employee to be removed from the job and replaced by a satisfactory employee.
9. Contractor shall require each employee to adhere to a basic standard of working attire. This standard is a clean uniform with the Contractor's company name or insignia clearly visible, proper shoes, other gear as required by State Safety Regulations and proper wearing of the clothing. Shirts shall be worn at all times, buttoned and tucked in.
10. The Contractor shall supply employees with the skills to perform various semi-skilled duties in connection with cleaning and videotaping sanitary sewers. The Contractor shall also supply employees with the ability to use and maintain various tools, ability to perform heavy manual labor, ability to follow oral and written instructions.
11. The Contractor shall provide adequate supervision as to furnish proper surveillance of workmanship and adherence to the schedule by the employees performing the work. The field supervisor or his/her representative shall check with the Department of Public Works weekly as to

(1) schedule of work, (2) complaints and (3) adequacy of performance. The Contractor shall submit such reports as the City may require ensuring compliance with scheduled work. The Supervisor shall be in the City at least 20% of the time while work is in progress. The Contractor shall be penalized Two Hundred and Fifty Dollars (\$250) per week for failing to have a supervisor in the City at least seven hours per week while work is in progress.

12. The Supervisor shall be someone other than the labor type of employee provided in this contract. The Contractor shall provide in writing to the City (before starting work under this contract) the name of the supervisor. After approval of the Supervisor, the Contractor may substitute another individual provided the Contractor makes a written request to the City and said request is approved. The Supervisor should have at least five years practical experience in supervision.

**AMENDMENT NO. 3 TO PROFESSIONAL SERVICES AGREEMENT WITH iDRAINS,
LLC DBA AFFORDABLE PIPELINE SERVICES FOR SEWER AND STORM DRAIN
MAINTENANCE SERVICES AND VIDEO INSPECTIONS**

This Amendment No. 3 to the Professional Services Agreement with iDrains, LLC DBA Affordable Pipeline Services for Sewer and Storm Drain Maintenance Services and Video Inspections ("Amendment No. 3") is entered into and effective as of the 1st day of July, 2025, by and between the City of Solana Beach, a municipal corporation, ("CITY"), and iDRAINS, LLC DBA AFFORDABLE PIPELINE SERVICES a Limited Liability Company ("CONTRACTOR") (collectively, the "Parties").

RECITALS

A. CITY and CONTRACTOR entered into a Professional Services Agreement with iDrains, LLC DBA Affordable Pipeline Services formerly known as Affordable Pipeline Services for Sewer and Storm Drain Maintenance Services and Video Inspections on July 1, 2022 ("Agreement") under which Contractor furnished professional services for sewer and storm drain services and video inspections to City; and

B. On July 1, 2023, the Parties executed Amendment No. 1 to the Professional Services Agreement with iDrains, LLC DBA Affordable Pipeline Services for Sewer and Storm Drain Maintenance Services and Video Inspections ("Amendment No. 1"), which extended the term of the Agreement for a period of one (1) year until June 30, 2024; and

C. On July 1, 2024, the Parties executed Amendment No. 2 to the Professional Services Agreement with iDrains, LLC DBA Affordable Pipeline Services for Sewer and Storm Drain Maintenance Services and Video Inspections ("Amendment No. 2"), which extended the term of the Agreement for a period of one (1) year until June 30, 2025; and

D. The CITY now desires to exercise its third option to extend the term of the Agreement for a period of one (1) additional year until June 30, 2026, at an amount not to exceed Three Hundred Ninety Thousand Thirty dollars (\$390,030), and to document a change in the Agreement.

NOW, THEREFORE, in consideration of these recitals and the mutual covenants contained herein, CITY and CONTRACTOR agree as follows:

1. The Agreement, as may have been amended from time to time is hereby extended for a period of one (1) year, beginning July 1, 2025 and ending on June 30, 2026.

2. CITY will pay CONTRACTOR for all work associated with the terms of the

Agreement, as amended, at an amount not to exceed Three Hundred Ninety Thousand Thirty dollars (\$390,030).

3. All requisite insurance policies to be maintained by the CONTRACTOR pursuant to the Agreement, as amended, shall include coverage for this Amendment No. 3. A copy of the CONTRACTOR's updated insurance requirements is attached. (Attachment 1)

4. All other provisions of the Agreement, as amended, shall remain in full force and effect.

5. The individuals executing this Amendment No. 3 and the instruments referenced on behalf of CONTRACTOR each represent and warrant that they have the legal power, right and actual authority to bind CONTRACTOR to the terms and conditions hereof of this Amendment No. 3.

iDrains, LLC DBA Affordable Pipeline Services., a Limited Liability Company

CITY OF SOLANA BEACH, a municipal corporation of the State of California

By:

(Sign here)

Alyssa Muto, City Manager

(Print name/title)

(Date)

(Date)

APPROVED AS TO CONTENT:

Joseph Lim, Community Development Director

APPROVED AS TO FORM:

Johanna Canlas, City Attorney
ATTEST:

Angela Ivey, City Clerk

EXHIBIT “A” SCOPE OF SERVICES AND FEE

Maintain and Clean additional Full Capture Systems (FCS) including the following services:

- Vacuum material from each catch basin
- Pressure wash walls, floors, and screens
- All materials captured (debris & water) during the cleaning process will be collected in a combination Jet/Vacuum truck and dumped at the San Elijo Joint Powers Authority facility.
- Set up standard traffic/pedestrian control to secure general work area.

FCS Site			
Unique ID	Location Description	Approximate GPS Coordinations	
		Lat	Long
FCS182	Curb inlet on Turfwood Lane (north side of the roadway)	32.982696	-117.258568
FCS183	Curb inlet on Valley Ave (west side of the roadway)	32.982381	-117.258281
FCS185	Curb inlet on the northwest corner of Del Mar Downs Rd and Via De La Valle	32.980513	-117.262103
FCS261	Combination inlet on the northeast corner of Solana Circle and Via De La Valle	32.980541	-117.2643
FCS356	Curb inlet on Cedros Ave (west side of the roadway)	32.988406	-117.269842
FCS357	Curb inlet on Cedros Ave (east side of the roadway)	32.990122	-117.270103
FCS358	Curb inlet on Cedros Ave (west side of the roadway)	32.990114	-117.270229
FCS359	Curb inlet on the southeast corner of Cedros Ave and Lomas Santa Fe Dr	32.99182	-117.270493
FCS360	Curb inlet on the southwest corner of Cedros Ave and Lomas Santa Fe Dr	32.991798	-117.270627
FCS361	Curb inlet on Cedros Ave (east side of the roadway)	32.98771	-117.269532
FCS363	Curb inlet on Rosa St (east side of the roadway)	32.987943	-117.269352
FCS364	Curb inlet on Cedros Ave (east side of the roadway)	32.988482	-117.269699
FCS367	Grate inlet on Sierra Ave (east side of the roadway)	32.991811	-117.27307
FCS371	Grate inlet on Sierra Ave (east side of the roadway)	32.992167	-117.269101
FCS380	Curb inlet on Cedros Ave (east side of the roadway)	32.9933	-117.271028
FCS381	Curb inlet on the northwest corner of Cedros Ave and Lomas Santa Fe Dr	32.99223	-117.270776
FCS384	Curb inlet on the northwest corner of Rios Ave and Lomas Santa Fe Dr	32.992377	-117.269641
FCS467	Combination inlet on Estrella Street (southeast corner of the intersection of Estrella & Sierra Ave)	32.994506	-117.273677
FCS468	Grate inlet on Sierra Ave (east of the roadway) North of Sierra & Pacific Ave	32.992577	-117.273241
FCS469	Grate inlet on Sierra Ave (west of the roadway) North of Sierra & Pacific Ave	32.992563	-117.273343
FCS502	Curb inlet at the west end of Plaza St	32.991454	-117.273155
FCS503	Curb inlet on Sierra Ave (near the west side street parking spaces)	32.99158	-117.273154
FCS601	Curb inlet on the northwest corner of Lomas Santa Fe Dr and South Grandos Ave	32.992813	117.268357

A F F O R D A B L E

D R A I N & P I P E L I N E S E R V I C E S

Proposal

February 11, 2025

City of Solana Beach
Luis Carrillo

RE: Storm Drain Catch Basin Filter Cleaning

Affordable Pipeline Services is pleased to offer the following proposal for your project.

Scope of Work:

Provide Combination Jet/Vac Truck and crew to clean (28) storm drain inlets with filters within the City of Solana Beach. Crews will vacuum material from each catch basin and pressure wash walls, floors, and screens as best as possible from topside access. All materials vacuumed (debris & water) during the cleaning process will be vacuumed into the combination Jet/Vac truck and dumped at San Elijo JPA. All work will be performed topside of manhole and no confined space entries will be performed at this time. Standard traffic cones will be used to cone off general work area. Quarterly maintenance for each unit to be performed.

Price:

Storm Drain Catch Basin Cleaning \$110.00 per unit

Annual Cost \$12,320.00

Exclusions:

- Confined space entries
- Pipeline jetting
- CCTV Inspection
- Additional Insurance requirements may increase costs. Current insurance is attached.
- Price does not include any secondary traffic control services, plans, or permits.

Assumptions:

- Current contract unit pricing to be used
- All manholes and pipelines are accessible by equipment
- Water will be sourced from onsite fire hydrants with appropriate construction water meter device at no charge to Affordable Pipeline Services.
- All materials vacuumed into truck will be dumped at San Elijo JPA.

Affordable Drain & Pipeline Services, LLC LIC#1082503
PWCR #1000850020
12530 Stowe Drive Poway, CA 92064 858-689-4000





STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Fire Department – Josh Gordon, Fire Chief
SUBJECT: **Consideration of Resolution 2025-057 Accepting 2024 State Homeland Security Program Grant Funds for Firefighting Equipment**

BACKGROUND:

Activities implemented under State Homeland Security Program (SHSP) grants must support terrorism preparedness by building or enhancing capabilities that relate to the prevention of, protection from, response to and recovery from terrorism in order to be considered eligible. Many capabilities which support terrorism preparedness simultaneously support preparedness for other hazards and catastrophic incidents. The activities must also align with the national, state, and urban area strategic objectives.

The grant request is for the purchase of a battery-operated ventilation fan and related accessories that will assist firefighters in the event of a fire or explosion by providing ventilation to the inside of a structure. This improves the reliability and advanced capabilities for supporting search and rescue. This equipment will reside on the Fire Department's front-line ladder truck and will be used by the firefighters (first responders).

This item is before the City Council to request approval of Resolution 2025-057 (Attachment 1) accepting \$7,788 in 2024 State Homeland Security Program grant funds for the purchase of a ventilation fan with accessories.

DISCUSSION:

The City is directly receiving a total of \$7,788 awarded through the County of San Diego under SHSP for Federal Fiscal Year 2024 (Attachment 2). The funding allocated to the City will enhance its preparedness, prevention, and response capabilities. The SHSP grant funds can only be expended on equipment authorized for purchase by the

COUNCIL ACTION:

Department of Homeland Security. The City will apply the \$7,788 of the funds from the 2024 program to purchase a ventilation fan with accessories.

This Federal grant is a reimbursement grant and requires the City to expend funds prior to requesting reimbursement. Under SHSP, expenditures must be made by the grant recipient and the reimbursement requested from the County of San Diego Office of Emergency Services (OES). The deadline to expend funds and request reimbursement is May 31, 2026. The City anticipates purchasing the equipment by July and submitting for reimbursement to the County of San Diego OES before the May 2026 deadline.

The State of California administers the grant and requires all grant recipients to adhere to the California Governor's Office of Emergency Services Standard Assurances for Cal OES Federal Non-Disaster Grant Programs, which outlines policies and regulations pertaining to the use of federal grant funds (Attachment 3).

CEQA COMPLIANCE STATEMENT: N/A

FISCAL IMPACT:

The City is not required to provide any matching funds or cost share for grants under SHSP; nor is it required to fund the replacement of grant funded equipment in the future (at the end of its useful life). Staff does not anticipate incurring any significant increase in costs for maintaining the equipment during its lifespan. A budget amendment is needed in the Misc. Grants Fund to record the expected grant revenue and related expenditure amount of \$7,788.

WORK PLAN: This is not a project under the California Environmental Quality Act (CEQA).

OPTIONS:


- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments / modifications.
- Deny Staff recommendation and provide further direction to Staff.

CITY STAFF RECOMMENDATION:

Staff recommends that the City Council approve Resolution 2025-057:

1. Accepting \$7,788 in federal funds from a 2024 State Homeland Security Program (SHSP) grant awarded to the City of Solana Beach for the purchase of a ventilation fan with accessories.
2. Authorizing the City Manager, or her designee, to sign and submit the required California Governor's Office of Emergency Services Standard Assurances for Cal OES Federal Non-Disaster Grant Programs.

3. Approving a budget amendment of \$7,788 to the Misc. Grant Fund – Federal Grants revenue account 246-46600 and the Minor Equipment expenditure account 2466120-64190.
4. Authorizing the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-057
2. FY 2024 San Diego County Office of Emergency Services Award Letter to Jurisdictions
3. California Governor's Office of Emergency Services Standard Assurances for Cal OES Federal Non-Disaster Grant Programs
4. FY 2024 State Homeland Security Program (SHSP) Grant Approved Allocation

RESOLUTION 2025-057

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE PURCHASE OF A VENTILATION FAN AND RELATED ACCESSORIES IN THE AMOUNT OF \$7,788 AND AUTHORIZING THE CITY MANAGER OR HER DESIGNEE TO EXECUTE THE CALIFORNIA GOVERNOR'S OFFICE OF EMERGENCY SERVICES STANDARD ASSURANCES FOR CAL OES FEDERAL NON-DISASTER GRANT PROGRAM DOCUMENT

WHEREAS, the Fire Department uses ventilation fans inside a structure to assist in search and rescue in the event of a fire or explosion; and

WHEREAS, the Solana Beach Fire Department received a grant through the State Homeland Security Program (SHSP) in the amount of \$7,788 for the purchase of a ventilation fan and related accessories; and

WHEREAS, the California Governor's Office of Emergency Services Standard Assurances for Cal OES Federal Non-Disaster Grant Program document needs to be executed in order to receive these grant funds.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts \$7,788 in federal funds from a 2024 State Homeland Security Program grant awarded to the City of Solana Beach for the purchase of a ventilation fan and related accessories.
3. That the City Council authorizes the City Manager, or her designee, to sign and submit the required California Governor's Office of Emergency Services Standard Assurances for Cal OES Federal Non-Disaster Grant Program document and any other documents necessary to receive the grant funds.
4. That the City Council authorizes the budget amendment of \$7,788 to the Misc. Grants expenditure account for the Fire Department, in the Public Safety Special Revenue Fund.

5. That the City Council authorizes the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.

PASSED AND ADOPTED this 21st day of May 2025 at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers -
NOES: Councilmembers -
ABSTAIN: Councilmembers -
ABESENT: Councilmembers -

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



County of San Diego Office of Emergency Services
5580 Overland Ave., Suite 100
San Diego, CA 92123 -1251
Phone: (858) 565-3490 Fax: (858) 565-3499



April 29, 2025

City of Solana Beach
505 S Vulcan Ave
Encinitas, CA 92024

SUBJECT: NOTIFICATION OF FEDERAL FUNDING AWARD
FY 2024 Homeland Security Grant Program (HSGP)
Subaward #2024-0088, Cal OES ID #073-00000

The purpose of this letter is to notify you that the County of San Diego Office of Emergency Services has approved your **FY2024 SHSP** award in the amount of **\$7,788** as listed below:

Subrecipient Name:	City of Solana Beach
Subrecipient UEI:	EMJQMZFR49P9
Federal Award ID (FAIN)	EMW-2024-SS-05088
Subaward Period of Performance:	09/01/24 to 05/31/26
Subrecipient Award Amount:	\$7,788
Federal Award Project Description:	Implementation of homeland security management grant to support state, local, tribal and territorial efforts to prevent terrorism and other catastrophic events.
Federal Awarding Agency:	US Department of Homeland Security
CFDA Number:	97.067/Homeland Security Grant Program
Research & Development Award (Y/N):	No
Indirect Cost Rate:	N/A
Match Requirement:	N/A

This grant award is subject to all provisions of Uniform Guidance (2 CFR Part 200), which can be accessed at www.ecfr.gov. Non-federal entities that expend \$1,000,000 or more annually in Federal Awards must have a Single Audit performed each year. Please forward a copy of your most current Single Audit report to the contact below.

Subrecipients are to comply with all applicable federal, state, and local Environmental Planning and Historic Preservation (EHP) requirements. Additionally, Aviation/Watercraft requests, Establish/Enhance Emergency Operations Center projects, projects requiring EHP review, and Noncompetitive Procurement requests require additional approvals. Subrecipients must obtain written approval for these activities prior to incurring any costs, in order to be reimbursed for any related costs under this Grant Subaward. Subrecipients are also required to obtain a Performance Bond prior to the purchase of any equipment item over \$250,000, including any Aviation or Watercraft financed with Homeland Security dollars. Performance Bonds must be submitted to the contact below no later than the time of reimbursement.

Please complete and return the attached OES Grant Management Assessment Questionnaire, 2024 Grant Assurances and Signature Authorization Form, current Procurement Policies and Salvage Guidelines.



County of San Diego Office of Emergency Services
5580 Overland Ave., Suite 100
San Diego, CA 92123 -1251
Phone: (858) 565-3490 Fax: (858) 565-3499



Your performance period ends May 31, 2026. Please submit your reimbursement requests no later than June 30, 2026.

For further assistance, please contact Stephanie Han at (619) 708-1824, Stephanie.Han@sdcounty.ca.gov or Ron Cacho at (619) 806-9077, Ronjuliang.Cacho@sdcounty.ca.gov.

Sincerely,

Martin.Kurian@
sdcounty.ca.gov

Digitally signed by
Martin.Kurian@sdcounty.ca.gov
Date: 2025.04.29 08:33:12
-07'00'

Martin Kurian, Finance Officer
County of San Diego, Office of Emergency Services

Attachments: OES Grant Management Assessment Questionnaire
2024 Grant Assurances
SHSP 2024 Approved FMFW



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

As the duly authorized representative of the Applicant, I hereby certify that the Applicant has the legal authority to apply for federal assistance and the institutional, managerial, and financial capability (including funds sufficient to pay any non-federal share of project cost) to ensure proper planning, management, and completion of the project described in this application, within prescribed timelines.

The requirements outlined in these assurances apply to Applicant and any of its subrecipients.

I further acknowledge that the Applicant is responsible for reviewing and adhering to all requirements within the:

- (a) Applicable Federal Regulations (see below);
- (b) Federal Program Notice of Funding Opportunity (NOFO);
- (c) Federal Preparedness Grants Manual;
- (d) California Supplement to the NOFO; and
- (e) Federal and State Grant Program Guidelines.

Federal Regulations

Government cost principles, uniform administrative requirements, and audit requirements for federal grant programs are set forth in Title 2, Part 200 of the Code of Federal Regulations (C.F.R.) and adopted by the Department of Homeland Security (DHS) at 2 C.F.R. Part 3002.10. Updates are issued by the [Office of Management and Budget \(OMB\)](http://www.whitehouse.gov/omb/) and can be found at <http://www.whitehouse.gov/omb/>.

In the event Cal OES determines that changes are necessary to the subaward after a subaward has been made, including changes to period of performance or terms and conditions, Applicants will be notified of the changes in writing. Once notification has been made, any subsequent request for funds will indicate Applicant acceptance of the changes to the subaward.

State and federal grant award requirements are set forth below. The Applicant hereby agrees to comply with the following:

1. Proof of Authority

The Applicant will obtain proof of authority from the city council, governing board, or authorized body in support of this project. This written authorization must specify that the Applicant and the city council, governing board, or authorized body agree:



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

- (a) To provide all matching funds required for the grant project and that any cash match will be appropriated as required;
- (b) Any liability arising out of the performance of this agreement shall be the responsibility of the Applicant and the city council, governing board, or authorized body;
- (c) Grant funds shall not be used to supplant expenditures controlled by the city council, governing board, or authorized body;
- (d) The Applicant is authorized by the city council, governing board, or authorized body to apply for federal assistance, and the institutional, managerial and financial capability (including funds sufficient to pay the non-federal share of project cost, if any) to ensure proper planning, management and completion of the project described in this application; and
- (e) The official executing this agreement is authorized by the Applicant.

This Proof of Authority must be maintained on file and readily available upon request.

2. Period of Performance

The period of performance is specified in the Award. The Applicant is only authorized to perform allowable activities approved under the award, within the period of performance.

3. Lobbying and Political Activities

As required by Section 1352, Title 31 of the United States Code (U.S.C.), for persons entering into a contract, grant, loan, or cooperative agreement from an agency or requests or receives from an agency a commitment providing for the United States to insure or guarantee a loan, the Applicant certifies that:

- (a) No federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of an agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any federal grant, the making of any federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any federal contract, grant, loan, or cooperative agreement.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

- (b) If any funds other than federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying", in accordance with its instructions.
- (c) The Applicant shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

The Applicant will also comply with provisions of the Hatch Act (5 U.S.C. §§ 1501- 1508 and §§ 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with federal funds.

Finally, the Applicant agrees that federal funds will not be used, directly or indirectly, to support the enactment, repeal, modification or adoption of any law, regulation, or policy without the express written approval from the California Governor's Office of Emergency Services (Cal OES) or the federal awarding agency.

4. Debarment and Suspension

As required by Executive Orders 12549 and 12689, and 2 C.F.R. § 200.214 and codified in 2 C.F.R. Part 180, Debarment and Suspension, the Applicant will provide protection against waste, fraud, and abuse by debarring or suspending those persons deemed irresponsible in their dealings with the federal government. The Applicant certifies that it and its subrecipients:

- (a) Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any federal department or agency;
- (b) Have not within a three-year period preceding this application been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (federal, state, or local) transaction or contract under a public transaction; violation of federal or state antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

- (c) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (federal, state, or local) with commission of any of the offenses enumerated in paragraph (4)(b) of this certification; and
- (d) Have not within a three-year period preceding this application had one or more public transaction (federal, state, or local) terminated for cause or default.

Where the Applicant is unable to certify to any of the statements in this certification, he or she shall attach an explanation to this application.

5. Non-Discrimination and Equal Employment Opportunity

The Applicant will comply with all state and federal statutes relating to non-discrimination, including:

- (a) Title VI of the Civil Rights Act of 1964 (Public Law (P.L.) 88-352 and 42 U.S.C. § 2000d et. seq.) which prohibits discrimination on the basis of race, color, or national origin and requires that recipients of federal financial assistance take reasonable steps to provide meaningful access to persons with limited English proficiency (LEP) to their programs and services;
- (b) Title IX of the Education Amendments of 1972, (20 U.S.C. §§ 1681-1683, and 1685-1686), which prohibits discrimination on the basis of sex in any federally funded educational program or activity;
- (c) Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794), which prohibits discrimination against those with disabilities or access and functional needs;
- (d) Americans with Disabilities Act (ADA) of 1990 (42 U.S.C. § 12101 et seq.), which prohibits discrimination on the basis of disability and requires buildings and structures be accessible to those with disabilities and access and functional needs;
- (e) Age Discrimination Act of 1975, (42 U.S.C. §§ 6101-6107), which prohibits discrimination on the basis of age;
- (f) Public Health Service Act of 1912 (42 U.S.C. §§ 290 dd—2), relating to confidentiality of patient records regarding substance abuse treatment;
- (g) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. § 3601 et seq.), relating to nondiscrimination in the sale, rental or financing of housing as implemented by the Department of Housing and Urban Development at 24 C.F.R. Part 100. The prohibition on disability discrimination includes the requirement that new multifamily housing with four or more dwelling units — i.e., the public and common use areas and individual apartment units (all units in buildings with elevators and ground-floor units in buildings without elevators) — be designed and constructed with certain accessible features (See 24 C.F.R. § 100.201);



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

- (h) Executive Order 11246, which prohibits federal contractors and federally assisted construction contractors and subcontractors, who do over \$10,000 in Government business in one year from discriminating in employment decisions on the basis of race, color, religion, sex, sexual orientation, gender identification or national origin;
- (i) Executive Order 11375, which bans discrimination on the basis of race, color, religion, sex, sexual orientation, gender identification, or national origin in hiring and employment in both the United States federal workforce and on the part of government contractors;
- (j) California Public Contract Code § 10295.3, which prohibits discrimination based on domestic partnerships and those in same sex marriages;
- (k) DHS policy to ensure the equal treatment of faith-based organizations, under which the Applicant must comply with equal treatment policies and requirements contained in 6 C.F.R. Part 19;
- (l) The California's Fair Employment and Housing Act (FEHA) (California Government Code §§12940-12957), as applicable. FEHA prohibits harassment and discrimination in employment because of ancestry, familial status, race, color, religious creed (including religious dress and grooming practices), sex (which includes pregnancy, childbirth, breastfeeding and medical conditions related to pregnancy, childbirth or breastfeeding), gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, mental and physical disability, genetic information, medical condition, age, pregnancy, denial of medical and family care leave, or pregnancy disability leave, military and veteran status, and/or retaliation for protesting illegal discrimination related to one of these categories, or for reporting patient abuse in tax supported institutions;
- (m) Any other nondiscrimination provisions in the specific statute(s) under which application for federal assistance is being made; and
- (n) The requirements of any other nondiscrimination statute(s) that may apply to this application.

[Civil Rights Policies for Program Beneficiaries and Subrecipients](#) of DHS funding, pertaining to the following are available on the Cal OES website:

- Non-discrimination in Programs & Services
- Reasonable Accommodation for Program Beneficiaries
- Language Access Policy



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

6. Drug-Free Workplace

As required by the Drug-Free Workplace Act of 1988 (41 U.S.C. § 701 et seq.), the Applicant certifies that it will maintain a drug-free workplace and a drug-free awareness program as outlined in the Act.

7. Environmental Standards

The Applicant will comply with state and federal environmental standards, including:

- (a) The California Environmental Quality Act (CEQA) (California Public Resources Code §§ 21000-21177), to include coordination with the city or county planning agency;
- (b) CEQA Guidelines (California Code of Regulations, Title 14, Division 6, Chapter 3, §§ 15000-15387);
- (c) The Federal Clean Water Act (CWA) (33 U.S.C. § 1251 et seq.), which establishes the basic structure for regulating discharges of pollutants into the waters of the United States and regulating quality standards for surface waters;
- (d) The Federal Clean Air Act of 1955 (42 U.S.C. § 7401) which regulates air emissions from stationary and mobile sources;
- (e) Institution of environmental quality control measures under the National Environmental Policy Act (NEPA) of 1969 (P.L. 91-190); the Council on Environmental Quality Regulations for Implementing the Procedural Provisions of NEPA; and Executive Order 12898 which focuses on the environmental and human health effects of federal actions on minority and low-income populations with the goal of achieving environmental protection for all communities;
- (f) Evaluation of flood hazards in floodplains in accordance with Executive Order 11988;
- (g) Executive Order 11514 which sets forth national environmental standards;
- (h) Executive Order 11738 instituted to assure that each federal agency empowered to enter into contracts for the procurement of goods, materials, or services and each federal agency empowered to extend federal assistance by way of grant, loan, or contract shall undertake such procurement and assistance activities in a manner that will result in effective enforcement of the Clean Air Act and the Federal Water Pollution Control Act Executive Order 11990 which requires preservation of wetlands;
- (i) The Safe Drinking Water Act of 1974, (P.L. 93-523);
- (j) The Endangered Species Act of 1973, (P.L. 93-205);



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

- (k) Assurance of project consistency with the approved state management program developed under the Coastal Zone Management Act of 1972 (16 U.S.C. §§1451 et seq.);
- (l) Conformity of Federal Actions to State (Clear Air) Implementation Plans under Section 176(c) of the Clean Air Act of 1955, as amended (42 U.S.C. §§7401 et seq.); and
- (m) The Wild and Scenic Rivers Act of 1968 (16 U.S.C. § 1271 et seq.) related to protecting components or potential components of the national wild and scenic rivers system.

The Applicant shall not be: 1) in violation of any order or resolution promulgated by the State Air Resources Board or an air pollution district; 2) subject to a cease-and-desist order pursuant to section 13301 of the California Water Code for violation of waste discharge requirements or discharge prohibitions; or 3) determined to be in violation of federal law relating to air or water pollution.

8. Audits

For subrecipients expending \$1,000,000 or more in federal grant funds annually, the Applicant will perform the required financial and compliance audits in accordance with the Single Audit Act Amendments of 1996 and C.F.R., Part 200, Subpart F Audit Requirements.

9. Cooperation and Access to Records

The Applicant must cooperate with any compliance reviews or investigations conducted by DHS. In accordance with 2 C.F.R. § 200.337, the Applicant will give the awarding agency, the Comptroller General of the United States and, if appropriate, the state, through any authorized representative, access to and the right to examine all records, books, papers, or documents related to the award. The Applicant will require any subrecipients, contractors, successors, transferees and assignees to acknowledge and agree to comply with this provision.

10. Conflict of Interest

The Applicant will establish safeguards to prohibit the Applicant's employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.

11. Financial Management

False Claims for Payment - The Applicant will comply with 31 U.S.C §§ 3729-3733 which provides that Applicant shall not submit a false claim for payment, reimbursement, or advance.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

12. Reporting - Accountability

The Applicant agrees to comply with applicable provisions of the Federal Funding Accountability and Transparency Act (FFATA) (P.L. 109-282), including but not limited to (a) the reporting of subawards obligating \$30,000 or more in federal funds, and (b) executive compensation data for first-tier subawards as set forth in 2 C.F.R. Part 170, Appendix A. The Applicant also agrees to comply with the requirements set forth in the government-wide financial assistance award term regarding the System for Award Management and Universal Identifier Requirements located at 2 C.F.R. Part 25, Appendix A.

13. Whistleblower Protections

The Applicant must comply with statutory requirements for whistleblower protections at 10 U.S.C. § 2409, 41 U.S.C. § 4712, and 10 U.S.C. § 2324, 41 U.S.C. § 4304 and § 4310.

14. Human Trafficking

The Applicant will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act of 2000, as amended (22 U.S.C. § 7104) which prohibits the Applicant or its subrecipients from: (1) engaging in trafficking in persons during the period of time that the award is in effect; (2) procuring a commercial sex act during the period of time that the award is in effect; or (3) using forced labor in the performance of the award or subawards under the award.

15. Labor Standards

The Applicant will comply with the following federal labor standards:

- (a) The Davis-Bacon Act (40 U.S.C. §§ 276a to 276a-7), as applicable, and the Copeland Act (40 U.S.C. § 3145 and 18 U.S.C. § 874) and the Contract Work Hours and Safety Standards Act (40 U.S.C. §§ 327-333), regarding labor standards for federally-assisted construction contracts or subcontracts, and
- (b) The Federal Fair Labor Standards Act (29 U.S.C. § 201 et seq.) as they apply to employees of institutes of higher learning (IHE), hospitals and other non-profit organizations.

16. Worker's Compensation

The Applicant must comply with provisions which require every employer to be insured to protect workers who may be injured on the job at all times during the performance of the work of this Agreement, as per the workers compensation laws set forth in California Labor Code §§ 3700 et seq.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

17. Property-Related

If applicable to the type of project funded by this federal award, the Applicant will:

- (a) Comply with the requirements of Titles II and III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (P.L. 91-646) which provide for fair and equitable treatment of persons displaced or whose property is acquired as a result of federal or federally-assisted programs. These requirements apply to all interests in real property acquired for project purposes regardless of federal participation in purchase;
- (b) Comply with flood insurance purchase requirements of Section 102(a) of the Flood Disaster Protection Act of 1973 (P.L. 93-234) which requires federal award subrecipients in a special flood hazard area to participate in the program and to purchase flood insurance if the total cost of insurable construction and acquisition is \$10,000 or more;
- (c) Assist the awarding agency in assuring compliance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. § 470), Executive Order 11593 (identification and protection of historic properties), and the Archaeological and Historic Preservation Act of 1974 (16 U.S.C. § 469a-1 et seq.); and
- (d) Comply with the Lead-Based Paint Poisoning Prevention Act (42 U.S.C. § 4831 and 24 CFR Part 35) which prohibits the use of lead-based paint in construction or rehabilitation of residence structures.

18. Certifications Applicable Only to Federally-Funded Construction Projects

For all construction projects, the Applicant will:

- (a) Not dispose of, modify the use of, or change the terms of the real property title or other interest in the site and facilities without permission and instructions from the awarding agency. Will record the federal awarding agency directives and will include a covenant in the title of real property acquired in whole or in part with federal assistance funds to assure nondiscrimination during the useful life of the project;
- (b) Comply with the requirements of the awarding agency with regard to the drafting, review and approval of construction plans and specifications; and
- (c) Provide and maintain competent and adequate engineering supervision at the construction site to ensure that the complete work conforms with the approved plans and specifications and will furnish progressive reports and such other information as may be required by the assistance awarding agency or State.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

19. Use of Cellular Device While Driving is Prohibited

The Applicant is required to comply with California Vehicle Code sections 23123 and 23123.5. These laws prohibit driving motor vehicle while using an electronic wireless communications device to write, send, or read a text-based communication. Drivers are also prohibited from the use of a wireless telephone without hands-free listening and talking, unless to make an emergency call to 911, law enforcement, or similar services.

20. California Public Records Act and Freedom of Information Act

The Applicant acknowledges that all information submitted in the course of applying for funding under this program, or provided in the course of an entity's grant management activities that are under Federal control, is subject to the Freedom of Information Act (FOIA), 5 U.S.C. § 552, and the California Public Records Act, California Government Code §7920.000 et seq. The Applicant should consider these laws and consult its own State and local laws and regulations regarding the release of information when reporting sensitive matters in the grant application, needs assessment, and strategic planning process.

21. Acknowledgment of Federal Funding from DHS

The Applicant must acknowledge its use of federal funding when issuing statements, press releases, requests for proposals, bid invitations, and other documents describing projects or programs funded in whole or in part with federal funds.

22. Activities Conducted Abroad

The Applicant must coordinate with appropriate government authorities when performing project activities outside the United States and obtain all appropriate licenses, permits, or approvals.

23. Best Practices for Collection and Use of Personally Identifiable Information (PII)

DHS defines PII as any information that permits the identity of an individual to be directly or indirectly inferred, including any information that is linked or linkable to that individual. If the Applicant collects PII, the Applicant is required to have a publicly-available privacy policy that describes standards on the usage and maintenance of the PII they collect. The Applicant may refer to the DHS Privacy Impact Assessments: Privacy Guidance and Privacy Template as a useful resource.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

24. Copyright

Recipients must affix the applicable copyright notices of 17 U.S.C. §§ 401 or 402 to any work first produced under federal awards and also include an acknowledgement that the work was produced under a federal award (including the federal award number and federal awarding agency). As detailed in 2 C.F.R. § 200.315, a federal awarding agency reserves a royalty-free, nonexclusive, and irrevocable right to reproduce, publish, or otherwise use the work for federal purposes and to authorize others to do so.

25. Duplicative Costs

Applicants are prohibited from charging any cost to this federal award that will be included as a cost or used to meet cost sharing or matching requirements of any other federal award in either the current or a prior budget period. (See 2 C.F.R. § 200.403(f)). However, recipients may shift costs that are allowable under two or more federal awards where otherwise permitted by federal statutes, regulations, or the federal financial assistance award terms and conditions.

26. Energy Policy and Conservation Act

The Applicant must comply with the requirements of 42 U.S.C. § 6201 which contain policies relating to energy efficiency that are defined in the state energy conservation plan issued in compliance with this Act.

27. Federal Debt Status

The Applicant is required to be non-delinquent in its repayment of any federal debt. Examples of relevant debt include delinquent payroll and other taxes, audit disallowances, and benefit overpayments. See OMB Circular A-129.

28. Fly America Act of 1974

The Applicant must comply with Preference for United States Flag Air Carriers: (a list of certified air carriers can be found at: Certificated Air Carriers List | US Department of Transportation, <https://www.transportation.gov/policy/aviation-policy/certificated-air-carriers-list>) for international air transportation of people and property to the extent that such service is available, in accordance with the International Air Transportation Fair Competitive Practices Act of 1974 (49 U.S.C. § 40118) and the interpretative guidelines issued by the Comptroller General of the United States in the March 31, 1981, amendment to Comptroller General Decision B-138942.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

29. Hotel and Motel Fire Safety Act of 1990

In accordance with Section 6 of the Hotel and Motel Fire Safety Act of 1990, the Applicant must ensure that all conference, meeting, convention, or training space funded in whole or in part with federal funds complies with the fire prevention and control guidelines of the Federal Fire Prevention and Control Act of 1974, as amended, 15 U.S.C. § 2225a.

30. Non-supplanting Requirement

If the Applicant receives federal financial assistance awards made under programs that prohibit supplanting by law, the Applicant must ensure that federal funds do not replace (supplant) funds that have been budgeted for the same purpose through non-federal sources.

31. Patents and Intellectual Property Rights

Recipients are subject to the Bayh-Dole Act, 35 U.S.C. § 200 et seq. and applicable regulations governing inventions and patents, including the regulations issued by the Department of Commerce at 37 C.F.R. Part 401 (Rights to Inventions Made by Nonprofit Organizations and Small Business Firms under Government Awards, Contracts, and Cooperative Agreements) and the standard patent rights clause set forth at 37 C.F.R. § 401.14.

32. SAFECOM

If the Applicant receives federal financial assistance awards made under programs that provide emergency communication equipment and its related activities, the Applicant must comply with the SAFECOM Guidance for Emergency Communication Grants, including provisions on technical standards that ensure and enhance interoperable communications.

33. Terrorist Financing

The Applicant must comply with Executive Order 13224 and United States law that prohibit transactions with, and the provisions of resources and support to, individuals and organizations associated with terrorism. The Applicant is legally responsible for ensuring compliance with the Order and laws.

34. Reporting of Matters Related to Recipient Integrity and Performance

If the total value of the Applicant's currently active grants, cooperative agreements, and procurement contracts from all federal assistance offices exceeds \$10,000,000 for any period of time during the period of performance of this federal financial assistance award, the Applicant must comply with the requirements set forth in the



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

government-wide Award Term and Condition for Recipient Integrity and Performance Matters located at 2 C.F.R. Part 200, Appendix XII, the full text of which is incorporated here by reference in the award terms and conditions.

35. USA Patriot Act of 2001

The Applicant must comply with requirements of the Uniting and Strengthening America by Providing Appropriate Tools Required to Intercept and Obstruct Terrorism Act (USA PATRIOT Act), which amends 18 U.S.C. §§ 175–175c.

36. Use of DHS Seal, Logo, and Flags

The Applicant must obtain written permission from DHS prior to using the DHS seals, logos, crests, or reproductions of flags, or likenesses of DHS agency officials. This includes use of DHS component (e.g., FEMA, CISA, etc.) seals, logos, crests, or reproductions of flags, or likenesses of component officials.

37. Performance Goals (HSGP and NSGP)

In addition to the Biannual Strategy Implementation Report submission requirements outlined in the Preparedness Grants Manual, the Applicant must demonstrate how the grant-funded project addresses the core capability gap associated with each project. The capability gap reduction must be addressed in the Project Description of the BSIR for each project.

38. Applicability of DHS Standard Terms and Conditions to Tribes

The DHS Standard Terms and Conditions are a restatement of general requirements imposed upon the Applicant and flow down to any of its subrecipients as a matter of law, regulation, or executive order. If the requirement does not apply to Indian tribes or there is a federal law or regulation exempting its application to Indian tribes, then the acceptance by Tribes of, or acquiescence to, DHS Standard Terms and

Conditions does not change or alter its inapplicability to an Indian tribe. The execution of grant documents is not intended to change, alter, amend, or impose additional liability or responsibility upon the Tribe where it does not already exist.

39. Required Use of American Iron, Steel, Manufactured Products, and Construction Materials

The Applicant must comply with the “Build America, Buy America” Act (BABAA), enacted as part of the Infrastructure Investment and Jobs Act and Executive Order 14005. Applicants receiving a federal award subject to BABAA requirements may not use federal financial assistance funds for infrastructure projects unless:



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

- (a) All iron and steel used in the project are produced in the United States – this means all manufacturing processes, from the initial melting stage through the application of coatings, occurred in the United States;
- (b) All manufactured products used in the project are produced in the United States – this means the manufactured product was manufactured in the United States; and the cost of the components of the manufactured product that are mined, produced, or manufactured in the United States is greater than 55 percent of the total cost of all components of the manufactured product, unless another standard for determining the minimum amount of domestic content of the manufactured product has been established under applicable law or regulation; and
- (c) All construction materials are manufactured in the United States – this means that all manufacturing processes for the construction material occurred in the United States.

The “Buy America” preference only applies to articles, materials, and supplies that are consumed in, incorporated into, or affixed to an infrastructure project. It does not apply to tools, equipment, and supplies, such as temporary scaffolding, brought to the construction site and removed at or before the completion of the infrastructure project. Nor does a Buy America preference apply to equipment and furnishings, such as movable chairs, desks, and portable computer equipment, that are used at or within the finished infrastructure project but are not an integral part of the structure or permanently affixed to the infrastructure project.

Per section 70914(c) of BABAA, FEMA may waive the application of a Buy America preference under an infrastructure program in certain cases.

40. E.O. 14074 – Advancing Effective, Accountable Policing and Criminal Justice Practices to Enhance Public Trust and Public Safety

Recipient State, Tribal, local, or territorial law enforcement agencies must comply with the requirements of section 12(c) of E.O. 14074. Recipient State, Tribal, local, or territorial law enforcement agencies are also encouraged to adopt and enforce policies consistent with E.O. 14074 to support safe and effective policing.



FY 2024 Standard Assurances For Cal OES Federal Non-Disaster Preparedness Grant Programs

IMPORTANT

The purpose of these assurances is to obtain federal and state financial assistance, including any and all federal and state grants, loans, reimbursement, contracts, etc. Applicant recognizes and agrees that state financial assistance will be extended based on the representations made in these assurances. These assurances are binding on Applicant, its successors, transferees, assignees, etc. as well as any of its subrecipients. Failure to comply with any of the above assurances may result in suspension, termination, or reduction of grant funds.

All appropriate documentation, as outlined above, must be maintained on file by the Applicant and available for Cal OES or public scrutiny upon request. Failure to comply with these requirements may result in suspension of payments under the grant or termination of the grant or both and the Applicant may be ineligible for award of any future grants if Cal OES determines that the Applicant: (1) has made false certification, or (2) violates the certification by failing to carry out the requirements as noted above.

All of the language contained within this document must be included in the award documents for all subawards at all tiers. Applicants are bound by the DHS Standard Terms and Conditions 2024, Version 2, hereby incorporated by reference, which can be found at: <https://www.dhs.gov/publication/fy15-dhs-standard-terms-and-conditions>.

The undersigned represents that he/she is authorized to enter into this agreement for and on behalf of the Applicant.

Applicant: City of Solana Beach

Signature of Authorized Agent: _____

Printed Name of Authorized Agent: Alyssa Muto

Title: City Manager Date: _____

FY 2024 STATE HOMELAND SECURITY PROGRAM (SHSP) GRANT ALLOCATION PROPOSAL									
JURISDICTION	FY2023 Approved Formula with Award			FY2024 - FINAL					
	LE - 30% of FY23 Allocation	Non-LE Allocation	TOTAL	Sworn LE Personnel Figures (2023)	LE - 35% of FY24 Allocation	Non-LE Population (2023)	Non-LE Allocation	TOTAL	% Change from FY2023 to FY2024
2-1-1 SAN DIEGO CONTRACT		100,000	100,000				100,000	100,000	0.00%
AlertSanDiego		350,000	350,000				350,000	350,000	0.00%
COUNTY DEPTS									
UDC SHARE		102,357	102,357	-		-	161,857	161,857	58.13%
M&A (5%)		160,535	160,535	-		-	141,524	141,524	-11.84%
HHSA-EMS		80,000	80,000	-			80,000	80,000	0.00%
OES		727,301	727,301	-		-	503,217	503,217	-30.81%
SHERIFF	438,676	-	438,676	2,460	424,795	-	-	424,795	-3.16%
TOTAL COUNTY DEPTS	438,676	1,070,193	1,508,869	2,460	424,795	-	886,598	1,311,393	-13.09%
CITIES	LE - 30% of FY23 Allocation	Non-LE Allocation	TOTAL	Sworn LE Personnel Figures (2023)	LE - 35% of FY24 Allocation	Non-LE Population (2023)	Non-LE Allocation	TOTAL	% Change from FY2023 to FY2024
CARLSBAD	20,988	44,776	65,764	132	22,794	114,549	29,980	52,774	-19.75%
CHULA VISTA	44,520	100,248	144,768	281	48,523	274,784	64,922	113,445	-21.64%
CORONADO	7,314	12,666	19,980	46	7,943	22,150	9,830	17,773	-11.05%
DEL MAR	-	6,352	6,352	-	-	3,903	5,851	5,851	-7.89%
EL CAJON	19,557	41,353	60,910	124	21,412	104,619	27,815	49,227	-19.18%
ENCINITAS	-	26,169	26,169	-	-	61,085	18,321	18,321	-29.99%
ESCONDIDO	25,281	56,853	82,134	159	27,456	149,799	37,668	65,124	-20.71%
ESCONDIDO RINCON DEL DIABLO	-	4,626	4,626	-	-	13,175	2,873	2,873	-37.89%
IMPERIAL BEACH	-	14,031	14,031	-	-	25,864	10,640	10,640	-24.17%
LA MESA	11,130	25,810	36,940	70	12,088	60,418	18,176	30,264	-18.07%
LEMON GROVE	-	14,375	14,375	-	-	27,420	10,980	10,980	-23.62%
NATIONAL CITY	13,992	26,154	40,146	88	15,196	60,974	18,297	33,493	-16.57%
NATIONAL CITY - LINCOLN ACRES	-	534	534	-	-	1,530	335	335	-37.27%
OCEANSIDE	35,775	64,550	100,325	219	37,817	171,063	42,305	80,122	-20.14%
POWAY	-	21,779	21,779	-	-	48,483	15,573	15,573	-28.50%
SAN DIEGO	323,721	-	323,721	2,036	351,578	-	-	351,578	8.61%
SAN MARCOS	-	37,205	37,205	-	-	94,530	25,615	25,615	-31.15%
SAN MARCOS FPD	-	4,946	4,946	-	-	14,889	3,247	3,247	-34.35%
SANTEE	-	25,309	25,309	-	-	59,227	17,916	17,916	-29.21%
SOLANA BEACH	-	9,409	9,409	-	-	12,784	7,788	7,788	-17.23%
VISTA	-	39,513	39,513	-	-	99,835	26,772	26,772	-32.25%
VISTA FPD	-	7,033	7,033	-	-	20,570	4,486	4,486	-36.21%
TOTAL CITIES	502,278	583,691	1,085,969	3,155	544,807	1,441,651	399,390	944,197	-13.05%
FIRE DISTRICTS/OTHER									
ALPINE FPD		10,351	10,351	-	-	15,550	8,391	8,391	-18.94%
DEER SPRINGS FPD		9,204	9,204	-	-	12,216	7,664	7,664	-16.73%
LAKESIDE FPD		26,766	26,766	-	-	63,251	18,794	18,794	-29.78%
NORTH COUNTY FPD		22,375	22,375	-	-	50,489	16,010	16,010	-28.45%
PORT OF SAN DIEGO	22,260	-	22,260	122	21,067	-	-	21,067	-5.36%
RANCHO SANTA FE FPD		17,080	17,080	-	-	35,103	12,655	12,655	-25.91%
SAN MIGUEL FPD		47,360	47,360	-	-	123,095	31,844	31,844	-32.76%
VALLEY CENTER FPD		10,473	10,473	-	-	15,904	8,468	8,468	-19.14%
TOTAL FIRE DISTRICTS/OTHER	22,260	143,609	165,869	122	21,067	315,608	103,826	124,893	-24.70%
TOTAL ALLOCATIONS	963,213	2,247,493	3,210,706	5,737	990,669	1,757,259	1,839,814	2,830,483	-11.84%

Notes:

***Personnel Cap:** Each jurisdiction's allocation has a personnel cap of 50%.

***San Diego Sheriff includes:** Unincorporated San Diego County and the contracted cities of Del Mar, Encinitas, Imperial Beach, Lemon Grove, Poway, San Marcos, Santee, Solana Beach and Vista.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Community Development Department - Katie Benson, Senior Planner
SUBJECT: **Continued Public Hearing: Request for a DRP and SDP to Construct One Single-Family Residence and Perform Associated Site Improvements on the North Lot and a DRP and SDP to Construct One Single-Family Residence and Perform Associated Site Improvements on the South Lot at 615 North Granados Avenue (Applicant: DMIG 615 Granados LLC; Application: DRP23-011/SDP23-015 (North Lot), and DRP23-012/SDP23-016 (South Lot); APN: 263-082-17; Resolution No. 2025-019 and 2025-020**

BACKGROUND:

The project proposed by the Applicant, DMIG 615 Granados LLC (c/o Ryan Gad, Heritage West Development), includes a Minor Subdivision Tentative Parcel Map, two (2) Development Review Permits (DRP), and two (2) Structure Development Permits (SDP) to demolish the existing residence and all existing improvements; subdivide the property into two single-family lots (North Lot and South Lot); construct a two-story single-family residence with an attached two-car garage on each proposed lot; and perform associated site improvements including grading, hardscape, drainage, landscape, frontage, a pool and spa, fire pit, and a barbeque on each lot.

The project was originally heard by the City Council on April 9, 2025. The April 9, 2025 Staff Report, associated documents, and video of the meeting, can be found on the City's website: <https://www.cityofsolanabeach.org/en/city-council-meetings>. On April 9, 2025, after opening the Public Hearing and receiving testimony from the Applicant and public, the City Council moved to approve the Applicant's request for the Minor Subdivision and adopted Resolution 2025-018.

However, concerns were shared by the City Council and the public regarding the proposed developments for each new lot and the consistency with Development Review Criteria. Council members shared particular concern regarding the projection of the

CITY COUNCIL ACTION:

western leading edge of the main (second) floor of both residences. Council members found the proposed residences to be inconsistent with the development pattern and westward projection of other west side properties located on that block of North Granados Avenue. Council members also shared concerns with the proposed landscaping located along the property lines and the potential view impairment the plantings could cause at maturity.

At the Applicant's request, the City Council moved to continue the Public Hearing, date-certain, to the May 7, 2025 City Council meeting, to allow for further coordination with the community. The Applicant subsequently requested additional time for the preparation and Staff review of the revised project design and landscaping plans. At the May 7, 2025 City Council meeting, the City Council moved to continue the Public Hearing, date-certain, to Wednesday, May 21, 2025.

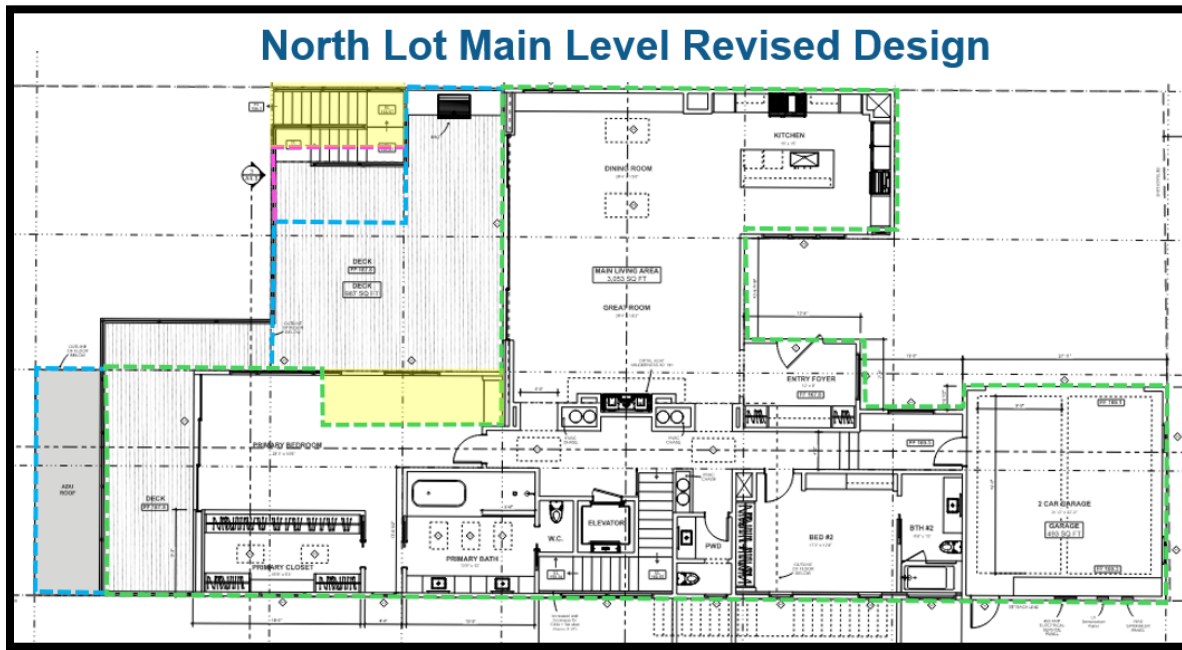
The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request for: a DRP (DRP23-011) and SDP (SDP23-015) for the North Lot as contained in Resolution 2025-019 (Attachment 1); and a DRP (DRP23-012) and SDP (SDP23-016) for the South Lot, as contained in Resolution 2025-020 (Attachment 2). The revised project plans are included in Attachment 3.

DISCUSSION:

The Applicant submitted a revised design in response to the concerns raised previously by the Council and members of the public both at hearing and through subsequent site visits and communication. The primary changes proposed by the Applicant include pulling back the western leading edge of the main level primary bedrooms on both lots, associated reconfiguration of the floor plans, and alternative privacy plantings proposed along the side property lines. The updated project plans are included in Attachment 3, and an explanation of changes provided by the Applicant is included in Attachment 4.

North Lot Changes

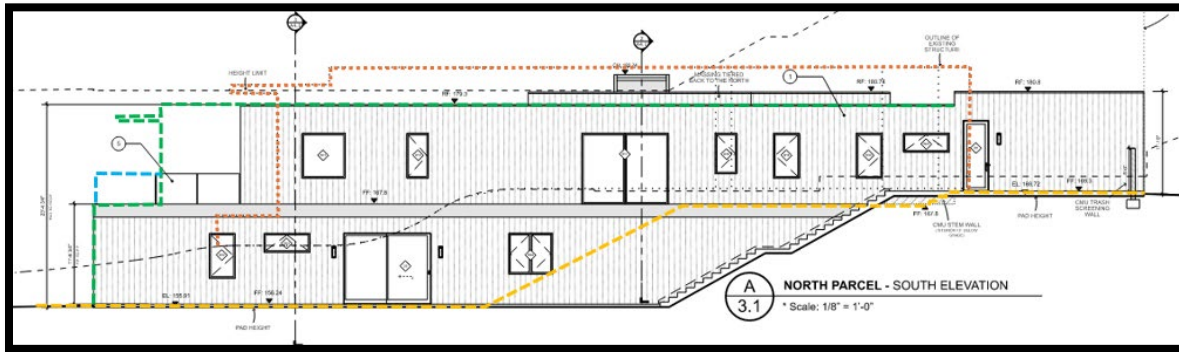
This western leading edge of the primary bedroom on the North Lot was pulled back by nine feet, one inch from the original proposal (4/9/2025) and beyond the roof eave of the existing residence by eliminating the laundry room from the main level to the lower level and shifting the primary suite, interior stairwell, and primary suite deck to the east. The Applicant also reconfigured the floor area of the primary bedroom, shifted the exterior deck stairway to the north setback, and connected the main deck and primary suite deck. The revised main level floor plan of the North Lot is provided on the following page. The footprint of the originally proposed (4/9/2025) main level is outlined in green, the decks are shown in blue, and the exterior staircase is shown in pink. Areas outside of the story pole envelope are highlighted in yellow and explained further later in this report.



With the proposed changes, the gross floor area of the main level living area would decrease by 91 square feet, the lower level living area would increase by 286 square feet, and the total proposed floor area of the North Lot would increase by 195 square feet from the original design. The main level deck would be setback approximately 91 feet and the primary bedroom would be setback approximately 82 feet from the rear property line. Table 1 below provides a comparison of the proposed gross floor area on the North Lot between the original and revised designs.

Table 1 – Proposed Floor Area - North Lot			
	Original Design	Change	Revised Design
Main Level Living Area	3,144 sf	- 91 sf	3,053 sf
Lower Level Living Area	1,364 sf	+ 286 sf	1,650 sf
Main Level Garage	493 sf	--	493 sf
Subtotal	5,001 sf		5,196 sf
Parking Exemption	- 400 sf		- 400 sf
Total Proposed Floor Area:	4,601 sf	+ 195 sf	4,796 sf
Below Max. Floor Area by:	304 sf		109 sf

The proposed changes to the North Lot also result in approximately 250 cubic yards of additional excavation below the footprint of the residence and on the north and south sides of the residence to pull back the ground elevation for the elevator and stairs, as well as new windows on the lower level. The additional excavation and new on-grade stairs would be supported by retaining walls. The revised North Elevation of the North Lot is provided on the following page. The building envelope of the previously proposed (4/9/2025) primary residence is shown in green, the primary deck railing in blue, the proposed grade adjacent to the residence in yellow, and the existing building envelope in orange.

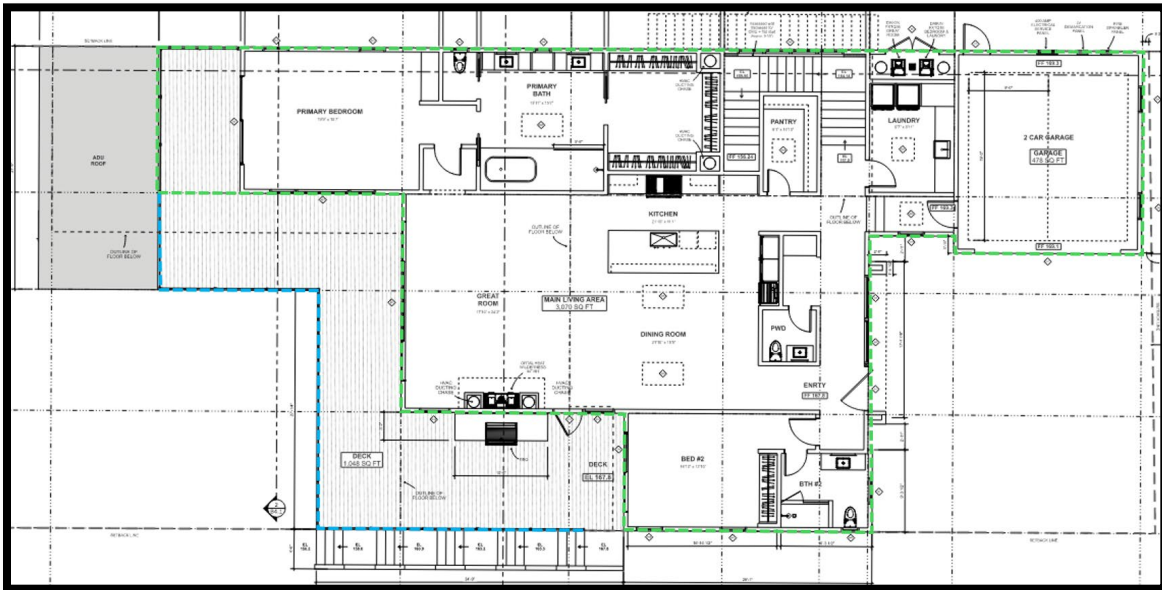


SDP Waiver – North Lot

The revised design for the North Lot would project outside of the originally proposed building envelope that is currently depicted by story poles that underwent the SDP process previously. The extent of the areas outside of the story pole envelope would be limited to the exterior staircase at the north side of the deck and the new primary bedroom floor area located on the norther façade, which are highlighted in yellow on the floor plans on the previous page and below 16 feet in height measured above the pre-existing grade. In addition to approval of the DRP and SDP, the Applicant is requesting City Council approval of an SDP Waiver to waive the requirement that the new massing be depicted by story poles and a new SDP Notice to be sent to neighbors. The maximum roof elevation has not been modified with these changes.

South Lot Changes

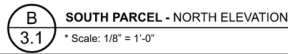
This western leading edge of the primary bedroom on the South Lot was pulled back by nine feet, three inches from the original proposal (4/9/2025) and beyond the roof eave of the existing residence. This change has been a result of eliminating a bedroom from the main level and shifting the interior stairwell, primary suite, and deck to the east. The revised main level floor plan of the South Lot is provided on the following page. The footprint of the originally proposed main level is outlined in green and the deck is shown in blue.



With the proposed changes, the gross floor area of the main level living area would decrease by 142 square feet, the lower level living area would increase by 284 square feet, and the total proposed floor area of the North Lot would increase by 184 square feet from the original design. The main level deck would be setback approximately 91 feet and the primary bedroom would be setback approximately 88 feet from the rear property line. Table 2 (below) provides a comparison of the proposed gross floor area on the South Lot between the original and revised designs.

Table 2 – Proposed Floor Area - South Lot			
	Original Design	Change	Revised Design
Main Level Living Area	3,212 sf	- 142 sf	3,070 sf
Lower Level Living Area	1,369 sf	+ 284 sf	1,653 sf
Main Level Garage	478 sf	--	478 sf
Subtotal	5,059 sf		5,201 sf
Parking Exemption	- 400 sf		- 400 sf
Total Proposed Floor Area:	4,659 sf	+ 142 sf	4,801 sf
Below Max. Floor Area by:	169 sf		27 sf

The proposed changes to the South Lot also result in approximately 150 cubic yards of additional excavation below the footprint of the residence and on the north and south sides of the residence to pull back the ground elevation so that windows could be added to the lower level. The additional excavation and new on-grade stairs would be supported by retaining walls. The revised North Elevation of the South Lot is provided on the following page. The building envelope of the previously proposed (4/9/2025) primary residence is shown in green, the primary deck railing in blue, and the existing building envelope in orange.



The Applicant also submitted revised planting plans for both lots following concerns regarding potential view impairment and shading from neighboring properties should the plantings reach their mature heights. The revised planting plan includes the following modified plantings since the original proposal: Jasmine Starflower to be planted along the northern property line fence north of the pool and patio area on the North Lot, Purple Hop Seed Bush to be planted along the south and west sides of the lower yard area and residence on the North Lot, and Texas Privet to be planted along the north and west sides of lower yard and residence on the South Lot.

Public Hearing Notice:

Additional correspondence regarding the project has not been received since the April 9, 2025 City Council meeting. However, Staff has received verbal confirmation from the Applicant and a neighbor that the revised project has satisfied concerns regarding the structure placement and landscaping shared by neighbors with the originally proposed design.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction) and 15332 (In-Fill Development Projects) of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures, including one single-family residence. Additionally, Class 32 consists of environmentally benign housing projects that are consistent with the General Plan and zoning requirements and located on sites less than five acres in urbanized areas. These exemptions are consistent with the Applicant's proposal to construct a single-family residence with an attached garage and Accessory Dwelling Unit on each proposed lot.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2025-019 if the City Council can make all required findings to approve a DRP and SDP Waiver for the proposed North Lot;
- Approve Staff recommendation adopting the attached Resolution 2025-020 if the City Council can make all required findings to approve a DRP for the proposed South Lot;
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings; or
- Deny the project if all required findings cannot be made.

CITY STAFF RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan, and may be found, as conditioned, to meet the discretionary findings required to approve a DRP and SDP Waiver for the proposed North Lot and a DRP for the proposed South Lot. The project also meets the requirements of the SDP for South Lot. Therefore, should the City Council be able to make the required findings, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the DRP, SDP, and SDP Waiver for the North Lot exempt from the California Environmental Quality Act pursuant to Sections 15303 and 15332 of the State CEQA Guidelines;

3. Find the DRP and SDP for the South Lot exempt from the California Environmental Quality Act pursuant to Sections 15303 and 15332 of the State CEQA Guidelines; and
4. If the City Council makes the requisite findings and approves the project, adopt the following:
 - Resolution 2025-019 conditionally approving a Development Review Permit (DRP23-011), Structure Development Permit (SDP23-015), and Structure Development Permit Waiver to construct a two-story single-family residence with an attached two-car garage and perform associated site improvements on the North Lot; and
 - Resolution 2025-020 conditionally approving a Development Review Permit (DRP23-012) and Structure Development Permit (SDP23-016) to construct a two-story single-family residence with an attached two-car garage and perform associated site improvements on the South Lot.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-019 (DRP/SDP/SDP Waiver North Lot)
2. Resolution 2025-020 (DRP/SDP South Lot)
3. Project Plans Dated May 8, 2025
4. Applicant Narrative

RESOLUTION 2025-019

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO CONSTRUCT A NEW TWO-STORY SINGLE-FAMILY RESIDENCE WITH A TWO-CAR GARAGE AND PERFORM ASSOCIATED SITE IMPROVEMENTS ON THE PROPOSED NORTH LOT AT 615 NORTH GRANADOS AVENUE, SOLANA BEACH, APN: 263-082-17

APPLICANT: DMIG 615 GRANADOS LLC
APPLICATION: DRP23-011/SDP23-015

WHEREAS, DMIG 615 Granados LLC (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on April 9, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council continued the Public Hearing, date-certain, to May 7, 2025 to allow the Applicant the opportunity to revise the project in response to concerns raised during the Public Hearing;

WHEREAS, at the Public Hearing on May 7, 2025, at the request of the Applicant, the City Council continued the Public Hearing, date-certain, to May 21, 2025 without receiving additional information on the project;

WHEREAS, at the Public Hearing on May 21, 2025, the City Council received and considered evidence concerning the revised proposed application;

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Sections 15303 and 15332 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP, SDP, and SDP Waiver to construct a new 4,703 square-foot, two-story single-family residence with a 493 square-foot two-car garage and perform associated site improvements on the proposed North Lot at 615 North Granados Avenue is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:
 - I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The General Plan designates the property as Low Density Residential and is intended for single-family residential development at a maximum density of 3 dwelling units per acre. Therefore, the proposed single-family development is consistent with the intended development in the General Plan. The proposed development can also be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods.

Specific Plans and Special Overlays: The property is located in the Scaled Residential Overlay Zone (SROZ).

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

Coastal Zone: The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LR Zone is intended for detached single-family development at a maximum density of three dwelling units per acre. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the property are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “c”, which requires 25-foot front and rear yard setbacks, and 10-foot interior side yard setbacks.

The single-family residence will be located entirely within the buildable area with allowable encroachments of retaining walls, flat work, and drainage improvements in the setbacks. The project will have 25-foot front, 94-foot rear, and 10-foot side yard setbacks.

Maximum Floor Area Ratio:

Pursuant to the SROZ, the maximum allowable floor area calculation is as follows:

Gross Lot Area: 18,302	
0.5 for first 6,000 sf	3,000 sf
0.175 for 6,000 to 15,000 sf	1,575 sf
0.1 for 15,000 to 20,000 sf	330 sf
Maximum Allowable Floor Area:	4,905 sf

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space.

The Applicant is proposing to construct new single-family residence consisting of a 3,053 square-foot main level living area, a 1,650 square-foot lower-level living area, and a 493 square-foot two-car garage attached to the main level living area. With the applicable off-street parking exemption, the total proposed floor area of the North Lot would be 4,796 square feet, which is 109 square feet below the maximum allowable for the proposed lot.

Maximum Building Height:

The maximum allowable building height for all residential zones is 25 feet. The maximum height of the proposed residence is 24.83 feet above the proposed grade with the highest portion of the structure to be 180.8 feet above MSL. As a condition of approval, the Applicant will be required to certify the maximum building height and highest roof elevation during construction as well as the completed building pad.

The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP for each proposed lot. Compliance with those provisions is discussed later in this Resolution.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed garage in compliance with the parking requirement. Additionally, the driveway will also accommodate two parking spaces located entirely within the buildable areas.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

The project includes a combination fence and wall offset from the northern property line by approximately 16 inches and a segment along the rear yard setback. The proposed fencing above the retaining walls along the side and rear yards will be 50 percent open to light and air and consist of a mesh or lattice material. A similar slatted vertical fence will be located along the southern property line. The front yard will be enclosed by slatted vertical fencing that would be open 80 percent to light and built above retaining walls along the property front and side property line in the front yard setback. The rear yard will be enclosed by black chain-link fencing. The Applicant is also proposing a metal gate at the driveway and pedestrian entrance.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape Water Efficiency:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation

Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved planting plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040(F):

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone and SROZ. Adjacent properties to the north, south, and west are also located within the LR Zone. Properties located on the east side of North Granados and further east are located in the Low-Medium Residential (LMR) Zone. The surrounding properties are developed with one- and two-story single-family residences and also located in the SROZ. The project is found to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

Following the typical development pattern of properties located on the west side of the north-south traversing streets in this area of the City, the proposed two-story residence would have the appearance of a single-story from the street with a lower level built into the existing grade. The highest roof elevation of the residence residences (180.80 MSL) will be approximately seven feet above the grade elevation along the North Granados Avenue frontage. The proposed garage will be setback 25 feet

from the front property line, and the living area will be setback approximately 55 feet from the front property line.

The proposed residence will include a 3,053 square-foot main level consisting of an open-concept kitchen, dining, and great room, powder room, a primary bedroom suite, a second bedroom with an ensuite bathroom, stair and elevator access to the lower level, and access to the attached 493 square-foot two-car garage. The great room and primary bedroom will open to a 987 square-foot uncovered deck with a built-in barbeque and exterior stair access to the lower yard area. The 1,650 square-foot lower-level living area will consist of a media room, laundry room, mechanical/storage room, and a half-bath. Proposed yard improvements include a pool and jacuzzi, patio areas, a fire pit, and lawn area in the lower west side of the residence.

The proposed residence is found to be sited and designed to minimize adverse impacts on the surrounding properties by the limited appearance of the structure from the street and the consistent projection of the westward leading edge of the main level with other properties located along the west side of North Granados Avenue.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The proposed landscape plan includes four new trees and a variety of shrubs located along the property lines and in planter areas. As revised by the Applicant, the final planting plan approved by the City Council includes Jasmine Starflower to be located on a trellis/fence along the north property line immediately north of the pool and yard area. Additionally, the final planting plan includes Purple Hop Seed Bush to be located along the west and south sides of the grass yard area and south of the rear portion of the residence.

In addition to complying with the water efficient landscape regulations, the Applicant will also be required to submit a detailed landscape construction plan in substantial conformance with the planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the planting plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases

in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces will be located within the attached two-car garage. Vehicular access will be taken from a gated driveway at the northern end of the street frontage and would turn 90 degrees within the lot to access the north-facing garage. Two additional off-street parking spaces will also be accommodated in the driveway and within the buildable area.

Pedestrian access to the property will be taken from a gated walkway adjacent to the driveway. The project includes on-grade flatwork pathways around the residence to access the lower rear yard area on both sides of the residence. Trash and recycling bins as well as air conditioning equipment will be located in a screened area south of the garage.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The majority of the grading proposed consists of the excavation associated with lowering the grade approximately two feet from the existing building pad for the main level, excavation for the lower level to be built between 12 and 14 feet below the existing grade, and excavation outside the footprint of the proposed

structure to lower adjacent yard area. Additional grading is proposed in the lower yard area to create flat yard and patio areas at the same elevation as the lower level, biofiltration areas in the northwest corner of the lot, and a manufactured slope along the rear property line.

The proposed grading will include 620 cubic yards of cut and 25 cubic yards of fill located below the structure; 795 cubic yards of cut and 225 cubic yards of fill located outside of the structure footprint; 80 cubic yards of excavation for footings; 680 cubic yards of remedial grading; an aggregate grading quantity of 2,425 cubic yards, and 1,430 cubic yards of export. An additional 265 cubic yards of cut is proposed below the footprint of the ADU on the lower level, but is not subject to the discretionary approval of the DRP.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the demolition of an existing single-family residence, subdivision the subject lot into two separate legal lots, and construction of a single-family residence with a two-car garage on each lot. Usable open space and recreational facilities are not required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade, therefore, the project was subject to requirements of SBMC Chapter 17.63 (View Assessment), and the Applicant was required to complete the

SDP process. Story poles depicting the three-dimensional envelope of the proposed structures were certified by a licensed land surveyor on July 8, 2024, showing a maximum building height of 24.83 feet above the proposed grade and the highest roof elevation at 182.24 feet above MSL. SDP notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by August 15, 2024. Two applications for View Assessment were received from Ray Ramage at 521 Glenmont Drive (Claimant 1) and Pat and Gary Coad at 550 Glenmont Drive (Claimant 2).

The Applicant worked with the view claimants and other neighbors who expressed concerns with the project to the Applicant during the SDP noticing period. The Applicant submitted revised plans that lowered rooflines, reduced massing and deck areas, and modified planting species. The revised project included massing outside of the three-dimensional envelope of the original story poles, therefore, the story poles were updated on October 18, 2024, and a second SDP Notice was mailed with a deadline of December 16, 2024 to file for View Assessment. No additional applications were received, and Claimant 1 withdrew his application. Claimant 2 affirmed their application for View Assessment, and the Applicant opted to schedule the item for a View Assessment Commission meeting on January 21, 2025. Claimant 2 requested a continuance from the meeting, and without being heard by the Commission, the item was continued to the February meeting. However, the Applicant and Claimant 2 were subsequently able to agree upon specific revisions that were reflected by the plans presented to the City Council on April 9, 2025.

At the April 9, 2025 City Council meeting, the City Council and neighbors shared concerns regarding the western leading edge of the proposed main level. In response, the Applicant submitted a revised project that shifted massing of living area and deck area. These changes included areas outside of the three-dimensional envelope depicted by the current certified story poles, including the exterior staircase at the north side of the deck and the new primary bedroom floor area on the northern façade. The Applicant requested City Council approval of an SDP Waiver to waive the requirement that the new massing be depicted by story poles and a new SDP Notice to be sent to neighbors. The maximum roof elevation was not been modified with these changes.

A condition is included in this Resolution to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum building height will not exceed 24.83 feet above the pre-existing grade or the highest roof elevation will not exceed 180.80 feet above MSL. Due to the sensitivity of neighboring views, Staff also requires other lower roof elevations to also be certified. The Applicant is also be required to submit pad certifications to verify the consistency of the finished building pad elevation with the project plans prior to the foundation inspections.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees. The Applicant will be credited half of the value of the existing residence the applicable impact fees.
- II. Building, grading, and landscape construction plans shall be in substantial conformance with the project plans presented to the City Council on May 21, 2025 and located in the project file with a submittal date of May 8, 2025.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum building height will not exceed 24.83 feet above the pre-existing grade or the highest roof elevation will not exceed 180.80 feet above MSL in conformance with the plans as approved by the City Council on May 21, 2025. The height certificate shall also include additional lower roof elevations as specified by Staff. The Applicant shall also submit a pad certificate in conformance with the approved project plans.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the planting plan included in the project plans presented to the City Council on May 21, 2025, prior to Building and Grading Permit issuance and consistent with the construction building and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The

landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.

- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- XI. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. **ACCESS ROAD MINIMUM DIMENSIONS:** Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.1 and 503.2.3.

- II. **BUILDINGS AND FACILITIES:** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility per the 2019 California Fire Code Chapter 5 Section 503.1.1.
- III. **GRADE:** The gradient for a fire apparatus access roadway shall not exceed 20.0 percent. Grades exceeding 15.0 percent (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent) per the SBMC Section 15.32.170(503.2.7-8) – minimum #75 topcast.
- IV. **GATES:** All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the SBMC Section 15.32.200(503.6). All Knox Box products shall be purchased through Knox website under Solana Beach Fire.
- V. **CONSTRUCTION MATERIALS:** Prior to delivery of combustible building construction materials to the project site, the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Building Code Chapter 33:
 - a. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency;
 - b. As a minimum, the finish lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
 - c. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service, and accepted by the Fire Department and applicable water district.
- VI. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in

accordance with the California Fire Code and the Solana Beach Fire Department.

- VII. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency servicing the area shall be provided that states the required fire flow is available. Multi-Family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets per the SBMC Section 15.32.210 Section 507.5.1.01 to 507.5.1.02.
- VIII. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- IX. AUTOMATIC FIRE SPRINKLER SYSTEM – ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation. Sprinklers will be required due to significant modifications and additions being over 50 percent of the existing structure.
 - a. An NFPA 13D compliant fire sprinkler system shall be installed to include fire sprinklers in all closets, bathrooms, and attic regardless of size or use. In addition, patios, or outdoor covers 10 feet or greater in depth shall have fire sprinklers installed.
- X. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.
- XI. Fire sprinkler coverage shall be provided in all areas it would otherwise be exempt in NFPA 13D – all bathrooms and closets, as well as overhangs that extend 10ft or more.
- XII. All fire appliances (fire pit and barbeque) shall comply with the Solana Beach Recreational Fire Policy and/or the manufacturer's specifications. The manufacturer specifications will be required during plan submittal to confirm clearances from combustibles.

C. Engineering Department Conditions:

- I. The Applicant shall obtain an Encroachment Permit in accordance with SBMC Section 11.20, prior to the demolition and/or construction of any frontage improvements in the public right-of-way, including those listed below. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project. For concrete work within the right-of-way, the contractor must have a valid State of California “A” or “C-8” contractor’s license.
 - a. Walkway steps, retaining walls, blocks, underdrains, rocks mailbox, irrigation lines and landscaping.
 - b. Retaining walls.
 - c. Construction of the 9-inch by 9-inch by 12-inch concrete curb along the property frontage with transitions to the existing improvements on both ends to the satisfaction of the City Engineer
 - d. Construction of the driveway approaches with transitions to the proposed Decomposed Granite (DG) pathway.
 - e. Construction of the 10-foot-wide DG area compacted and graded at maximum 2 percent toward the flowline for walking and parking purposes to the satisfaction of the City Engineer.
 - f. Sewer lateral connections, temporary construction staging, and equipment and demolition of existing surface improvements.
 - g. Construction of any damaged sidewalk panels or curb/gutter as directed by the Engineering Department.
 - h. The sump pumps, piping, and connections servicing the biofiltration basins. The property owner shall maintain pumps in operable condition pursuant to the manufacturer’s instruction/equipment documentation.
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit. The EMRA shall be recorded against this property for all improvements in the Public Right-Of-Way including but not limited to:
 - a. Concrete walkway steps.
 - b. Retaining walls.

- c. 10-foot DG area compacted and graded at 2 percent toward the flowline and 9-inch by 9-inch by 12-inch concrete curb along the property frontage.
 - d. The sump pumps, piping, and connections servicing the biofiltration basins. The property owner shall maintain pumps in operable condition pursuant to the manufacturer's instruction/equipment documentation.
- III. The Applicant shall complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements.
- IV. The Applicant shall submit proof to the Engineering Department that the required California Coastal Commission Permits have been obtained prior to the issuance of any building or grading permits.
- V. The Applicant shall prepare an Erosion Prevention and Sediment Control Plan. Best management practices shall be developed and implemented to manage stormwater and non-stormwater discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- VI. Prior to occupancy/final section of the Building Permit, an easement shall be recorded for the maintenance of the detention basins by the property owner(s) in perpetuity.
- VII. Letters of permission to grade shall be obtained by the Applicant from adjoining property owners for grading that is within three feet of the property line or on adjacent properties. Cut and fill slopes shall be set back from site boundaries and buildings shall be set back from cut or fill slopes in accordance with SBMC 15.40.140.
- VIII. The Applicant shall obtain an Engineering Permit. The Engineering Permit shall be prepared by a Registered Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code. The Engineering Permit plan shall be in accordance with the BMP Site Plan. A Preliminary Hydrology Study was prepared, and all recommendations of the Hydrology Study shall be incorporated into the Engineering Permit plan.
- IX. The Applicant shall pay in full the one-time Sewer Capacity Fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed residential unit would increase the property's EDU

assignment by 1.0 EDU and the ADU would increase the property's EDU assignment by 0.8 EDU. The EDU assignment for both lots would be 3.6 EDU. The City will credit the existing SFR 1.0 EDU. Thus, the total EDU assignment would be 2.6 EDU for both lots combined. Each lot will be charged 1.3 EDU. Therefore, each lot will be charged \$5,850 (1.3 EDU multiplied by \$4,500).

- a. Pay in full the prorated portion of the current annual sewer charge for the remainder of the fiscal year.
 - b. A Sewer Permit and Encroachment Permit are required for the private sewer lateral. The Applicant shall coordinate with the Public Works inspector to allow the inspector to inspect the entire length of the private sewer lines within the public right of way before backfilling.
 - c. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless in case of a sanitary sewer backup due to a blockage in the public sewer main. A backflow prevention device shall be installed on private property. The Applicant shall record the Hold Harmless Agreement document prior to Final Inspection of the Building Permit.
- X. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless for the storm drain system on the applicant's property. The Owner shall maintain sump pumps in operable condition per manufacturer's instruction/equipment documentation.
- XI. The 18-inch RCP storm drainage system from Granados Avenue to Patty Hill Drive shall be installed per the approved plans dated April 23, 2025. Work in the public right of way will require an Encroachment Permit, which must be obtained prior to start of work.
- XII. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.
- XIII. The Applicant shall pay a TIF (Traffic Impact Fee) associated with the construction of the new single-family residence prior to Building Permit Issuance that is required. The current fee rate for a Residential-Single-Family is \$19,089 per dwelling unit. Each lot will be responsible for \$9,544.50 (\$19,089 divided by 2).

The Applicant shall pay a TIF (Traffic Impact Fee) associated with the construction of the Accessory Dwelling Units prior to Building Permit

Issuance that is required. The fee due at building permit issuance for the proposed Residential-Accessory Dwelling Units are as follows:

a. $\$4,773 \times (846 \text{ SF} / 4,601 \text{ SF}) = \877

- XIV. The Applicant shall pay a Regional Transportation Congestion Program RTCIP Fee prior to Building Permit Issuance is required of this project. The current rate for a single-family dwelling unit is \$3,800. Each lot will be responsible for \$1,900 (\$3,800 divided by 2).
- XV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- XVI. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

Grading Conditions

- XVII. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a Grading Permit shall include, but not be limited to, the following:
 - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The grading permit shall be obtained prior to or concurrently to issuance of the Building Permit.
 - c. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control, and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report. An as-graded report shall be submitted to and approved by the City prior to release of the grading bond and issuance of occupancy.
 - d. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for biofiltration basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. The report shall provide a drainage discharge design which would represent the pre-existing condition to the maximum extent feasible. All

recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.

- e. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- f. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- g. Cut and fill slopes shall be set back from site boundaries and buildings in accordance with SBMC Section 15.40.140 and to the satisfaction of the City Engineer.
- h. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the Grading Permit.
- i. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- j. The Applicant shall obtain a haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- k. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer

of Record and the Soils Engineer certifying the as-built conditions.

- l. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- m. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- n. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- o. No increased cross lot drainage shall be allowed.
- p. The Applicant shall obtain the Grading and Building Permits concurrently.
- q. Prior to obtaining a foundation inspection on the Building Permit, the Applicants shall submit a building pad certification statement from a Soils Engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demo permit is required for removing existing structures before grading, the applicant shall obtain the demo permit separately in order to certify the grading prior to issuance of the Building Permit.

D. City Council Conditions:

I. N/A

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED this 21st day of May 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES:	Councilmembers –
NOES:	Councilmembers –
ABSENT:	Councilmembers –
ABSTAIN:	Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2025-020

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO CONSTRUCT A NEW TWO-STORY SINGLE-FAMILY RESIDENCE WITH A TWO-CAR GARAGE AND PERFORM ASSOCIATED SITE IMPROVEMENTS ON THE PROPOSED SOUTH LOT AT 615 NORTH GRANADOS AVENUE, SOLANA BEACH, APN: 263-082-17

APPLICANT: DMIG 615 GRANADOS LLC
APPLICATION: DRP23-012/SDP23-016

WHEREAS, DMIG 615 Granados LLC (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on April 9, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council continued the Public Hearing, date-certain, to May 7, 2025 to allow the Applicant the opportunity to revise the project in response to concerns raised during the Public Hearing;

WHEREAS, at the Public Hearing on May 7, 2025, at the request of the Applicant, the City Council continued the Public Hearing, date-certain, to May 21, 2025 without receiving additional information on the project;

WHEREAS, at the Public Hearing on May 21, 2025, the City Council received and considered evidence concerning the revised proposed application;

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Sections 15303 and 15332 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to construct a new 4,723 square-foot, two-story single-family residence with a 478 square-foot two-car garage and perform associated site improvements on the proposed South Lot at 615 North Granados Avenue is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The General Plan designates the property as Low Density Residential and is intended for single-family residential development at a maximum density of 3 dwelling units per acre. Therefore, the proposed single-family development is consistent with the intended development in the General Plan. The proposed development is also found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods.

Specific Plans and Special Overlays: The property is located in the Scaled Residential Overlay Zone (SROZ).

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

Coastal Zone: The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LR Zone is intended for detached single-family development at a maximum density of three dwelling units per acre. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the property are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “c”, which requires 25-foot front and rear yard setbacks, and 10-foot interior side yard setbacks.

The single-family residence will be located entirely within the buildable area with allowable encroachments of retaining walls, flat work, and drainage improvements in the setbacks. The project will have 25-foot front, 91-foot rear, and 10-foot side yard setbacks.

Maximum Floor Area Ratio:

Pursuant to the SROZ, the maximum allowable floor area calculation is as follows:

Gross Lot Area: 17,532	
0.5 for first 6,000 sf	3,000 sf
0.175 for 6,000 to 15,000 sf	1,575 sf
0.1 for 15,000 to 20,000 sf	253 sf
Maximum Allowable Floor Area:	4,828 sf

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space.

The Applicant is proposing to construct new single-family residence consisting of a 3,212 square-foot main level living area, a 1,369 square-foot lower level living area, and a 478 square-foot two-car garage attached to the main level living area. With the applicable off-street parking exemption, the total proposed floor area of project will be 4,659 square feet, which is 169 square feet below the maximum allowable for the proposed lot.

Maximum Building Height:

The maximum allowable building height for all residential zones is 25 feet. The maximum height of the proposed residence is 24.83 feet above the proposed grade with the highest portion of the structure to be 180.8 feet above MSL. As a condition of approval, the Applicant will be required to certify the maximum building height and highest roof elevation during construction as well as the completed building pad.

The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP for each proposed lot. Compliance with those provisions is discussed later in this Resolution.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed garage in compliance with the parking requirement. Additionally, the driveway will also accommodate two parking spaces located entirely within the buildable areas.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

The project includes a combination fence and wall offset from the southern property line by approximately 16 inches and a segment along the rear yard setback. The proposed fencing above the retaining walls along the side and rear yards will be 50 percent open to light and air and consist of a slatted vertical fence. A similar slatted vertical fence will be located along the northern property line. The front yard will be enclosed by slatted vertical fencing that would be open 80 percent to light and built above retaining walls along the property front and side property line in the front yard setback. The rear yard will be enclosed by black chain-link fencing. The Applicant is also proposing a metal gate at the driveway and pedestrian entrance.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decide to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape Water Efficiency:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation

Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved planting plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040(F):

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone and SROZ. Adjacent properties to the north, south, and west are also located within the LR Zone. Properties located on the east side of North Granados and further east are located in the Low-Medium Residential (LMR) Zone. The surrounding properties are developed with one- and two-story single-family residences and also located in the SROZ. The project is found to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

Following the typical development pattern of properties located on the west side of the north-south traversing streets in this area of the City, the proposed two-story residence would have the appearance of a single-story from the street with a lower level built into the existing grade. The highest roof elevation of the residence residences (180.80 MSL) will be approximately four feet above the grade elevation along the North Granados Avenue frontage. The proposed garage will be setback 25 feet

from the front property line, and the living area will be setback approximately 55 feet from the front property line.

The proposed residence will include a 3,070 square-foot main level consisting of an open concept kitchen, dining, and great room, laundry and powder rooms, a primary suite, a second bedroom suite, stairway access to the lower level, and access to the attached 478 square-foot two-car garage. The great room, primary suite, and second bedroom will open to a 1,048 square-foot uncovered deck with a built-in barbeque and exterior stair access to the lower yard area. The 1,653 square-foot lower level living area will consist of a media room, office/gym, game room, powder room, and mechanical/storage room. Proposed yard improvement include a pool and jacuzzi, patio areas, a fire pit, and lawn area in the lower west side of the residence.

The proposed residence is found to be sited and designed to minimize adverse impacts on the surrounding properties by the limited appearance of the structure from the street and the consistent projection of the westward leading edge of the main level with other properties located along the west side of North Granados Avenue.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The proposed landscape plan includes two new trees and maintenance of the existing pine tree along the street frontage. The plan also includes a variety of shrubs located along the property lines and in planter areas. As revised by the Applicant, the final planting plan approved by the City Council includes a Texas Privet hedge located along the north and west sides of the grass yard area and north of the rear portion of the residence.

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would

require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces will be located within the attached two-car garage. Vehicular access will be taken from a gated driveway at the southern end of the street frontage and would turn 90 degrees within the lot to access the south-facing garage. Two additional off-street parking spaces will also be accommodated in the driveway and within the buildable area.

Pedestrian access to the property will be taken from a gated walkway adjacent to the driveway. The project includes on-grade flatwork pathways around the residence to access the lower rear yard area on both sides of the residence. Trash and recycling bins as well as air conditioning equipment will be located in a screened area north of the garage.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The majority of the grading proposed consists of the excavation associated with lowering the grade approximately two feet from the existing building pad for the main level, excavation for the lower level to be built between 12 and 14 feet below the existing grade, and excavation outside the footprint of the proposed structure to lower adjacent yard area. Additional grading is

proposed in the lower yard area to create flat yard and patio areas at the same elevation as the lower level, biofiltration areas in the southwest corner of the lot, and a manufactured slope along the rear property line.

The proposed grading will include 690 cubic yards of cut and 5 cubic yards of fill located below the structure; 805 cubic yards of cut and 205 cubic yards of fill located outside of the structure footprint; 80 cubic yards of excavation for footings; 645 cubic yards of remedial grading; an aggregate grading quantity of 2,430 cubic yards, and 1,510 cubic yards of export. An additional 225 cubic yards of cut is proposed below the footprint of the ADU on the lower level, but is not subject to the discretionary approval of the DRP.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the demolition of an existing single-family residence, subdivision the subject lot into two separate legal lots, and construction of a single-family residence with a two-car garage on each lot. Usable open space and recreational facilities are not required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade, therefore, the project was subject to requirements of SBMC Chapter 17.63 (View Assessment), and the Applicant was required to complete the SDP process. Story poles depicting the three-dimensional envelope of the

proposed structures were certified by a licensed land surveyor on July 8, 2024, showing a maximum building height of 24.83 feet above the proposed grade and the highest roof elevation at 182.24 feet above MSL. SDP notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by August 15, 2024. Two applications for View Assessment were received from Ray Ramage at 521 Glenmont Drive (Claimant 1) and Pat and Gary Coad at 550 Glenmont Drive (Claimant 2).

The Applicant worked with the view claimants and other neighbors who expressed concerns with the project to the Applicant during the SDP noticing period. The Applicant submitted revised plans that lowered rooflines, reduced massing and deck areas, and modified planting species. The revised project included massing outside of the three-dimensional envelope of the original story poles, therefore, the story poles were updated on October 18, 2024, and a second SDP Notice was mailed with a deadline of December 16, 2024 to file for View Assessment. No additional applications were received, and Claimant 1 withdrew his application. Claimant 2 affirmed their application for View Assessment, and the Applicant opted to schedule the item for a View Assessment Commission meeting on January 21, 2025. Claimant 2 requested a continuance from the meeting, and without being heard by the Commission, the item was continued to the February meeting. However, the Applicant and Claimant 2 were subsequently able to agree upon specific revisions that have since been reflected on revised and final plans. The revised design is consistent with the certified story poles.

A condition is included in this Resolution to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum building height will not exceed 24.83 feet above the pre-existing grade or the highest roof elevation will not exceed 180.80 feet above MSL. Due to the sensitivity of neighboring views, Staff will also require other lower roof elevations to also be certified. The Applicant will also be required to submit pad certifications to verify the consistency of the finished building pad elevation with the project plans prior to the foundation inspections.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees. The Applicant will be credited half of the value of the existing residence the applicable impact fees.

- II. Building, grading, and landscape construction plans shall be in substantial conformance with the project plans presented to the City Council on May 21, 2025 and located in the project file with a submittal date of May 8, 2025.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum building height will not exceed 24.83 feet above the pre-existing grade or the highest roof elevation will not exceed 180.0 feet above MSL in conformance with the plans as approved by the City Council on May 21, 2025. The height certificate shall also include additional lower roof elevations as specified by Staff. The Applicant shall also submit a pad certificate in conformance with the approved project plans.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the planting plan included in the project plans presented to the City Council on May 21, 2025, prior to Building Permit issuance and consistent with the construction building and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare

is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- XI. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.1 and 503.2.3.
- II. BUILDINGS AND FACILITIES: Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility per the 2019 California Fire Code Chapter 5 Section 503.1.1.
- III. GRADE: The gradient for a fire apparatus access roadway shall not exceed 20.0 percent. Grades exceeding 15.0 percent (incline or

decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent) per the SBMC Section 15.32.170(503.2.7-8) – minimum #75 topcast.

- IV. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the SBMC Section 15.32.200(503.6). All Knox Box products shall be purchased through Knox website under Solana Beach Fire.
- V. CONSTRUCTION MATERIALS: Prior to delivery of combustible building construction materials to the project site, the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Building Code Chapter 33:
 - a. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency;
 - b. As a minimum, the finish lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
 - c. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service, and accepted by the Fire Department and applicable water district.
- VI. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- VII. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency servicing the area shall be provided that states the required fire flow is available. Multi-Family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets per the SBMC Section 15.32.210 Section 507.5.1.01 to 507.5.1.02.

- VIII. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- IX. AUTOMATIC FIRE SPRINKLER SYSTEM – ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation. Sprinklers will be required due to significant modifications and additions being over 50 percent of the existing structure.
- a. An NFPA 13D compliant fire sprinkler system shall be installed to include fire sprinklers in all closets, bathrooms, and attic regardless of size or use. In addition, patios, or outdoor covers 10 feet or greater in depth shall have fire sprinklers installed.
- X. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.
- XI. Fire sprinkler coverage shall be provided in all areas it would otherwise be exempt in NFPA 13D – all bathrooms and closets, as well as overhangs that extend 10ft or more.
- XII. All fire appliances (fire pit and barbeque) shall comply with the Solana Beach Recreational Fire Policy and/or the manufacturer's specifications. The manufacturer specifications will be required during plan submittal to confirm clearances from combustibles.

C. Engineering Department Conditions:

- I. The Applicant shall obtain an Encroachment Permit in accordance with SBMC Section 11.20, prior to the demolition and/or construction of any frontage improvements in the public right-of-way, including those listed below. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project. For concrete work within the right-of-way, the contractor must have a valid State of California "A" or "C-8" contractor's license.

- a. Walkway steps, retaining walls, blocks, underdrains, rocks mailbox, irrigation lines and landscaping.
 - b. Retaining walls.
 - c. Construction of the 9-inch by 9-inch by 12-inch concrete curb along the property frontage with transitions to the existing improvements on both ends to the satisfaction of the City Engineer
 - d. Construction of the driveway approaches with transitions to the proposed Decomposed Granite (DG) pathway.
 - e. Construction of the 10-foot-wide DG area compacted and graded at maximum 2 percent toward the flowline for walking and parking purposes to the satisfaction of the City Engineer.
 - f. Sewer lateral connections, temporary construction staging, and equipment and demolition of existing surface improvements.
 - g. Construction of any damaged sidewalk panels or curb/gutter as directed by the Engineering Department.
 - h. The sump pumps, piping, and connections servicing the biofiltration basins. The property owner shall maintain pumps in operable condition pursuant to the manufacturer's instruction/equipment documentation.
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit. The EMRA shall be recorded against this property for all improvements in the Public Right-Of-Way including but not limited to:
- a. Concrete walkway steps.
 - b. Retaining walls.
 - c. 10-foot DG area compacted and graded at 2 percent toward the flowline and 9-inch by 9-inch by 12-inch concrete curb along the property frontage.
 - d. The sump pumps, piping, and connections servicing the biofiltration basins. The property owner shall maintain pumps in operable condition pursuant to the manufacturer's instruction/equipment documentation.
 - e. Concrete retaining wall on North Granados Avenue surrounding the existing tree. Should the existing pine tree located in the

public right-of-way die or be removed, the Applicant or property owner at that time shall remove the retaining wall and construct improvements in the public right of way to match the improvements (9-inch sloping curb and decomposed granite parking/walking area) to the north to the satisfaction of the City Engineer with the applicable permit and agreement.

- III. The Applicant shall complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements.
- IV. The Applicant shall submit proof to the Engineering Department that the required California Coastal Commission Permits have been obtained prior to the issuance of any building or grading permits.
- V. The Applicant shall prepare an Erosion Prevention and Sediment Control Plan. Best management practices shall be developed and implemented to manage stormwater and non-stormwater discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- VI. Prior to occupancy/final section of the Building Permit, an easement shall be recorded for the maintenance of the detention basins by the property owner(s) in perpetuity.
- VII. Letters of permission to grade shall be obtained by the Applicant from adjoining property owners for grading that is within three feet of the property line or on adjacent properties. Cut and fill slopes shall be set back from site boundaries and buildings shall be set back from cut or fill slopes in accordance with SBMC 15.40.140.
- VIII. The Applicant shall obtain an Engineering Permit. The Engineering Permit shall be prepared by a Registered Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code. The Engineering Permit plan shall be in accordance with the BMP Site Plan. A Preliminary Hydrology Study was prepared, and all recommendations of the Hydrology Study shall be incorporated into the Engineering Permit plan.
- IX. The Applicant shall pay in full the one-time Sewer Capacity Fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed residential unit would increase the property's EDU assignment by 1.0 EDU and the ADU would increase the property's EDU assignment by 0.8 EDU. The EDU assignment for both lots

would be 3.6 EDU. The City will credit the existing SFR 1.0 EDU. Thus, the total EDU assignment would be 2.6 EDU for both lots combined. Each lot will be charged 1.3 EDU. Therefore, each lot will be charged \$5,850 (1.3 EDU multiplied by \$4,500).

- a. Pay in full the prorated portion of the current annual sewer charge for the remainder of the fiscal year.
 - b. A Sewer Permit and Encroachment Permit are required for the private sewer lateral. The Applicant shall coordinate with the Public Works inspector to allow the inspector to inspect the entire length of the private sewer lines within the public right of way before backfilling.
 - c. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless in case of a sanitary sewer backup due to a blockage in the public sewer main. A backflow prevention device shall be installed on private property. The Applicant shall record the Hold Harmless Agreement document prior to Final Inspection of the Building Permit.
- X. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless for the storm drain system on the applicant's property. The Owner shall maintain sump pumps in operable condition per manufacturer's instruction/equipment documentation.
- XI. The 18-inch RCP storm drainage system from Granados Avenue to Patty Hill Drive shall be installed per the approved plans dated April 23, 2025. Work in the public right of way will require an Encroachment Permit, which must be obtained prior to start of work.
- XII. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.
- XIII. The Applicant shall pay a TIF (Traffic Impact Fee) associated with the construction of the new single-family residence prior to Building Permit Issuance that is required. The current fee rate for a Residential-Single-Family is \$19,089 per dwelling unit. Each lot will be responsible for \$9,544.50 (\$19,089 divided by 2).

The Applicant shall pay a TIF (Traffic Impact Fee) associated with the construction of the Accessory Dwelling Units prior to Building Permit Issuance that is required. The fee due at building permit issuance for the proposed Residential-Accessory Dwelling Units are as follows:

a. $\$4,773 \times (850 \text{ SF} / 4659 \text{ SF}) = \871

- XIV. The Applicant shall pay a Regional Transportation Congestion Program RTCIP Fee prior to Building Permit Issuance is required of this project. The current rate for a single-family dwelling unit is \$3,623. Each lot will be responsible for \$1,900 (\$3800 divided by 2).
- XV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- XVI. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

Grading Conditions

- XVII. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a Grading Permit shall include, but not be limited to, the following:
 - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The grading permit shall be obtained prior to or concurrently to issuance of the Building Permit.
 - c. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control, and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report. An as-graded report shall be submitted to and approved by the City prior to release of the grading bond and issuance of occupancy.
 - d. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for biofiltration basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. The report shall provide a drainage discharge design which would represent the pre-existing condition to the maximum extent feasible. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the

property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.

- e. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- f. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- g. Cut and fill slopes shall be set back from site boundaries and buildings in accordance with SBMC Section 15.40.140 and to the satisfaction of the City Engineer.
- h. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the Grading Permit.
- i. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- j. The Applicant shall obtain a haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- k. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.

- I. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- m. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- n. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- o. No increased cross lot drainage shall be allowed.
- p. The Applicant shall obtain the Grading and Building Permits concurrently.
- q. Prior to obtaining a foundation inspection on the Building Permit, the Applicants shall submit a building pad certification statement from a Soils Engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demo permit is required for removing existing structures before grading, the applicant shall obtain the demo permit separately in order to certify the grading prior to issuance of the Building Permit.

D. City Council Conditions:

- I. N/A

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED this 21st day of May 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

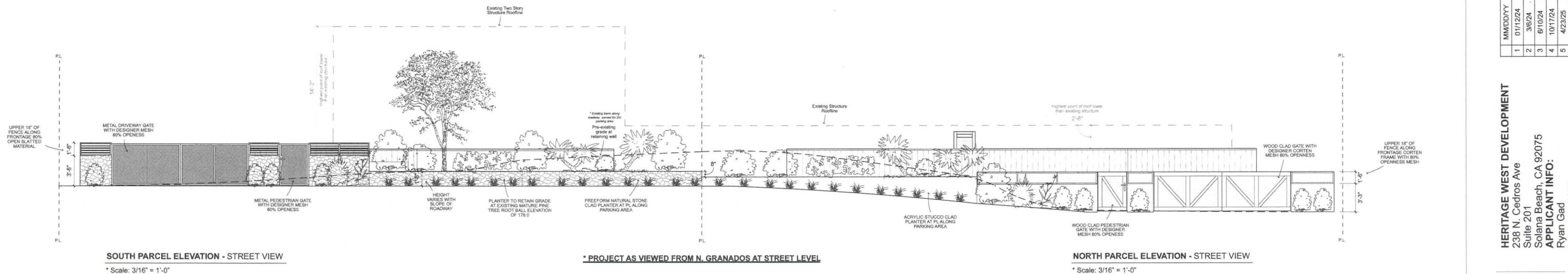
APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

615 Granados Ave
Solana Beach, CA



SHEET INDEX

VICINITY MAP

CONSULTANTS

SYMBOLS

PROJECT DATA

APPLICABLE CODE EDITIONS

NO.	SHEET TITLE
* T.1.0	Title Sheet
* C-1	Civil Engineering - Title Sheet
* C-2	Civil Engineering - Grading & Drainage Plan
* C-3	Civil Engineering - Site Sections #1
* C-4	Civil Engineering - Site Sections #2
* C-5	Civil Engineering - Details
* C-6	Civil Engineering - Hose Pull Diagram
* C-7	Existing Boundary & Topo - Neighborhood
* C-8	Existing Boundary & Topo - Parcel
* D.1.0	Demolition Plan
* P.1.1	Plot Plan - Lot Split
* P.1.2	Plot Plan - Architectural Detail
* P.1.3	Plot Plan - Fencing Diagram
A.1.1	Floor Plan - North Parcel Main Level
A.1.2	Floor Plan - North Parcel Lower Level
A.1.3	Floor Area Diagram - North Parcel
A.2.1	Roof Plan - North Parcel
A.2.2	Story Pole Plan - North Parcel
A.3.1	Elevations - North Parcel
A.3.2	Story Pole Elevations - North Parcel
A.4.1	Sections - North Parcel
A.5.1	Materials Board - North Parcel
B.1.1	Floor Plan - South Parcel Main Level
B.1.2	Floor Plan - South Parcel Lower Level
B.1.3	Floor Area Diagram - South Parcel
B.2.1	Roof Plan - South Parcel
B.2.2	Story Pole Plan - South Parcel
B.3.1	Elevations - South Parcel
B.3.2	Story Pole Elevations - South Parcel
B.4.1	Sections - South Parcel
B.5.1	Materials Board - South Parcel
L-1	Planting Plan - North Parcel
L-2	Planting Plan - South Parcel
* L-3	Irrigation Plan - Both Parcels
* L-4	Irrigation Plan - Both Parcels
* L-5	Water Management Plan - North Parcel
* L-6	Water Management Plan - South Parcel
E.1.0	Site Photos - Existing Condition

SCOPE OF WORK

Demolish existing single family residence and subdivide lot into two legal parcels. The minimum lot dimensions in the LMR zone are 60' street frontage, 60' width, and 100' depth. The newly created parcels will far exceed all of the minimum requirements set for in Table 17.20.030-A for this zone.

Once subdivided, construct a single family residence on each of the newly created parcels with associated grading, hardscape, landscape, and utility connections. Each home will contain an attached two car garage and an attached Accessory Dwelling Unit. Deferred submittals for each house will include Pool & Spa, Fire Sprinklers, and Solar.

Applicant / Building Designer:
Ryan Gad
238 N Cedros Avenue, Suite 201
Solana Beach, CA 92075
P - (858) 204-7457
E - ryangad@heritagewest.com

Civil Engineer:
Pascio Laurel Sutter & Associates
Bryan Knapp
1911 San Diego Ave, Suite 100
San Diego, CA 92110
P - (619) 299-5550 (ext 318)
E - bknapp@plsaengineering.com

Structural Engineer:
Burkett & Wong Engineers
Paul Klingenberg
9949 Balboa Avenue, Suite 270
San Diego, CA 92131
P - (619) 299-5550 (ext 318)
E - pklingenberg@bwesd.com

Title-24:
Build Smart
Nick Brown
400 Los Altos Avenue
Long Beach, CA 90814
P - (714) 984-3397
E - nick@buildsmartgroup.com

Soils Engineer:
Geotechnical Exploration, Inc.
Jay Heiser
7420 Trade Street
San Diego, CA 92121
P - (858) 549-7222
E - jheiser@gel-ad.com

ABBREVIATIONS

AFF	-----	Above Finished Floor
CAB	-----	Cabinet
DR	-----	Door
DW	-----	Dish Washer
EL	-----	Elevation
EXT	-----	Exterior
EXP	-----	Exposed
FFE	-----	Finished Floor Elevation
FPL	-----	Fireplace
FTG	-----	Footing
FND	-----	Foundation
GPDW	-----	Gypsum Drywall
HDR	-----	Header
HT	-----	Height
HB	-----	Hose Bib
JT	-----	Joist
LAV	-----	Lavatory
MAS	-----	Masonry
MIR	-----	Mirror
PL	-----	Property Line
REFR	-----	Refrigerator
ROW	-----	Right of Way
RFG	-----	Roofing
SF	-----	Square Feet
SKL	-----	Skylight
SM	-----	Smoke / CM Detector
T&G	-----	Tongue and Groove
TSL	-----	Top of Slab
TYP	-----	Typical
UON	-----	Unless Otherwise Noted
WP	-----	Waterproofing
WIN	-----	Window
WI	-----	Wrought Iron

Property Owner: DMIG 615 Granados LLC
238 N Cedros Avenue, Suite 201
Solana Beach, CA 92075
P - (858) 204-7457
E - ryangad@heritagewest.com

Property Address: 615 N Granados
Solana Beach, CA 92075

APN#: 263-082-17

Zoning: LRC - Low Residential
* Scaled Residential Overlay

Lot Area: 35,834 S.F. Gross
32,849 S.F. Net
* Overall Prior to Lot Split

Occupancy Group: R-3

Construction Type: Type V-B, fully sprinklered per Sec. R313.2

Building Use: Single Family Residential

Max Building Height: 25'-0"

Setbacks: Front = 25'-0"
Interior Side = 10'-0"
Rear = 25'-0"

MAXIMUM ALLOWABLE FLOOR AREA (FAR)			
Tiered Allocation	North Lot @ 18,302 sf	South Lot @ 17,532 sf	
0.500 for first 6,000 sf	3,000 sf	3,000 sf	
0.175 for 6,001 to 15,000 sf	1,575 sf	1,575 sf	
0.100 for 15,001 to 20,000 sf	330 sf	253 sf	
Maximum Allowable FAR	4,905 sf	4,828 sf	

FLOOR AREA SUMMARY - NORTH PARCEL

Description of Space	Included
Main Level Living Area	3,053 S.F.
Lower Level Living Area	1,650 S.F.
Main Level Garage	493 S.F.
Subtotal	5,196 S.F.
Off Street Parking Exemption	400 S.F.

FLOOR AREA SUMMARY - SOUTH PARCEL

Description of Space	Included
Main Level Living Area	3,070 S.F.
Lower Level Living Area	1,653 S.F.
Main Level Garage	478 S.F.
Subtotal	5,201 S.F.
Off Street Parking Exemption	400 S.F.
Total Proposed Floor Area	4,801 S.F.
Below Max	27 S.F.
Attached 1BR ADU	850 S.F.

SEPARATE PERMITS

- POOL AND SPA
- FIRE SPRINKLER SYSTEM
- SOLAR

Note: Submittal documents for deferred submittal items listed above shall be the responsibility of the SubContractors performing the work. Documentations for the submittals will be prepared by design professionals and submitted to the Building Department for review prior to permitting. Deferred submittal items shall not be installed until their design and submittal documents have been approved by the Building Official and permits have been issued.

MISC INFO



HERITAGE WEST DEVELOPMENT

238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT

615 N GRANADOS
APN#
263-082-17-00

ISSUE

4/23/25

TITLE SHEET

T.1.0

SMAP23-001, DRP23-011/SDP23-015, DRP23-012/SDP23-016 615 N GRANADOS AVENUE 615 N GRANADOS

LEGEND

EXISTING PROPERTY BOUNDARY	---
RIGHT-OF-WAY	---
CENTERLINE OF ROAD	---
EXISTING EASEMENTS	---
PROPOSED LOT LINE	---
ADJACENT LOT LINE	---
PROPERTY SETBACKS	---

EXISTING EASEMENT INFORMATION

- 3 EASEMENT FOR WATER PIPE LINE AND DISTRIBUTING BASIN AND RIGHTS INCIDENTAL THERETO PER BOOK 760 PAGE 418 RECORDED NOVEMBER 1, 1918 & RE-RECORDED PER BOOK 770 PAGE 331, JANUARY 29, 1919
- 6 EASEMENT FOR PUBLIC STREET AND RIGHTS INCIDENTAL THERETO PER BOOK 2277 PAGE 123 RECORDED OCTOBER 24, 1946

PROPOSED EASEMENT INFORMATION

NO EASEMENTS PROPOSED

AREA CALCULATIONS

GROSS SITE AREA	35,834 SF / 0.823 AC
EXISTING EASEMENT AREA	2,985 SF / 0.069 AC
NET DEVELOPABLE AREA	32,849 SF / 0.754 AC
AREA DISTURBED BY PROJECT	34,638 SF / 0.795 AC

EXISTING IMPERVIOUS AREA (ONSITE)	11,957 SF / 0.275 AC
EXISTING IMPERVIOUS AREA (TOTAL)	12,602 SF / 0.289 AC
PROPOSED IMPERVIOUS AREA (ONSITE)	16,822 SF / 0.386 AC
INCREASE IMPERVIOUS AREA (ONSITE)	4,865 SF / 0.112 AC
PROPOSED IMPERVIOUS AREA (TOTAL)	16,992 SF / 0.390 AC

PARCEL 1 (NORTHERN PARCEL) AREA CALCS

TOTAL PARCEL AREA	18,302 SF / 0.420 AC
EXISTING ROAD EASEMENT	1,493 SF / 0.034 AC
NET DEVELOPABLE AREA	16,809 SF / 0.386 AC

TOTAL IMPERVIOUS AREA	8,655 SF / 0.199 AC
TOTAL PERVIOUS AREA	9,647 SF / 0.221 AC

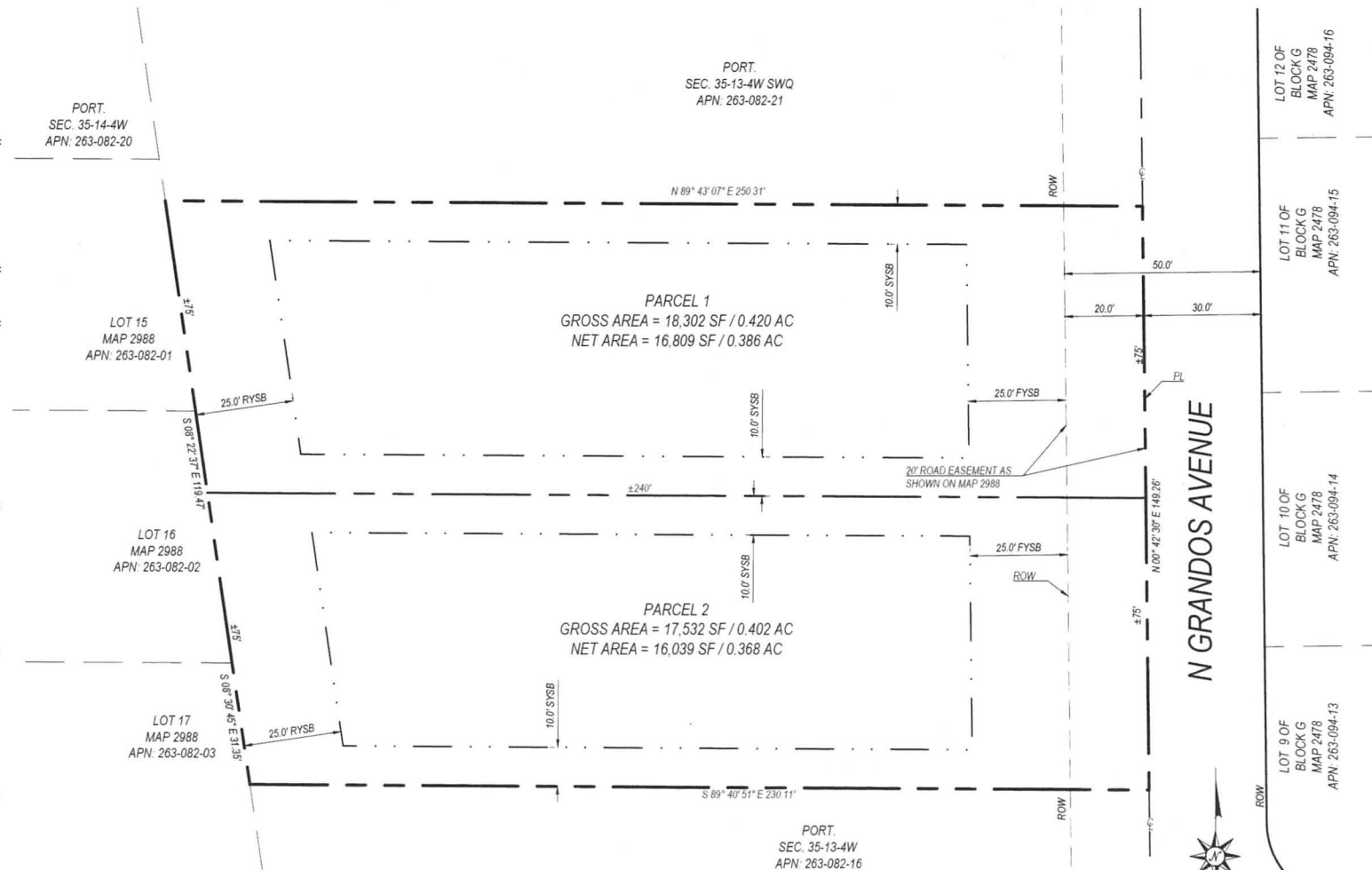
PARCEL 2 (SOUTHERN PARCEL) AREA CALCS

TOTAL PARCEL AREA	17,532 SF / 0.402 AC
EXISTING ROAD EASEMENT	1,493 SF / 0.034 AC
NET DEVELOPABLE AREA	16,039 SF / 0.368 AC

TOTAL IMPERVIOUS AREA	8,337 SF / 0.191 AC
TOTAL PERVIOUS AREA	9,195 SF / 0.211 AC

SETBACKS

FRONT YARD SETBACK	25'
REAR YARD SETBACK	25'
SIDE YARD SETBACK	10'

**PLAN VIEW - LOT LAYOUT**

SCALE: 1" = 20'

SHEET INDEX

TITLE SHEET	C1
PRELIMINARY GRADING PLAN	C2
SECTIONS & DETAILS	C3-C5
FIRE HOSE PULL EXHIBIT	C6

SCOPE OF WORK

THE PROJECT INCLUDES THE DEMOLITION OF ALL ONSITE IMPROVEMENTS AND STRUCTURES SUBDIVIDING THE EXISTING LOT INTO TWO LEGAL PARCELS EXCEEDING ALL OF THE MINIMUM REQUIREMENTS IN THIS ZONE PER TABLE 17.20.030-A. THE PROJECT PROPOSES TO CONSTRUCT TWO SINGLE FAMILY DEVELOPMENTS WITH VARIOUS SURFACE AND UTILITY IMPROVEMENTS TYPICAL TO THE TYPE OF DEVELOPMENT.

	NORTH LOT	SOUTH LOT	PROJECT TOTAL
CUT			
BELOW FOOTPRINT (SFR/ADU)	820 / 265	750 / 225	1570 / 490
OUTSIDE OF FOOTPRINT	845	895	1740
BELOW FOOTPRINT (SFR/ADU)	10 / 0	20 / 0	30 / 0
OUTSIDE OF FOOTPRINT	205	230	435
EXCAVATION OF FOOTINGS	80	80	160
REMOVAL/RECOMPACTION	680	645	1325
AGGREGATE (NOT INCLUDING ADU CUT)	2640	2620	5260
EXPORT (INCLUDING ADU CUT)	1715	1,620	3335

OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED DESIGN REVIEW APPLICATION AND THAT SAID APPLICATION SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS-OF-WAY.

OWNER

DMIS 615 N GRANADOS LLC
238 N CEDROS AVENUE, SUITE 201
SOLANA BEACH, CA 92075

LEGAL DESCRIPTION

ALL THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED APRIL 19, 1881, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, THENCE NORTH 00°42'30" WEST ALONG THE EASTERLY LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, 562.50 FEET TO THE COMMON EASTERLY CORNER OF LAND CONVEYED TO E. E. DIMOCK AND WIFE BY DEED DATED MARCH 11, 1946, AND RECORDED IN BOOK 2065, PAGE 407 OF OFFICIAL RECORDS, AND LAND CONVEYED TO REUBEN S. HAMAKER ET AL BY DEED DATED APRIL 1, 1946 AND RECORDED IN BOOK 2277, PAGE 125 OF OFFICIAL RECORDS, THENCE CONTINUING NORTH 00°42'30" WEST ALONG SAID EASTERLY LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, BEING ALSO THE EASTERLY LINE OF SAID HAMAKERS LAND, A DISTANCE OF 486.47 FEET TO AN INTERSECTION WITH THE EASTERLY PROLONGATION OF THE NORTH LINE OF LAND CONVEYED TO HELEN T. WEED AND ETHEL W. GROSSO BY DEED RECORDED MAY 3, 1951, IN BOOK 4083, PAGE 246 OF OFFICIAL RECORDS, SAID INTERSECTION BEING THE TRUE POINT OF BEGINNING, THENCE CONTINUING NORTH 00°42'30" WEST ALONG SAID EASTERLY LINE OF HAMAKERS LAND, A DISTANCE OF 147.83 FEET TO A POINT THEREON WHICH IS DISTANT THEREALONG SOUTH 00°42'30" EAST 90.00 FEET FROM THE NORTHEAST CORNER OF SAID LAND, THENCE NORTH 89°40'30" WEST, PARALLEL WITH THE NORTH LINE OF SAID HAMAKERS LAND, 250.30 FEET MORE OR LESS TO AN INTERSECTION WITH THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF THE AFOREMENTIONED LAND CONVEYED TO WEED AND GROSSO, THENCE SOUTH 08°29'30" EAST ALONG SAID PROLONGATION, 149.20 FEET, MORE OR LESS, TO THE NORTHWESTERLY CORNER OF SAID LAND, THENCE SOUTH 89°40'30" EAST ALONG THE NORTH LINE OF SAID LAND AND THE EASTERLY PROLONGATION THEREOF, A DISTANCE OF 230.00 FEET TO THE TRUE POINT OF BEGINNING.

APN: 263-082-17-00

SITE ADDRESS

615 N GRANADOS AVENUE
SOLANA BEACH, CA 92075
APN: 263-082-17

TOPOGRAPHY

TOPOGRAPHY OBTAINED BY FIELD SURVEY
ON / DATE: SEPTEMBER 16, 2019

PREPARED BY: TORGENSEN SURVEYING, INC.
1012 MAR VISTA DR
VISTA, CA 92081

BASIS OF BEARINGS

NORTH 00°42'30" WEST ALONG THE EASTERLY LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, BOTH OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, AS SHOWN ON MAP OF HAMAKER HEIGHTS, MAP NO. 2988 AND ON MAP OF SOLANA HEIGHTS, MAP NO. 3521

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SOLANA BEACH SURVEY CONTROL STATION "ENC-43", POINT NO. 2012 PER RECORD OF SURVEY NO. 18971, A 3.5" NATIONAL GEODETIC SURVEY DISK IN HEADWALL, 0.2 MILES NORTH OF SOLANA VISTA DRIVE ON THE EAST SIDE OF NORTHBOUND HIGHWAY 101, 3 FEET OFF SHOULDER 6 FEET WEST OF CARDOFF BY THE SEA SIGN
ELEVATION = 34.670'
VERTICAL DATUM = NAVD 88

ZONING INFORMATION

GENERAL PLAN DESIGNATION	ER-1	EXISTING USE	SINGLE FAMILY RESIDENTIAL
PRESENT ZONING REQUIREMENTS	ER-1	PROPOSED USE	SINGLE FAMILY RESIDENTIAL
HEIGHT	25' FOR ER-1	TOTAL UNITS	2 SINGLE-FAMILY PARCELS
		TOTAL EXIST LOTS 1 LOT	
		TOTAL PROP. LOTS 2 PARCELS	

UTILITIES

WATER	SANTA FE IRRIGATION DISTRICT
FIRE	ENCINITAS FIRE PROTECTION DISTRICT
SEWER	ENCINITAS SANITARY DIVISION
ELEMENTARY SCHOOL	ENCINITAS UNION SCHOOL DISTRICT
HIGH SCHOOL	SAN DIEGUITO UNION HIGH SCHOOL DISTRICT

ACCESS

N GRANADOS AVENUE, A PUBLIC ROAD

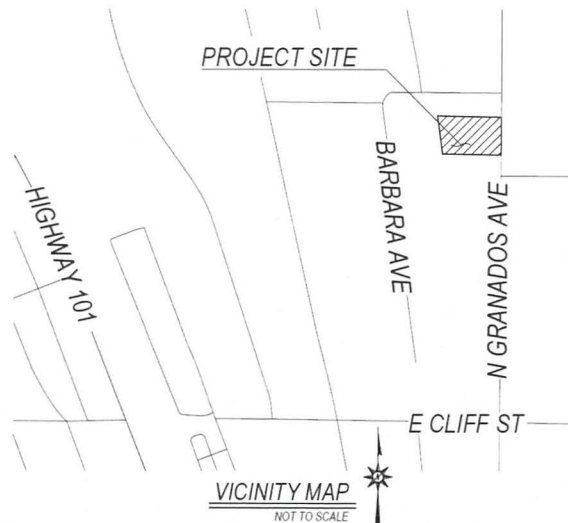
PREPARED BY

PREPARED BY: PASCO, LARET, SUITER & ASSOCIATES
1911 SAN DIEGO AVE.
SAN DIEGO, CA 92110

PREPARED ON: 4/29/25
DATE

ENGINEER OF WORK

BRYAN KNAPP, PE #66542
DATE

**NORTHERN LOT
GRADING / EARTH WORK QUANTITIES**

DISTURBED AREA / AREA GRADED: 34,638 SF

MAIN RESIDENCE (BELOW STRUCTURE)
CUT: 820 CY (2.1 MAX)
FILL: 10 CY (2.1 MAX)
MAX CUT: 15.7 FT

ADU (BELOW STRUCTURE)
CUT: 265 CY (2.1 MAX)
FILL: 0 CY (2.1 MAX)

OUTSIDE OF FOOTPRINT
CUT: 845 CY (2.1 MAX)
FILL: 205 CY (2.1 MAX)

EXPORT: 1,715 CY (INCLUDES ADU CUT)

REMEDIAL: 680 CY
REMOVAL / RECOMPACTION

EXCAVATION FOR FOOTINGS: 80 CY

TOTAL GRADING: 2,905 CY

*AGGREGATE WITHOUT ADU QUANTITIES, EXPORT
EXCLUSIVE OF ADU QUANTITIES

**SOUTHERN LOT
GRADING / EARTH WORK QUANTITIES**

DISTURBED AREA / AREA GRADED: 34,638 SF

MAIN RESIDENCE (BELOW STRUCTURE)
CUT: 750 CY (2.1 MAX)
FILL: 20 CY (2.1 MAX)
MAX CUT: 16.1 FT

ADU (BELOW STRUCTURE)
CUT: 225 CY (2.1 MAX)
FILL: 0 CY (2.1 MAX)

OUTSIDE OF FOOTPRINT
CUT: 895 CY (2.1 MAX)
FILL: 230 CY (2.1 MAX)

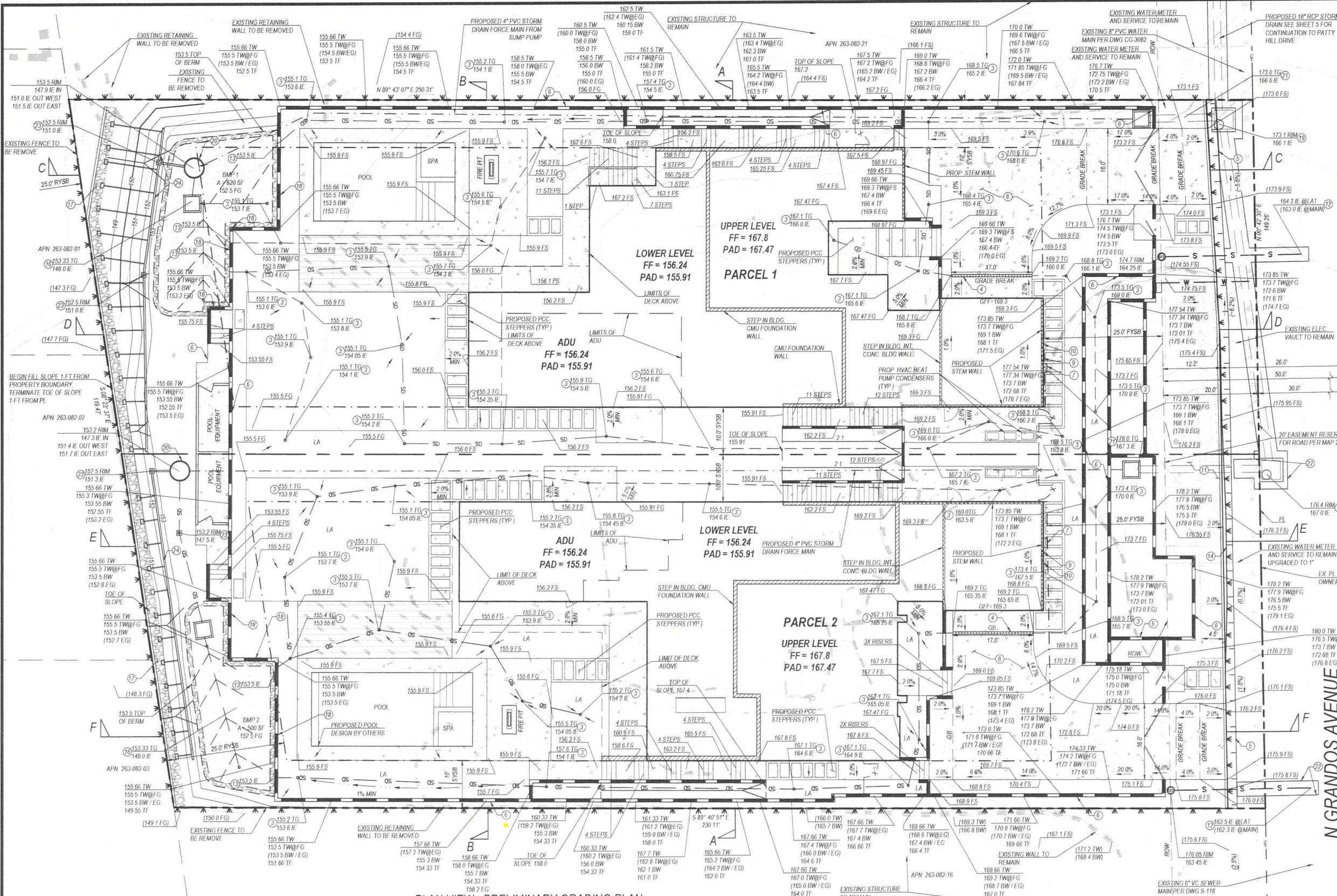
EXPORT: 1,620 CY (INCLUDES ADU CUT)

REMEDIAL: 645 CY
REMOVAL / RECOMPACTION

EXCAVATION FOR FOOTINGS: 80 CY

TOTAL GRADING: 2,845 CY

*AGGREGATE WITHOUT ADU QUANTITIES, EXPORT
EXCLUSIVE OF ADU QUANTITIES



LEGEND

- EXISTING PROPERTY BOUNDARY
- ADJACENT PROPERTY LINE / RIGHT-OF-WAY
- CENTERLINE OF ROAD
- EXISTING EASEMENTS
- PROPOSED LOT LINE
- ADJACENT LOT LINE
- SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING FOOT PRINT
- PROPOSED ADU BUILDING FOOTPRINT
- PROPOSED FLOW LINE
- PROPOSED DIRECTION OF FLOW
- PROPOSED AC SAWCUT
- PROPOSED LIMITS OF GRADING
- PROPOSED MASONRY RETAINING WALL
- PROPOSED MOUNTABLE PCC CURB
- PROPOSED PCC PAVEMENT
- PROPOSED BIOFILTRATION BASIN BMP
- PROPOSED DECOMPOSED GRANITE
- PROPOSED RIP RAP
- PROPOSED 4" PVC SEWER LATERAL W/ CLEANOUT
- PROPOSED 6" PVC STORM DRAIN
- PROPOSED 6" PVC FORCE STORM DRAIN
- PROPOSED 6" AREA DRAIN
- PROPOSED SUMP PUMP VAULT
- PROPOSED 36" X 36" BROOKS BOX
- PROPOSED 12" RCP STORM DRAIN
- PROPOSED TYPE A CLEAN OUT PER D-9

SITE NOTES

1. EXISTING SURVEY MONUMENTS TO BE PROTECTED IN PLACE. IF A MONUMENT IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OF SURVEY SHALL BE FILED WITH COUNTY.
2. ALL EXISTING STRUCTURES AND WALLS WITHIN THE PROPOSED DISTURBED AREA TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
3. ALL EXISTING TREES WITHIN THE PROPOSED DISTURBED AREA TO BE REMOVED AND THE AREA CLEARED / GRUBBED UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES

1. EXISTING SURVEY MONUMENT TO BE PROTECTED IN PLACE. SURVEY MONUMENTS DISTURBED OR DESTROYED SHALL BE REPLACED BY A LICENSED SURVEYOR.
2. PROPOSED PCC DRIVEWAY. PAVEMENT SECTION PER GEOTECH RECOMMENDATION AND FIELD TESTED R-VALUE.
3. PROPOSED 4" AREA DRAIN BY NDS OR APPROVED EQUAL.
4. PROPOSED 4" TRENCH DRAIN BY NDS OR APPROVED EQUAL.
5. PROPOSED AC SAWCUT PER DETAIL SHEET 5.
6. PROPOSED RETAINING WALL PER COUNTY OF SAN DIEGO PDS 083 / PDS 084 / PDS 070.
7. PROPOSED GAS METER.
8. PROPOSED PCC PAVEMENT. DRIVEWAY TO INCLUDE TOP CAST #75 FINISH (OR APPROVED EQUIVALENT).
9. PROPOSED FIRE SPRINKLER PANEL.
10. PROPOSED 400 AMP ELECTRICAL SERVICE.
11. PROPOSED DECOMPOSED GRANITE.
12. PROPOSED 4" PVC SEWER LATERAL WITH CLEANOUT PER SDRSD SS-01 AND SC-01.
13. PROPOSED COBBLE STONE ENERGY DISSIPATOR.
14. PROPOSED MOUNTABLE CONCRETE CURB PER DETAIL SHEET 5.
15. PROPOSED FIRE ACCESS LADDER PER SEPARATE ARCHITECTURAL PLANS.
16. PROPOSED EMERGENCY OVERFLOW 36" X 36" BROOKS BOX OR APPROVED EQUAL FOR BIOFILTRATION BASIN SEE DETAIL SHEET 5.
17. PROPOSED RIP RAP PER SDRSD D-40, ROCK CLASS NO 2 BACK, T=1.1 FT.
18. PROPOSED RETAINING WALL PER STRUCTURAL DESIGN, DESIGN BY OTHERS.
19. PROPOSED TYPE A STORM DRAIN CLEAN OUT PER SDRSD D-9.
20. PROPOSED SUMP PUMP BY PSI PUMPS.
21. PROPOSED 36" X 36" BROOKS BOX OR APPROVED EQUAL W/ COVERED LID. CONNECT PRIVATE STORM DRAIN FORCE MAIN TO BROOKS BOX AND EXTEND FORCE MAIN INTO CLEANOUT WITH END CAP, COUPLINGS AND PVC RISER / BUBBLER.
22. PROPOSED TRENCHING AND RESURFACING.
23. PROPOSED 6" STORM DRAIN CLEANOUT BY NDS OR APPROVED EQUAL.
24. PROPOSED FLOW SPREADER. 4" PVC STORM DRAIN PIPE W/ 2" PVC PIPES CONNECTED S/O C TO DISCHARGE ONTO RIP RAP.

RETAINING WALL NOTE:

PARENTHESIS CALLOUTS, E.G. (168.4 BW), FOR PERIMETER RETAINING WALLS DENOTE PRE-EXISTING GRADE (EG) ON ADJACENT PROPERTY. INTERIOR RETAINING WALLS DENOTE PRE-EXISTING GRADE ALONG WITH TOP OF WALL AND BOTTOM OF WALL ELEVATIONS. SEE TYPICAL RETAINING WALL DETAIL SHEET 5.

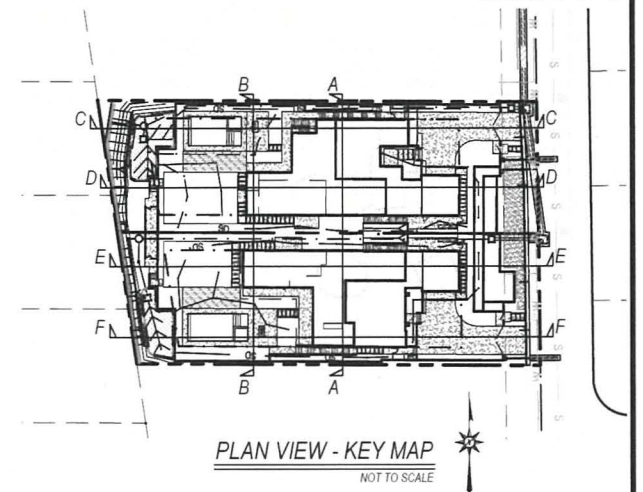
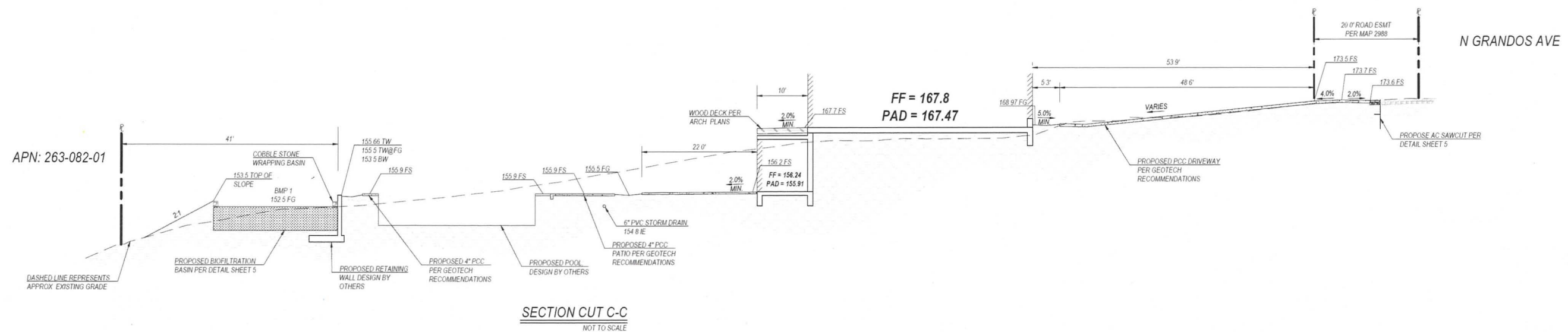
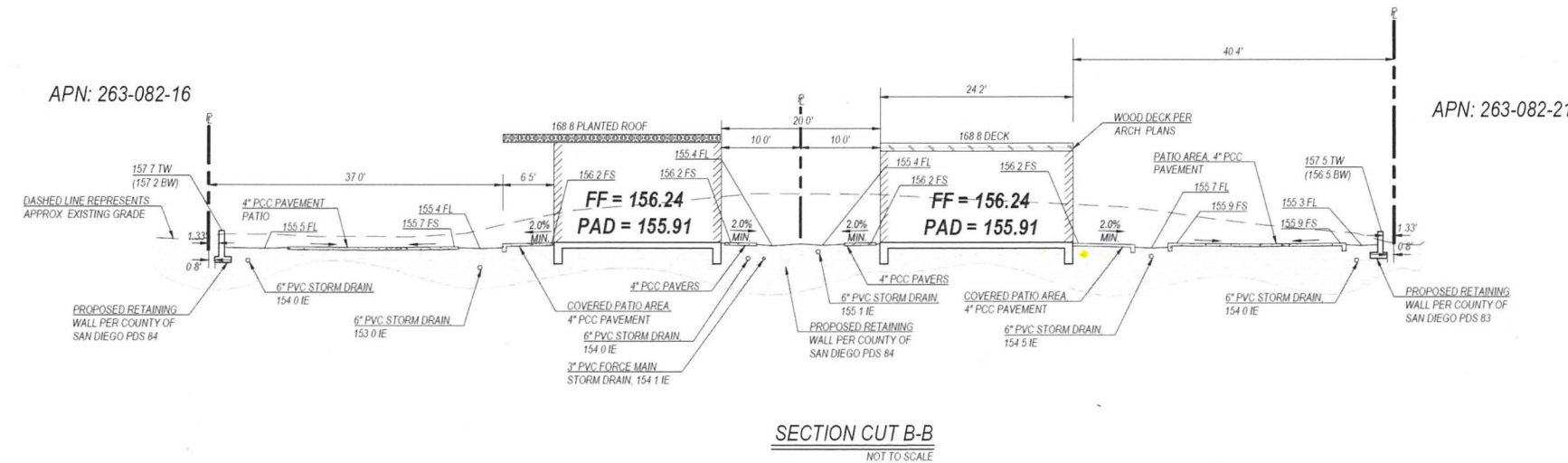
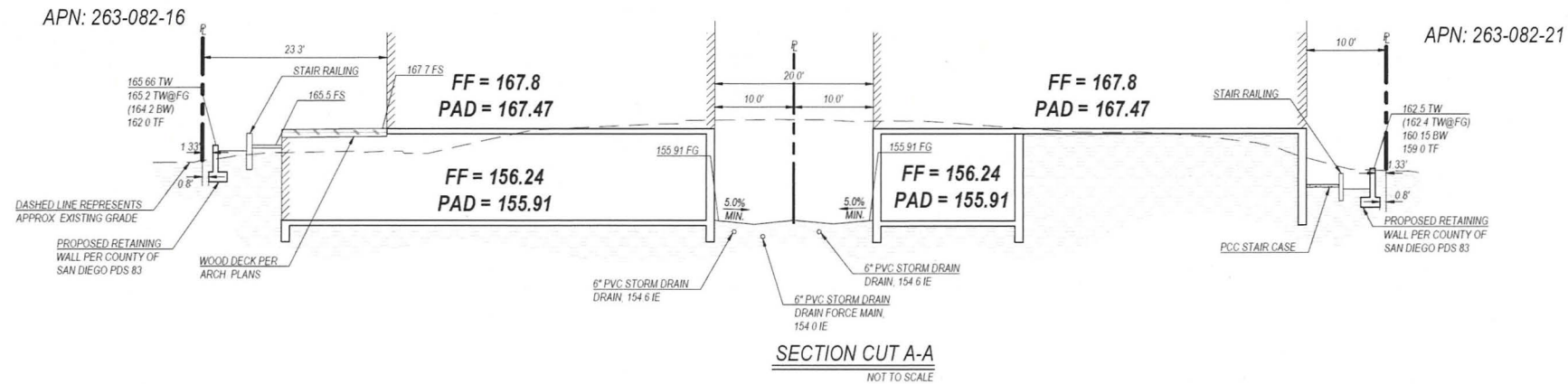
SLAB AND FOUNDATION NOTE:

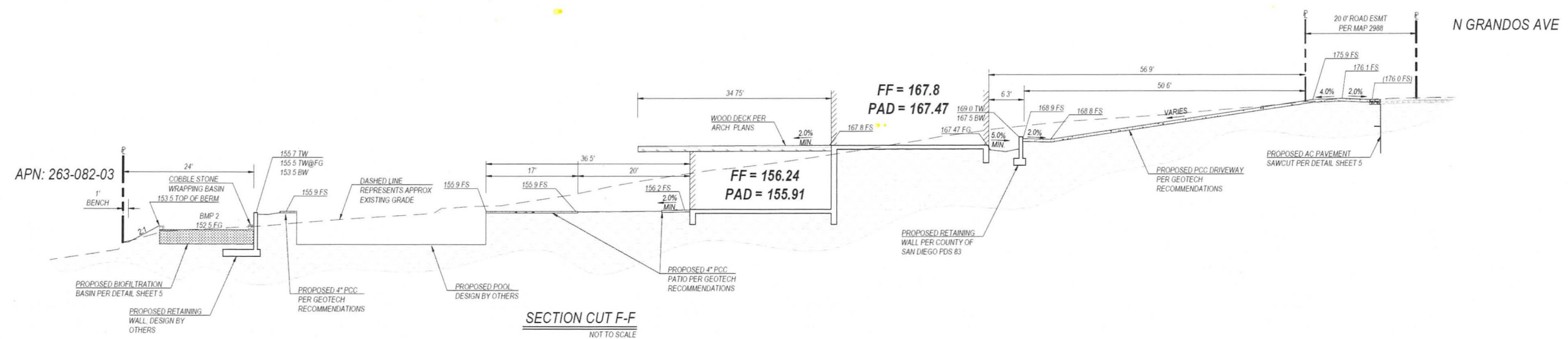
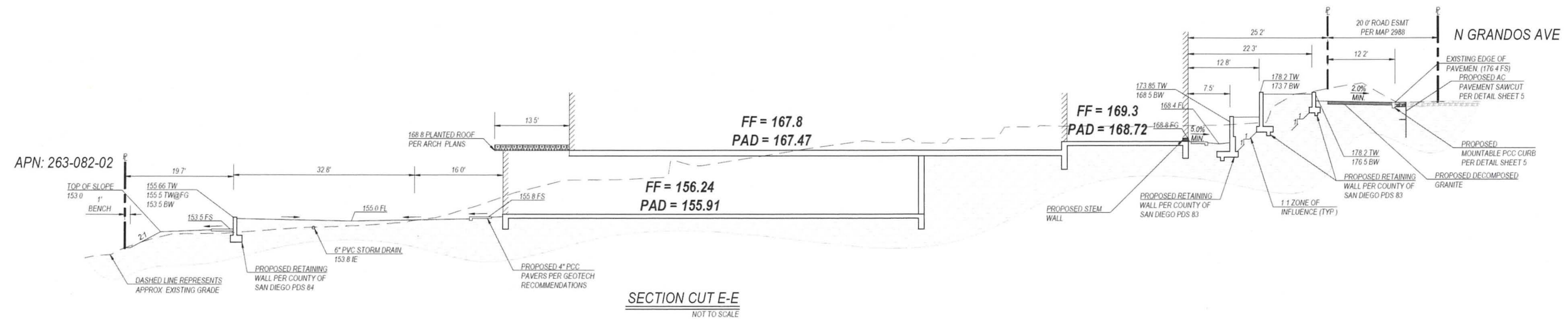
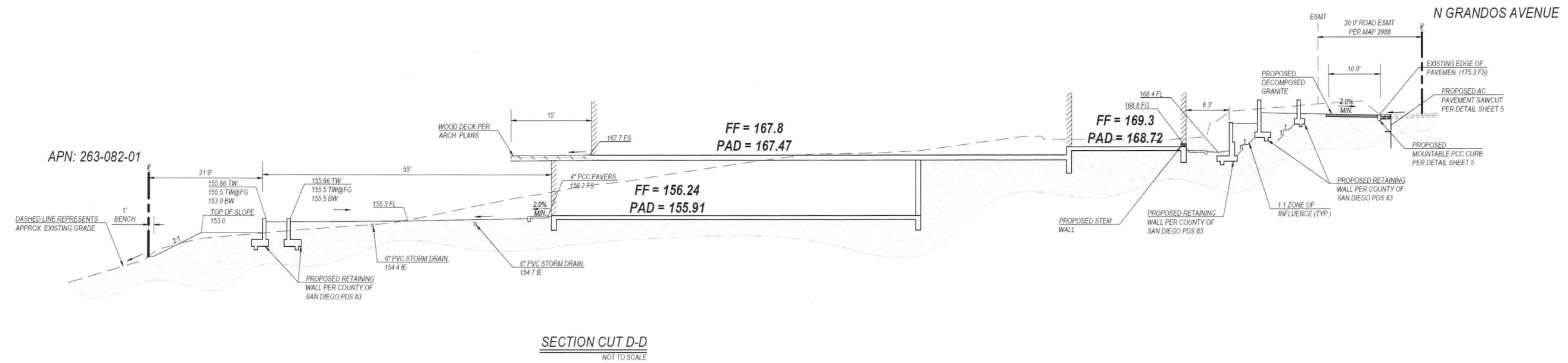
GEOTECHNICAL ENGINEER TO DETERMINE IF FOUR INCHES OF ADDITIONAL BEDDING MATERIAL BENEATH SLAB IS NECESSARY DURING CONSTRUCTION BASED ON SOIL CONDITIONS IN THE FIELD.

TRANSITION NOTE:

TRANSITION ALONG FRONTAGE OF PROPERTY TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.

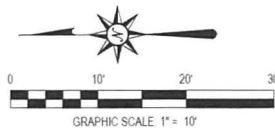






CONSTRUCTION NOTES

- 8) PROPOSED EMERGENCY OVERFLOW 36" X 36" BROOKS BOX OR APPROVED EQUAL FOR BIOFILTRATION BASIN SEE DETAIL THIS SHEET
- 9) PROPOSED RIP RAP PER SDRSD D-40 ROCK CLASS NO. 2 BACK T-1 1'
- 10) PROPOSED SUMP PUMP BY PSI PUMPS
- 11) PROPOSED COBBLE STONE ENERGY DISSIPATER
- 12) PROPOSED 6" STORM DRAIN BY NDS OR APPROVED EQUAL
- 13) PROPOSED FLOW SPREADER, 4" PVC STORM DRAIN PIPE W/ 2" PVC PIPES CONNECTED 5' O.C. TO DISCHARGE ONTO RIP RAP



PLAN VIEW - BIOFILTRATION BASIN PLAN

SCALE 1" = 10'

STORM WATER NOTE:

REFER TO SEPARATE HYDROLOGY REPORT SECTION 1.4 FOR DISCUSSION ON DRAINAGE PATH OF ONSITE RUNOFF TO RECEIVING BODY

TYPICAL DETAIL - BIOFILTRATION BASIN (BMP 1 & 2)

NOT TO SCALE

"BIOFILTRATION ENGINEERED SOIL" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50-60% SAND, 20-30% COMPOST OR HARDWOOD MULCH, AND 20-30% TOPSOIL.

TYPICAL DETAIL - SUMP PUMP

NOT TO SCALE

TYPICAL DETAIL - AC SAWCUT

NOT TO SCALE

TYPICAL DETAIL - ORIFICE PLATE

NOT TO SCALE

TYPICAL SECTION - N GRANDOS AVE

NOT TO SCALE

TYPICAL DETAIL - RETAINING WALL

NOT TO SCALE

TYPICAL DETAIL - MOUNTABLE PCC CURB

NOT TO SCALE

PATTY HILL DRIVE

PORT, SEC. 35-13-4W SWQ
APN: 263-082-21

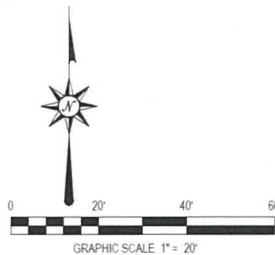
N GRANDOS AVENUE

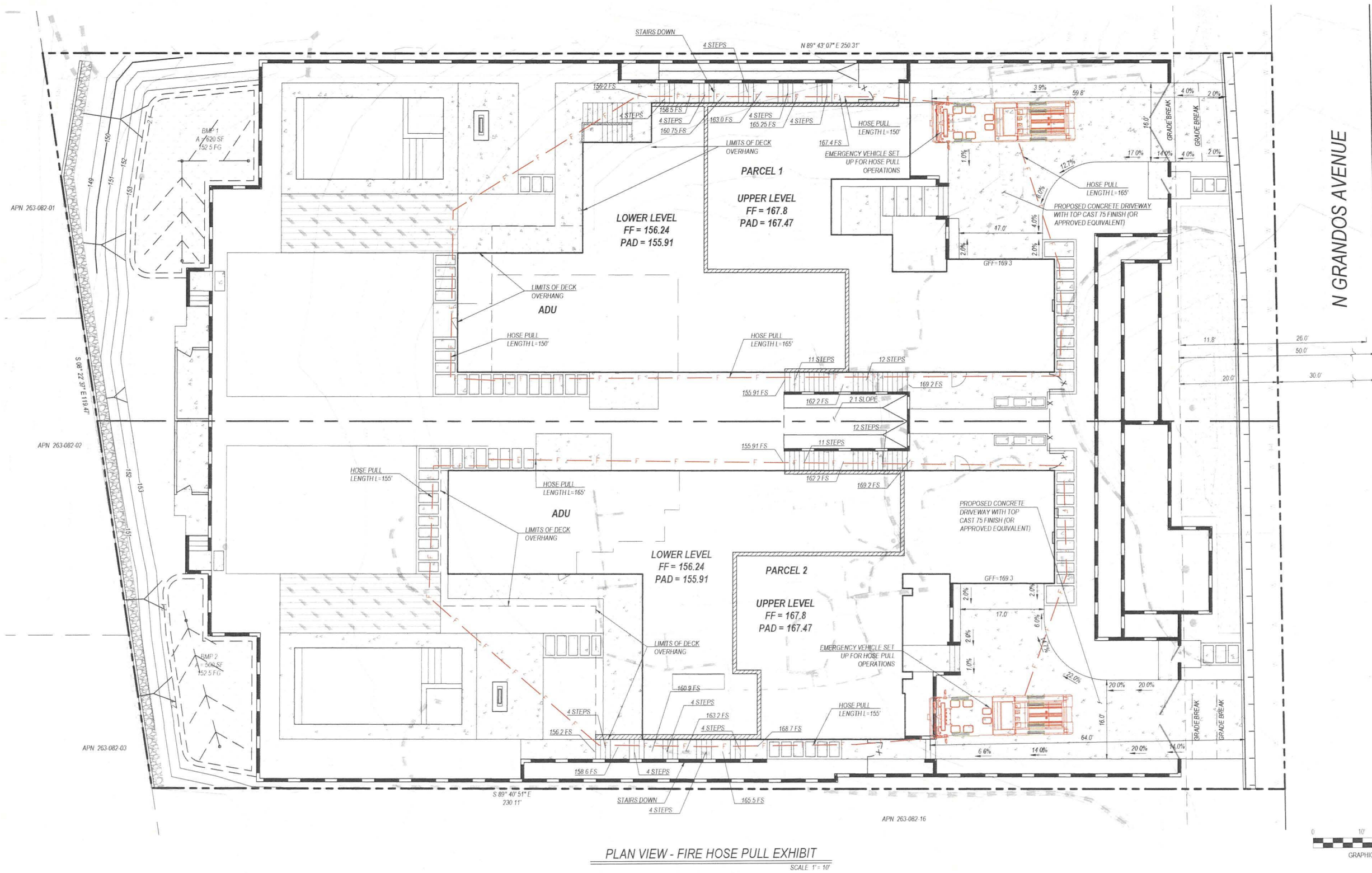
PLAN VIEW - STORM DRAIN EXTENSION PLAN

SCALE 1" = 20'

CONSTRUCTION NOTES

- 1) PROPOSED 36" X 36" BROOKS BOX OR APPROVED EQUAL W/ COVERED LID. CONNECT PRIVATE STORM DRAIN FORCE MAIN TO BROOKS BOX AND EXTEND FORCE MAIN INTO CLEANOUP WITH END CAP. COUPLINGS AND PVC RISER / BUBBLER
- 2) PROPOSED TYPE A STORM DRAIN CLEANOUP PER SDRSD D-9
- 3) PROPOSED TRENCHING AND RESURFACING
- 4) PROPOSED AC PAVEMENT SAWCUT PER DETAIL THIS SHEET
- 5) PROPOSED 4" PVC SEWER LATERAL WITH CLEANOUP PER SDRSD SS-01 AND SC-01
- 6) PROPOSED MOUNTABLE CONCRETE CURB PER DETAIL SHEET
- 7) PROPOSED RETAINING WALL PER COUNTY OF SAN DIEGO PDS 083 / PDS 084 / PDS 070





LEGEND

EXISTING PROPERTY BOUNDARY

ADJACENT PROPERTY LINE / RIGHT-OF-WAY

CENTERLINE OF ROAD

EXISTING EASEMENTS

PROPOSED LOT LINE

ADJACENT LOT LINE

SETBACK LINE

EXISTING CONTOUR

PROPOSED CONTOUR

PROPOSED LIMITS OF GRADING

PROPOSED BUILDING FOOT PRINT

PROPOSED LIMITS OF DECK OVERHANG

PROPOSED BUILDING FOOTPRINT BELOW

PROPOSED FIRE HOSE PULL

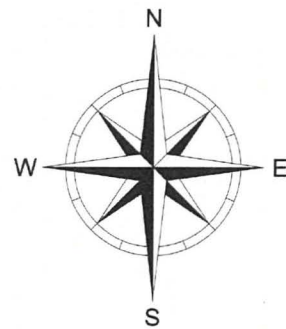
FIRE DEPARTMENT NOTES:

FIRE APPARATUS ACCESS ROADS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 5 SECTION 503.1.1

THE GRADIENT FOR A FIRE APPARATUS ACCESS ROADWAY SHALL NOT EXCEED 20.0% GRADES EXCEEDING 15.0% (INCLINE OR DECLINE) SHALL NOT BE PERMITTED WITHOUT MITIGATION. MINIMAL MITIGATION SHALL BE A SURFACE OF PORTLAND CEMENT CONCRETE, WITH A DEEP BROOM FINISH PERPENDICULAR TO THE ENTIRE DIRECTION OF TRAVEL. PROJECT PROPOSES #7.5 TOP CAST CONCRETE FINISH OR APPROVED EQUAL.



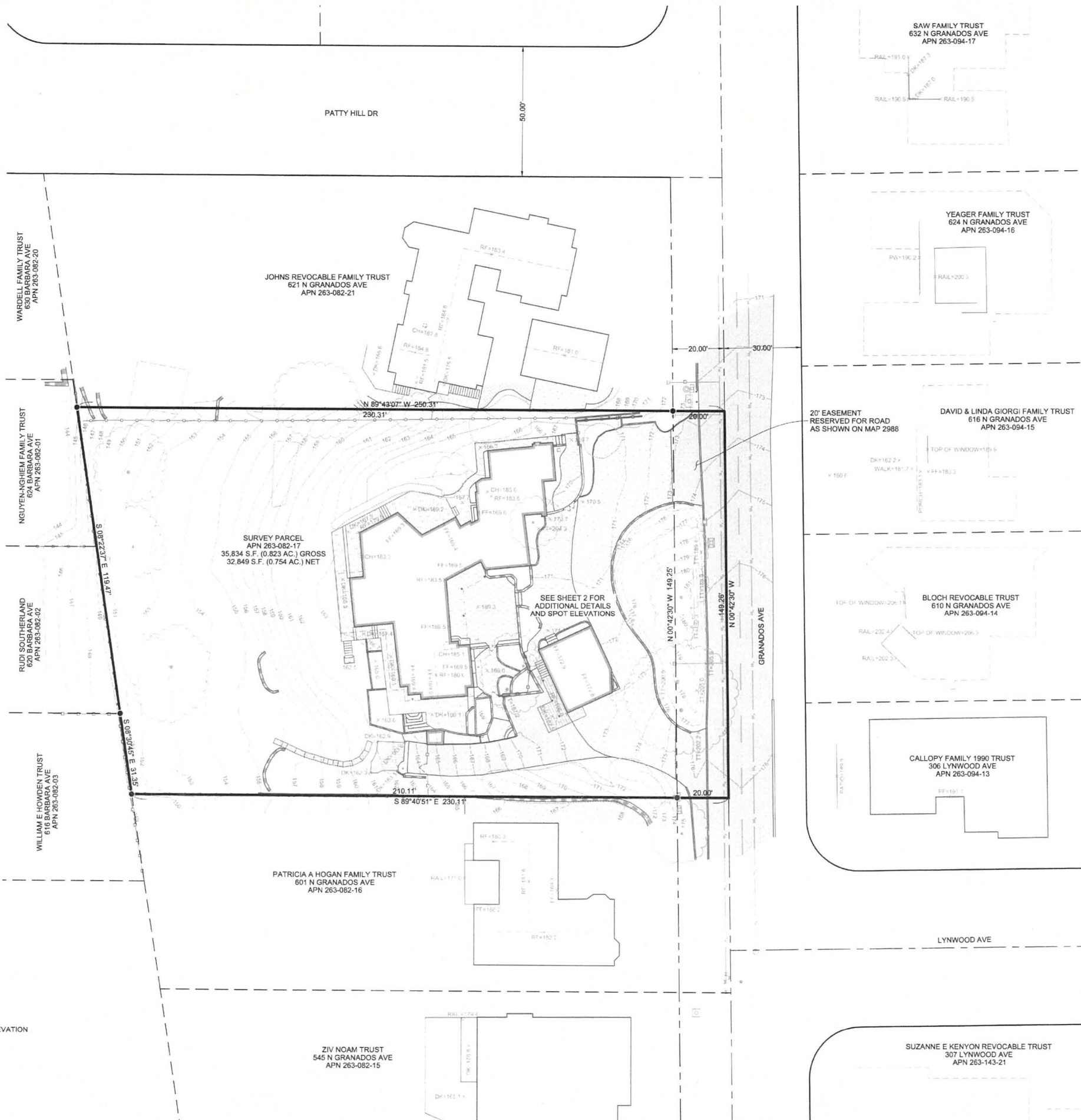
GRAPHIC SCALE 1" = 10'



SCALE: 1" = 20'

LEGEND

- SURVEY BOUNDARY
- RIGHT-OF-WAY LINE
- ADJOINING BOUNDARY
- CENTERLINE
- EASEMENT LINE
- OLD BOUNDARY LINE
- RADIAL LINE / TIE LINE
- FOUND SURVEY MONUMENT
- CONCRETE CURB
- ASPHALT BERM
- ASPHALT
- CONCRETE
- CENTERLINE PAINT STRIPE
- BUILDING FOOTPRINT
- ROOF RIDGE / EAVE
- WOOD DECK
- HEXAGONAL CLAY TILES
- BRICK PAVERS
- CHAIN LINK FENCE
- WOOD FENCE
- RETAINING WALL
- SITE WALL (NON-RETAINING)
- DITCH BANK
- FLOWLINE
- TOP OF SLOPE
- INDEX CONTOUR LINE
- INTERMEDIATE CONTOUR LINE
- SEWER LINE
- WATER LINE
- APPROX. DRIPLINE OF TREES
- APPROX. DRIPLINE OF HEDGE / BUSH
- TREE TRUNK (APPROX. DIAMETER)
- GATE
- MAILBOX
- BOLLARD
- COMMUNICATIONS VAULT
- COMMUNICATIONS RISER
- GAS METER
- ELECTRIC METER
- ELECTRIC VAULT
- ELECTRIC RISER
- SEWER MANHOLE
- AREA DRAIN INLET (ROUND)
- WATER METER
- WATER VALVE
- WATER HANDHOLE
- GROUND/FINISHED SURFACE SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- ROOF ELEVATION
- CHIMNEY ELEVATION
- DECK ELEVATION
- DECK RAILING ELEVATION
- TOP OF PARAPET WALL ELEVATION
- TOP OF TREE



SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.

Blake E. Torgersen
PLS 8548

9-19-2019
DATE



NARRATIVE

- THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 00°42'30" WEST ALONG THE EASTERLY LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, AND THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, BOTH OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, AS SHOWN ON MAP OF HAMAKER HEIGHTS, MAP NO. 2988 AND ON MAP OF SOLANA HEIGHTS, MAP NO. 3521.
- THIS MAP IS BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. ADDITIONAL INFORMATION REGARDING THE FOUND MONUMENTS AND THE BOUNDARY SURVEY PROCEDURE ARE SHOWN ON A RECORD OF SURVEY MAP BEING PREPARED CONCURRENTLY WITH THIS MAP.
- ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SOLANA BEACH SURVEY CONTROL STATION "ENC-43", POINT NO. 2012 PER RECORD OF SURVEY NO. 18971, A 3.5" NATIONAL GEODETIC SURVEY DISK IN HEADWALL, 0.2 MILES NORTH OF SOLANA VISTA DRIVE ON THE EAST SIDE OF NORTHBOUND HIGHWAY 101, 3 FEET OFF SHOULDER AND 6 FEET WEST OF CARDIFF BY THE SEA SIGN. NAVD-88 ELEV = 34.670'
- THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY. NO RECORD UTILITY PLANS WERE PROVIDED TO OR OBTAINED BY THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.

ABBREVIATED LEGAL DESCRIPTION

A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED APRIL 19, 1881.

(SEE GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON APRIL 15, 1999 AS DOC# 1999-0253678 OF OFFICIAL RECORDS FOR THE COMPLETE DESCRIPTION OF THE PROPERTY SURVEYED.)

TORGENSEN SURVEYING, INC.
1012 MAR VISTA DR, VISTA, CA 92081
619-535-8674 | TORGSRV@GMAIL.COM

BOUNDARY & TOPOGRAPHIC SURVEY
OF PROPERTY LOCATED AT

615 N. GRANADOS AVE

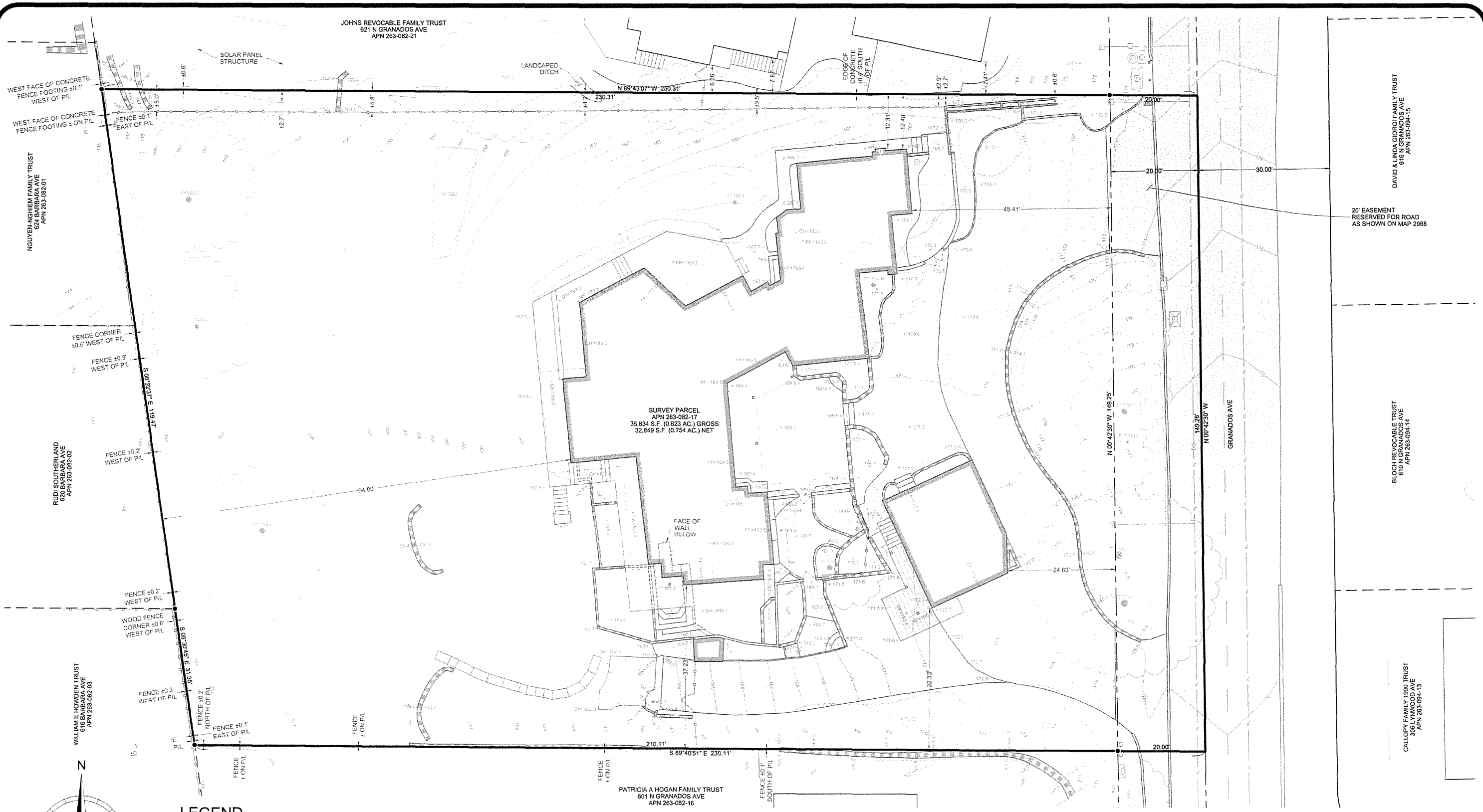
SOLANA BEACH, CA

APN: 263-082-17
REFERENCE: MAP 2988

SURVEY DATE: 9-09-2019
DRAWING DATE: 9-16-2019


JOB # 1927

SHEET C-7



LEGEND

	SURVEY BOUNDARY		BUILDING FOOTPRINT		SEWER LINE
	RIGHT-OF-WAY LINE		ROOF RIDGE / EAVE		WATER LINE
	ADJOINING BOUNDARY		WOOD DECK		APPROX. DRIPLINE OF TREES
	CENTERLINE		HEXAGONAL CLAY TILES		APPROX. DRIPLINE OF HEDGE / BUSH
	EASEMENT LINE		BRICK PAVERS		TREE TRUNK (APPROX. DIAMETER)
	OLD BOUNDARY LINE		CHAIN LINK FENCE		GATE
	RADIAL LINE / TIE LINE		WOOD FENCE		MAILBOX
	FOUND SURVEY MONUMENT		RETAINING WALL		BOLLARD
	CONCRETE CURB		SITE WALL (NON-RETAINING)		COMMUNICATIONS VAULT
	ASPHALT BERM		DITCH BANK		COMMUNICATIONS RISER
	ASPHALT		FLOWLINE		GAS METER
	CONCRETE		TOP OF SLOPE		ELECTRIC METER
	CENTERLINE PAINT STRIPE		INDEX CONTOUR LINE		ELECTRIC VAULT
			INTERMEDIATE CONTOUR LINE		ELECTRIC RISER



TORGersen SURVEYING, INC.
1012 MAR VISTA DR, VISTA, CA 92081
619-535-8674 | TORGSURV@GMAIL.COM

BOUNDARY & TOPOGRAPHIC SURVEY
OF PROPERTY LOCATED AT
615 N. GRANADOS AVE
SOLANA BEACH, CA

APN: 263-082-17	SURVEY DATE: 9-09-2019
REFERENCE: MAP 2988	DRAWING DATE: 9-16-2019
JOB # 1927	SHEET C-8

DAVID & LINDA GIORGI FAMILY TRUST
616 N GRANADOS AVE
APN 263-094-15

20' EASEMENT
RESERVED FOR ROAD
AS SHOWN ON MAP 2988

BLOCH REVOCABLE TRUST
610 N GRANADOS AVE
APN 263-094-14

CALLORY FAMILY TRUST
306 LYNNWOOD AVE
APN 263-094-13

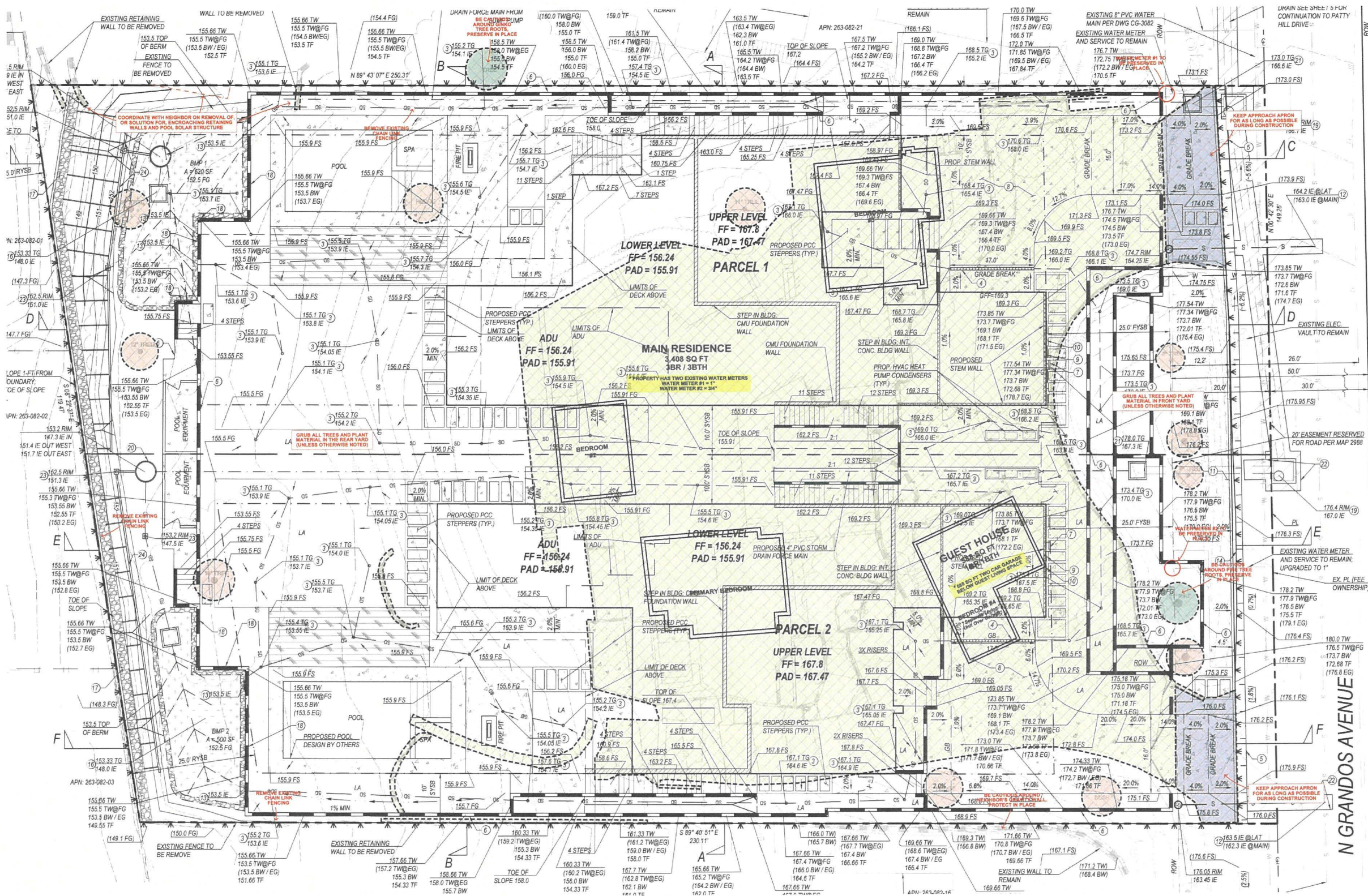
PATRICIA A HOGAN FAMILY TRUST
601 N GRANADOS AVE
APN 263-082-16

JOHNS REVOCABLE FAMILY TRUST
621 N GRANADOS AVE
APN 263-082-21

NGUYEN NGHIEM FAMILY TRUST
600 N GRANADOS AVE
APN 263-082-01

RUDI SOUTHERLAND
600 N GRANADOS AVE
APN 263-082-02

WILLIAM E HOWDEN TRUST
616 BARBARA AVE
APN 263-082-03



D
1.0
DEMOLITION PLAN
Scale: 1" = 10'-0"

KEY NOTES - DEMOLITION PLAN	
	DEMOLISH BUILDINGS / WALLS / HARD SURFACE
	REMOVE TREE / SHRUB & GRIND STUMP
	PRESERVE TREE IN PLACE (USE EXTRA CAUTION)
	DELAY DEMOLITION FOR STORM WATER MANAGEMENT

LEGEND

- EXISTING PROPE
- ADJACENT PROP
- CENTERLINE OF
- EXISTING EASEM
- PROPOSED LOT L
- ADJACENT LOT L
- SETBACK LINE
- EXISTING CONTC
- PROPOSED CON
- PROPOSED BUIL
- PROPOSED ADU
- PROPOSED FLOW
- PROPOSED DIRE
- PROPOSED AD S
- PROPOSED LIMIT
- PROPOSED MAS
- PROPOSED MOU
- PROPOSED PCC
- PROPOSED BIOF
- PROPOSED DECI
- PROPOSED RIP F
- PROPOSED 4" PV
- PROPOSED 6" PV
- PROPOSED 6" PV
- PROPOSED 6" PV
- PROPOSED SUMI
- PROPOSED 36" X
- PROPOSED 12" R
- PROPOSED TYPE

SITE A

- EXIST
- PLAC
- IT SH
- SURV
- BE FI
- ALL E
- PROF
- UNLE
- ALL E
- DIST
- CLEA

REMARKS	MM/DD/YY	BY
FIRST ROUND CITY CORRECTIONS	01/12/24	
SECOND ROUND CITY CORRECTIONS	3/6/24	
THIRD ROUND CITY CORRECTIONS	6/10/24	
FOURTH ROUND NEIGHBOR CORRECTIONS	10/17/24	
CITY COUNCIL REVISIONS	4/23/25	

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

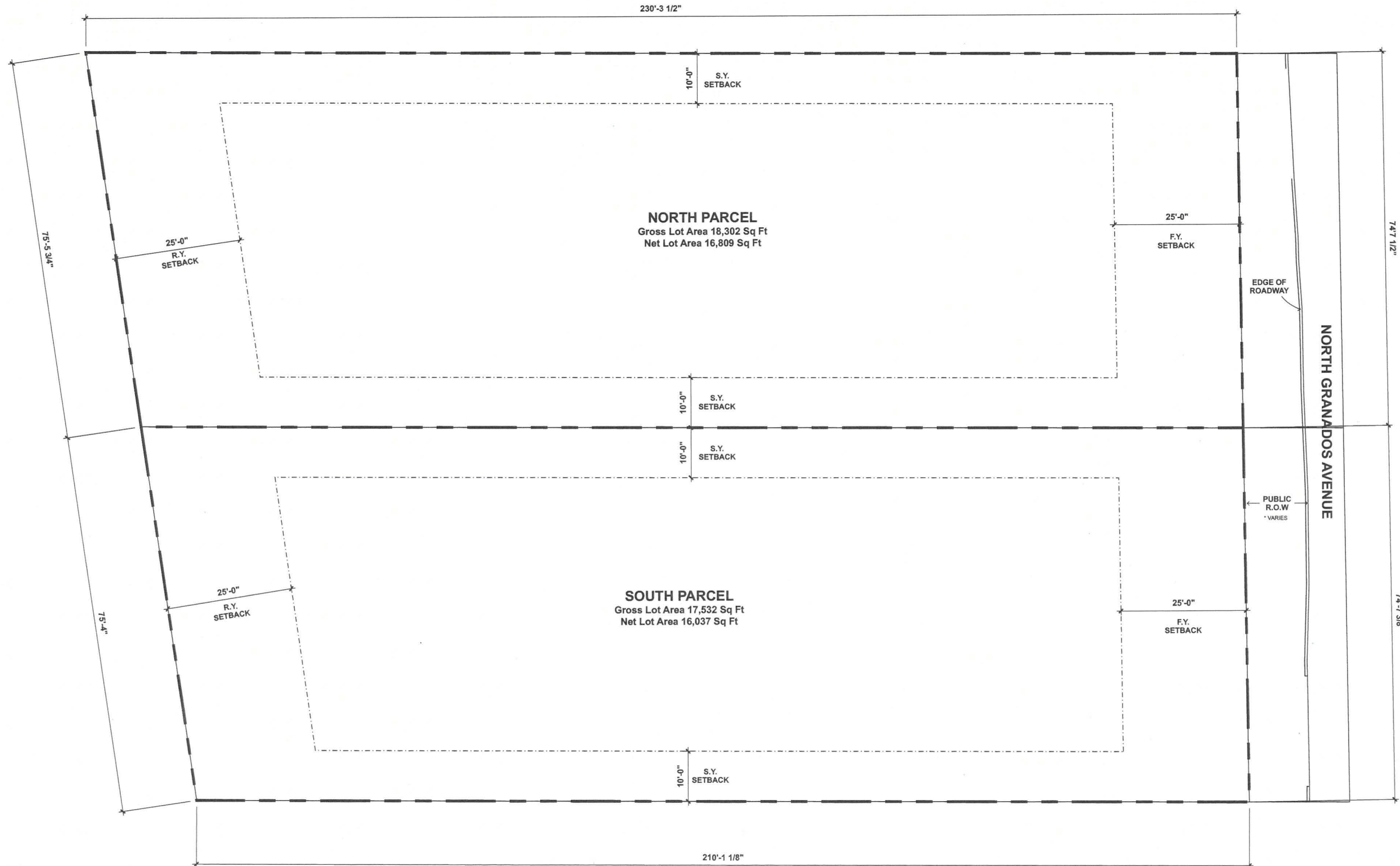
ISSUE
4/23/25

DEMOLITION
PLAN

D.1.0



P
1.1 **PLOT PLAN - LOT SPLIT**
* Scale: 1" = 10'-0"



FLOOR AREA SUMMARY - NORTH PARCEL

Description of Space	Included
Main Level Living Area	3,053 S.F.
Lower Level Living Area	1,650 S.F.
Main Level Garage	493 S.F.
Subtotal	5,196 S.F.
Off Street Parking Exemption	400 S.F.
Total Proposed Floor Area	4,796 S.F.
Below Max	109 S.F.
Attached 1BR ADU	846 S.F.

North Parcel Lot Size 18,302 S.F.
Max Allowable Floor Area 4,905 S.F.
LRc - Low Residential
* Scaled Residential Overlay

FLOOR AREA SUMMARY - SOUTH PARCEL

Description of Space	Included
Main Level Living Area	3,070 S.F.
Lower Level Living Area	1,653 S.F.
Main Level Garage	478 S.F.
Subtotal	5,201 S.F.
Off Street Parking Exemption	400 S.F.
Total Proposed Floor Area	4,801 S.F.
Below Max	27 S.F.
Attached 1BR ADU	850 S.F.

South Parcel Lot Size 17,532 S.F.
Max Allowable Floor Area 4,828 S.F.
LRc - Low Residential
* Scaled Residential Overlay

HERITAGE WEST DEVELOPMENT

238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

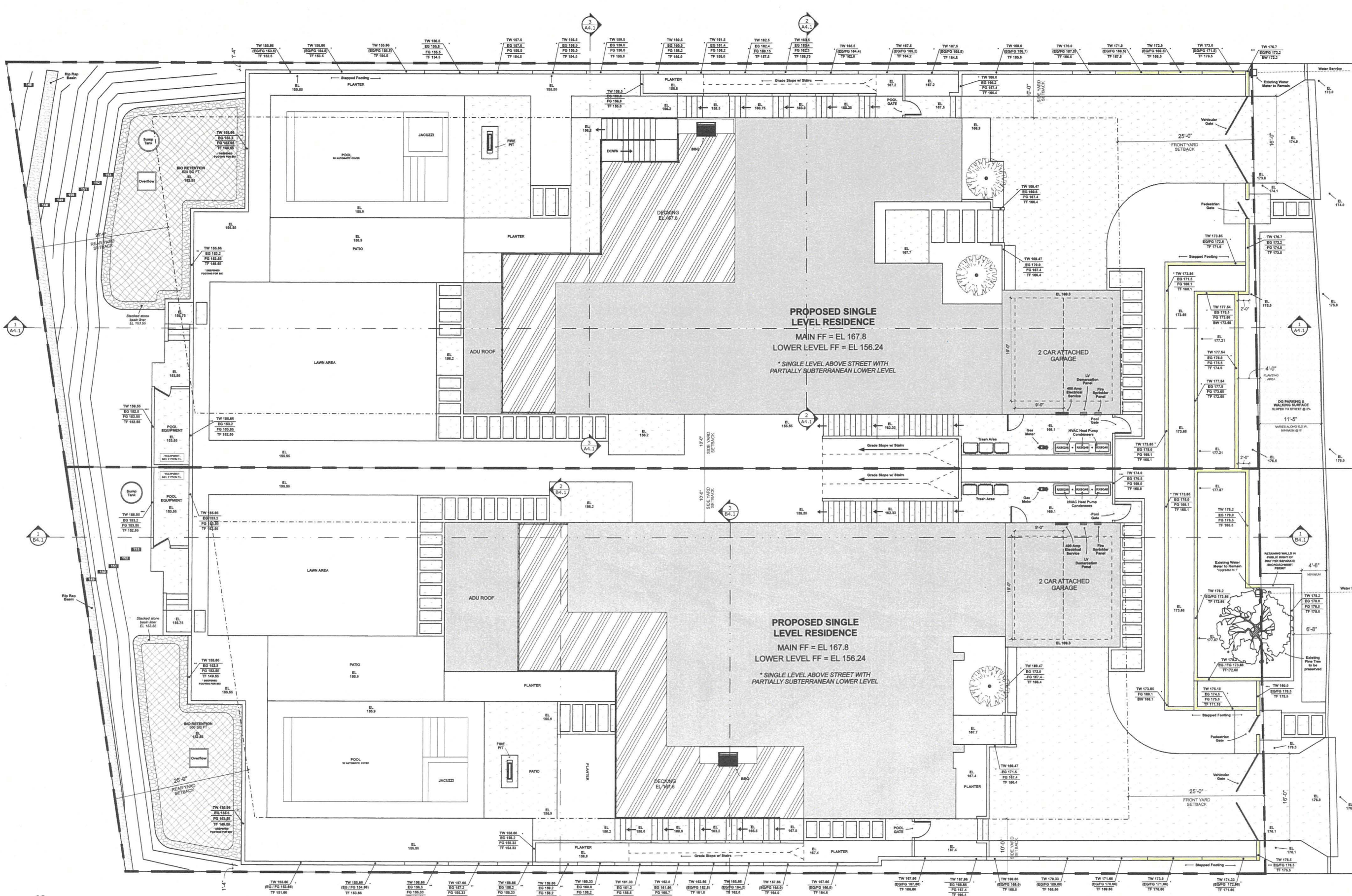
PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

PLOT PLAN
LOT SPLIT

P.1.1

MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS



PLOT PLAN - NORTH & SOUTH PARCEL
Scale: 1/8" = 1'-0"

RETAINING WALL SPECIFICATIONS	WALL HEIGHT KEY
All of the projects site retaining walls to be constructed using San Diego County "Standard Details".	TW = top of CMU wall
* = PDS083 Retaining Walls with Level Backfill	TF = top of foundation at CMU wall
** = PDS084 Retaining Walls with Sloping Backfill	FG = finished grade at low side of CMU wall on Subject Property
*** = PDS070 Masonry Fences	(F.G.) = parenthesis indicates that finished grade on low side of CMU Wall is on Neighboring Property.
See sheet P.1.4 & P.1.5 for detail cut sheets	EG = pre-existing grade at CMU wall location
	CMU walls located in the front yard setback

MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

PLOT PLAN
ARCHITECTURAL DETAIL

MM/DD/YY		REMARKS
1	01/12/24	FIRST ROUND CITY CORRECTIONS
2	3/6/24	SECOND ROUND CITY CORRECTIONS
3	6/10/24	THIRD ROUND CITY CORRECTIONS
4	10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5	4/23/25	CITY COUNCIL REVISIONS

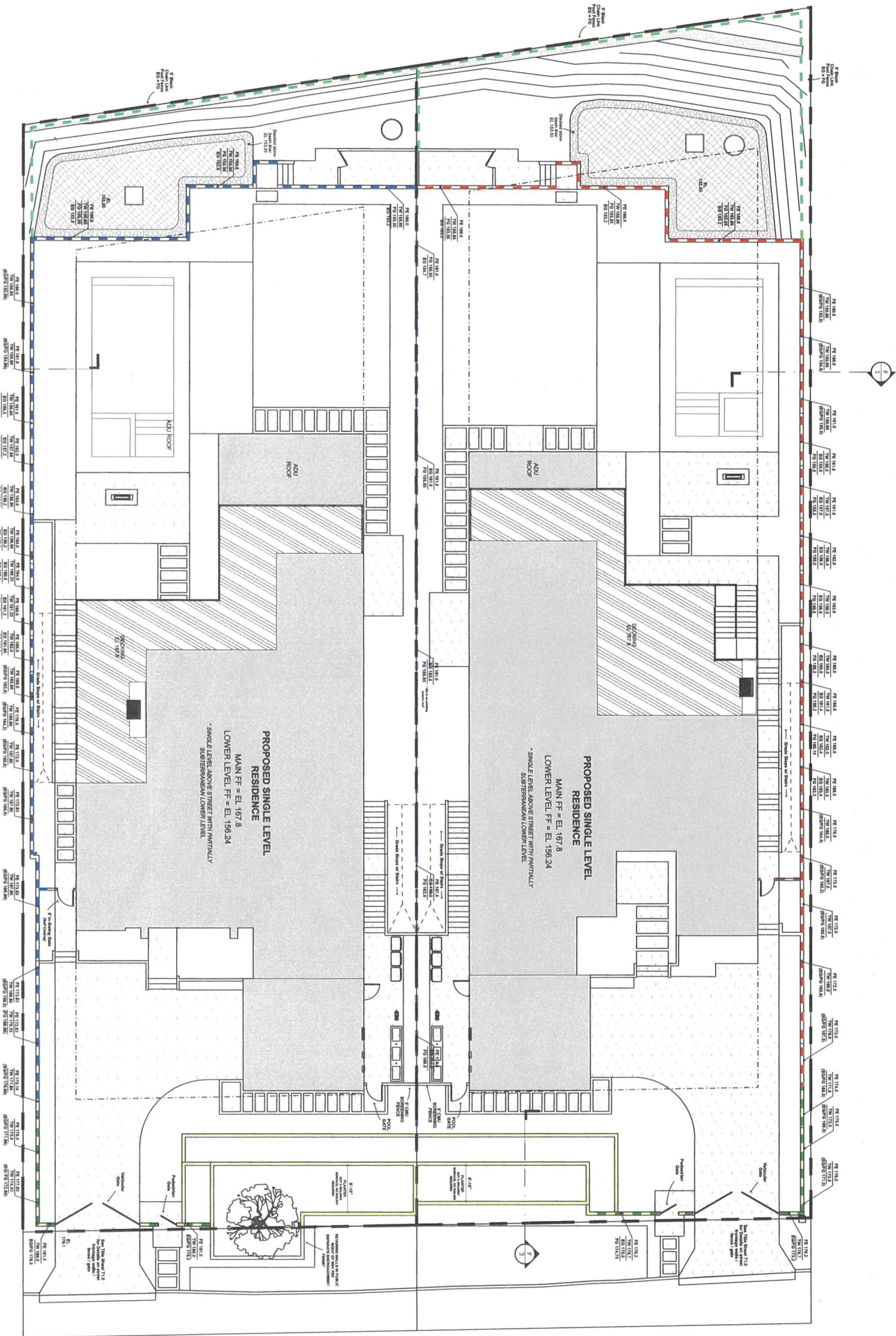
HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

PLOT PLAN

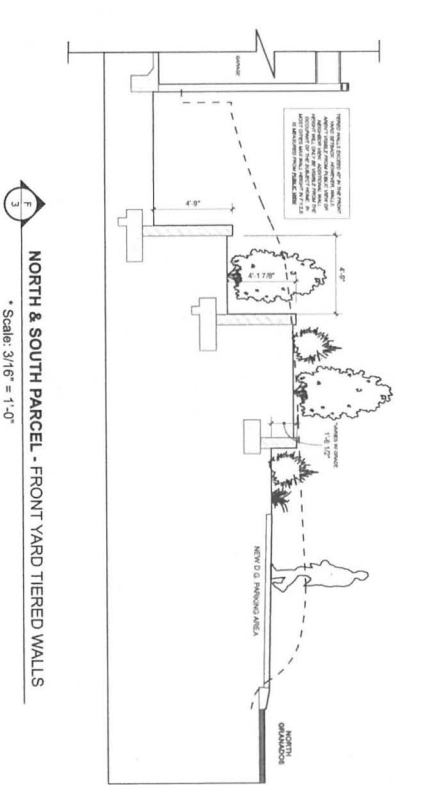
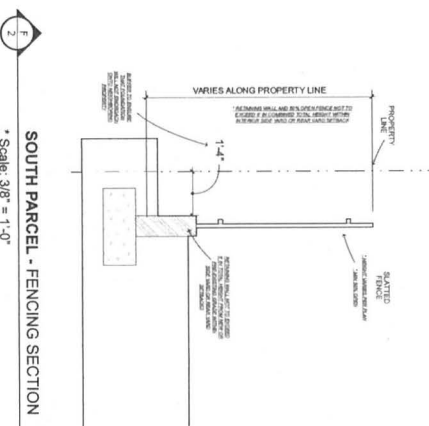
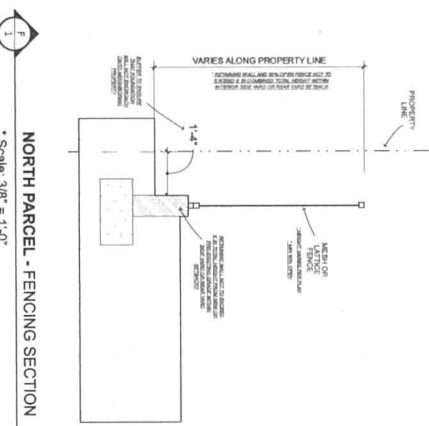
FENCINIG DIAGRAM

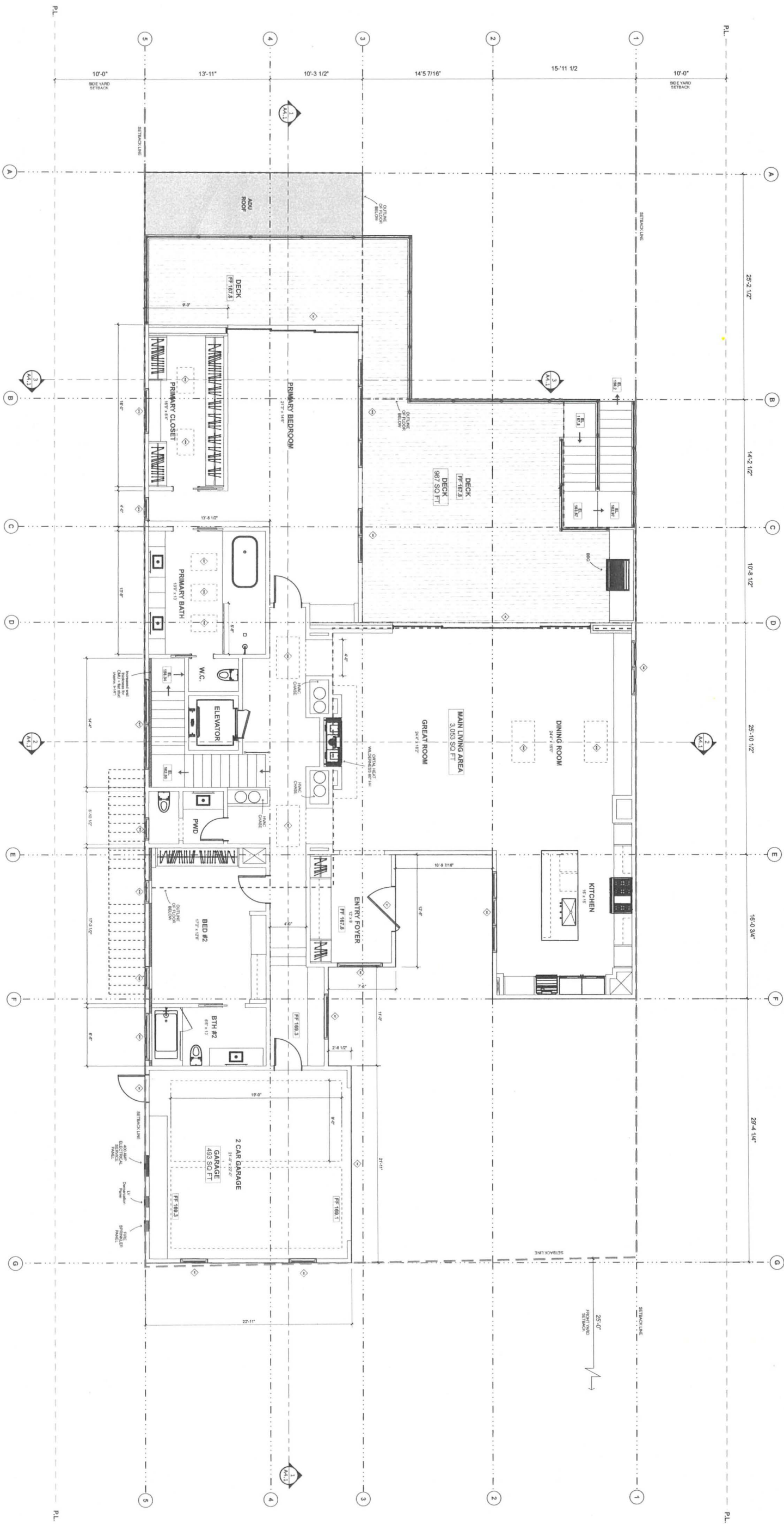


P.1.3 PLOT PLAN - FENCING DIAGRAM
Scale: 1" = 10'

KEY NOTES - FENCING DIAGRAM	
MESH OR LANTER FENCE	
SLATED VERTICAL FENCE	
SLATED HORIZONTAL FENCE	
5" BLACK CHAIN LINK FENCE	
WALLS / FENCE IN F.Y.S.B.	

ABBREVIATIONS:
FF = finished grade at top of fence
T.V. = top of Chain Link
A.O. = finished grade at top of Chain Link
S.O. = finished grade at top of Chain Link
E.O. = existing grade at Chain Link location





A
1.1 FLOOR PLAN NORTH PARCEL - MAIN LEVEL
Scale: 3/16" = 1'-0"

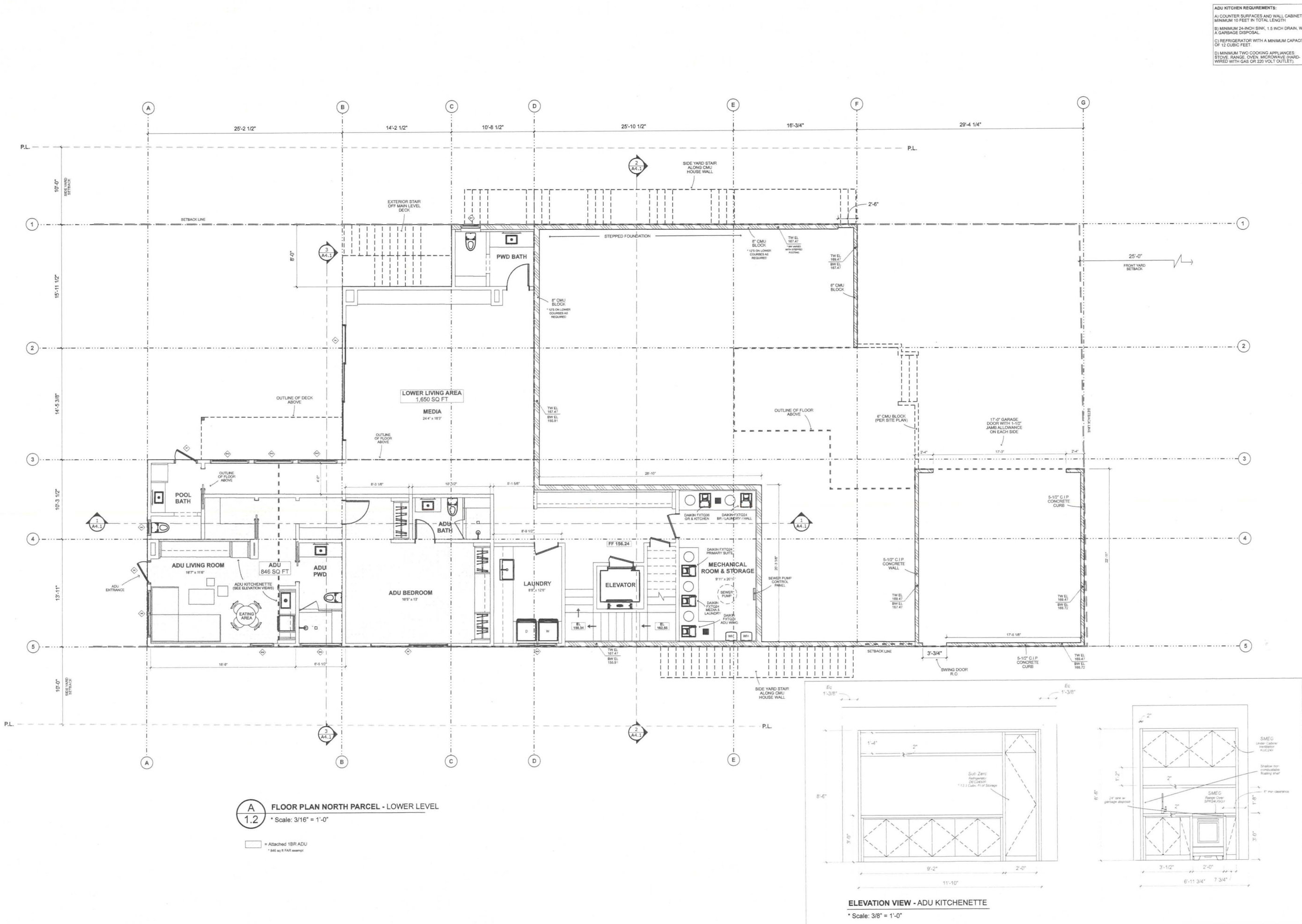
FLOOR PLAN
NORTH PARCEL - MAIN LEVEL

ISSUE
4/23/25

PROJECT
615 N GRANADOS
APN#
263-082-17-00

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

MM/DD/YY		REMARKS
1	01/12/24	FIRST ROUND CITY CORRECTIONS
2	3/6/24	SECOND ROUND CITY CORRECTIONS
3	6/10/24	THIRD ROUND CITY CORRECTIONS
4	10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5	4/23/25	CITY COUNCIL REVISIONS



MM/DD/YY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

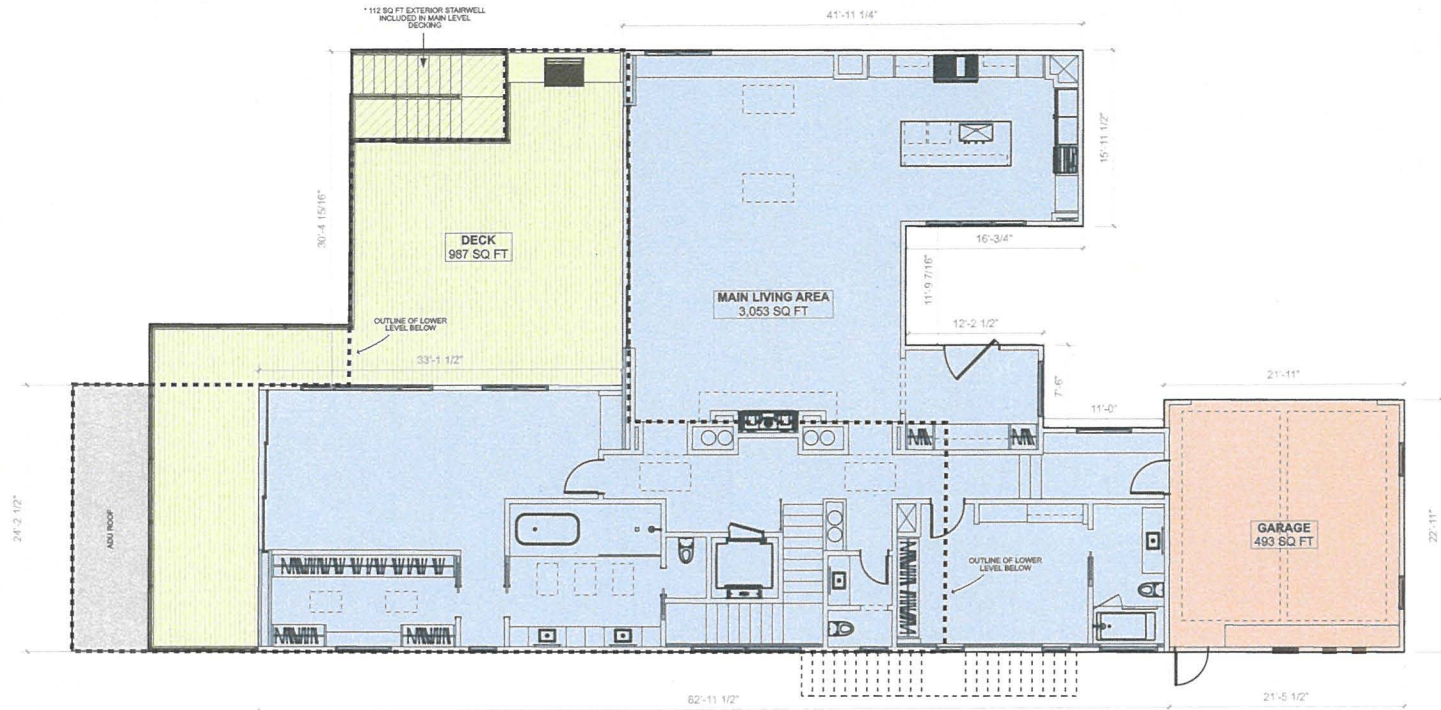
HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

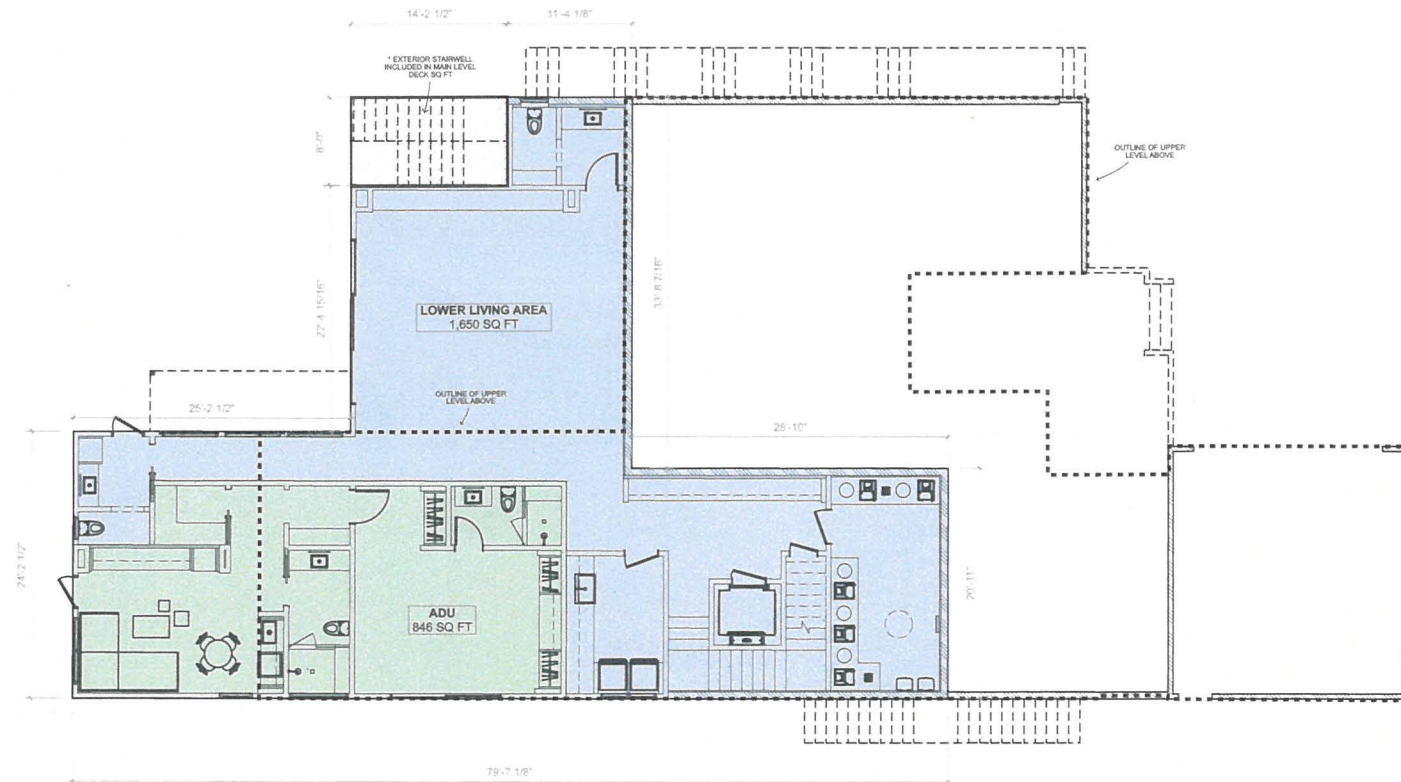
ISSUE
4/23/25

FLOOR PLAN
NORTH PARCEL - LOWER LEVEL

A.1.2



A
1.3 F.A.R. DIAGRAM NORTH PARCEL - MAIN LEVEL
* Scale: 1/8" = 1'-0"



A
1.3 F.A.R. DIAGRAM NORTH PARCEL - LOWER LEVEL
* Scale: 1/8" = 1'-0"

FLOOR AREA DIAGRAM KEY	
	LIVING SPACE SQ. FT.
	ADU SQ. FT.
	GARAGE SQ. FT.
	PATIO & DECK SQ. FT.
	STAIRS / SPECIAL FEATURES

MAXIMUM ALLOWABLE FLOOR AREA (FAR)	
Tiered Allocation	North Lot @ 18,302 sf
0.500 for first 6,000 sf	3,000 sf
0.175 for 6,001 to 15,000 sf	1,575 sf
0.100 for 15,001 to 20,000 sf	330 sf
Maximum Allowable FAR	4,905 sf

FLOOR AREA SUMMARY - NORTH PARCEL	
Description of Space	Included
Main Level Living Area	3,053 S.F.
Lower Level Living Area	1,650 S.F.
Main Level Garage	493 S.F.
Subtotal	5,196 S.F.
Off Street Parking Exemption	400 S.F.
Total Proposed Floor Area	4,796 S.F.
Below Max	109 S.F.
Attached 1BR ADU	846 S.F.

FLOOR AREA DIAGRAM NORTH PARCEL

PROJECT
615 N GRANADOS

APN#
263-082-17-00

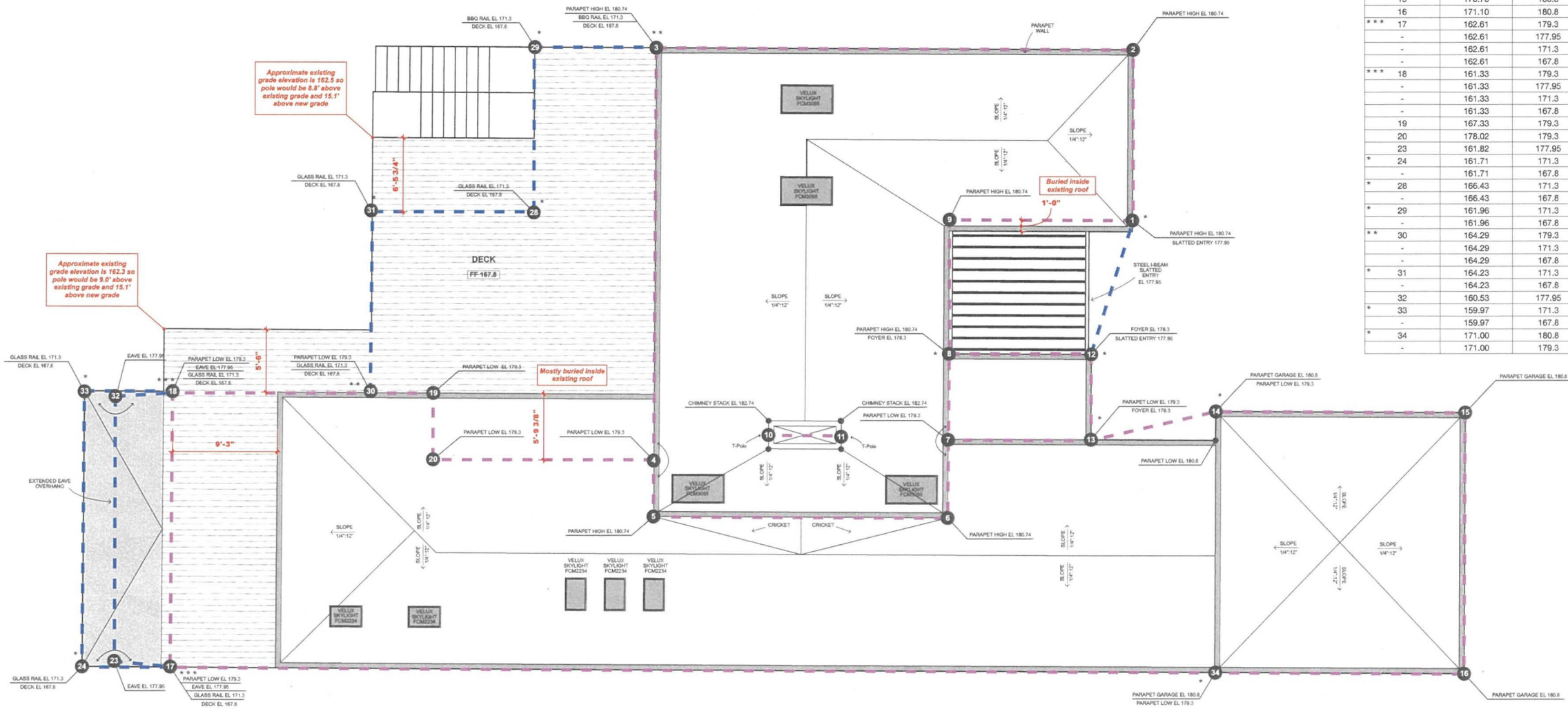
ISSUE
4/23/25

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075

APPLICANT INFO:
Ryan Gad
(858)204-7457

MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS





Approximate existing grade elevation is 162.3 so pole would be 9.0' above existing grade and 15.1' above new grade

Approximate existing grade elevation is 162.5 so pole would be 8.8' above existing grade and 15.1' above new grade

Mostly buried inside existing roof

Buried inside existing roof

KEY NOTES - STORY POLE PLAN	
	LIVING SPACE
	DECK / RAILING / EAVE
*	2 STRINGS TIED TO POLE
**	3 STRINGS TIED TO POLE
***	4 STRINGS TIED TO POLE

A
2.2 STORY POLE PLAN - NORTH PARCEL
* Scale: 3/16" = 1'-0"

STORY POLE #	POINT EL.	PLAN EL.	CUT / FILL	DESCRIPTION
* 1	177.69	180.74	F - 3.05'	Parapet High
-	177.69	177.95	F - 0.26'	Slatted Entry
2	165.85	180.74	F - 14.89'	Parapet High
** 3	163.26	180.74	F - 17.48'	Parapet High
-	163.26	171.3	F - 8.04'	Glass Railing
-	163.26	167.8	F - 4.54'	Deck
4	177.53	179.3	F - 1.77'	Parapet Low
5	178.20	180.74	F - 2.54'	Parapet High
6	179.01	180.74	F - 1.73'	Parapet High
7	178.87	179.3	F - 0.43'	Parapet Low
* 8	178.30	180.74	F - 2.44'	Parapet High
-	178.30	178.3	F - 0.00'	Foyer
9	178.33	180.74	F - 2.41'	Parapet High
10	178.22	182.74	F - 4.52'	T-Pole Chimney
11	168.29	182.74	F - 13.95'	T-Pole Chimney
* 12	178.62	178.3	C - 0.32'	Foyer
-	178.62	177.95	C - 0.67'	Slatted Entry
* 13	179.73	179.3	C - 0.43'	Parapet Low
-	179.73	178.3	C - 1.43'	Foyer
* 14	170.67	180.8	F - 10.13'	Parapet Garage
-	170.67	179.3	F - 8.63'	Parapet Low
15	170.70	180.8	F - 10.10'	Parapet Garage
16	171.10	180.8	F - 9.70'	Parapet Garage
*** 17	162.61	179.3	F - 16.69'	Parapet Low
-	162.61	177.95	F - 15.34'	Eave Overhang
-	162.61	171.3	F - 8.69'	Glass Rail
-	162.61	167.8	F - 5.19'	Deck
*** 18	161.33	179.3	F - 17.97'	Parapet Low
-	161.33	177.95	F - 16.62'	Eave Overhang
-	161.33	171.3	F - 9.97'	Glass Rail
-	161.33	167.8	F - 6.47'	Deck
19	167.33	179.3	F - 11.97'	Parapet Low
20	178.02	179.3	F - 1.28'	Parapet Low
23	161.82	177.95	F - 16.13'	Eave Overhang
* 24	161.71	171.3	F - 9.59'	Glass Railing
-	161.71	167.8	F - 6.09'	Deck
* 28	166.43	171.3	F - 4.87'	Glass Railing
-	166.43	167.8	F - 1.37'	Deck
* 29	161.96	171.3	F - 9.34'	Glass Railing
-	161.96	167.8	F - 5.84'	Deck
** 30	164.29	179.3	F - 15.01'	Parapet Low
-	164.29	171.3	F - 7.01'	Glass Railing
-	164.29	167.8	F - 3.51'	Deck
* 31	164.23	171.3	F - 7.07'	Glass Railing
-	164.23	167.8	F - 3.57'	Deck
32	160.53	177.95	F - 17.42'	Eave Overhang
* 33	159.97	171.3	F - 11.33'	Glass Railing
-	159.97	167.8	F - 7.83'	Deck
* 34	171.00	180.8	F - 9.80'	Parapet Garage
-	171.00	179.3	F - 8.30'	Parapet Low

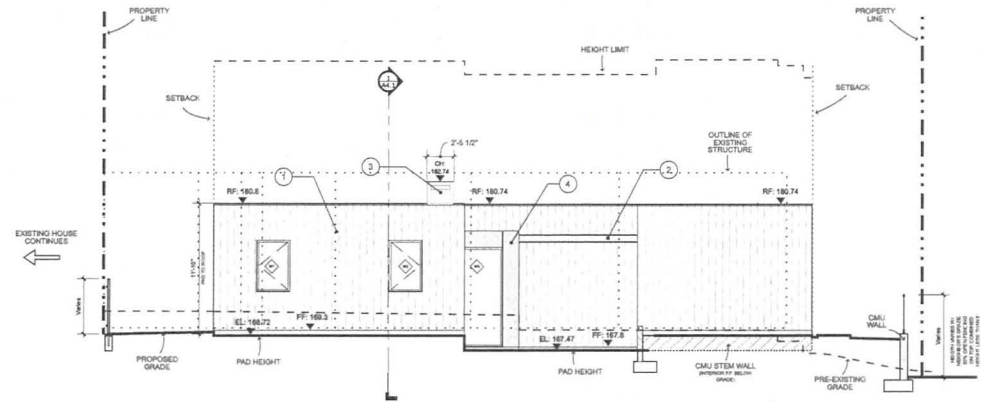
MMDDYY	REMARKS
1	FIRST ROUND CITY CORRECTIONS
2	SECOND ROUND CITY CORRECTIONS
3	THIRD ROUND CITY CORRECTIONS
4	FOURTH ROUND NEIGHBOR CORRECTIONS
5	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

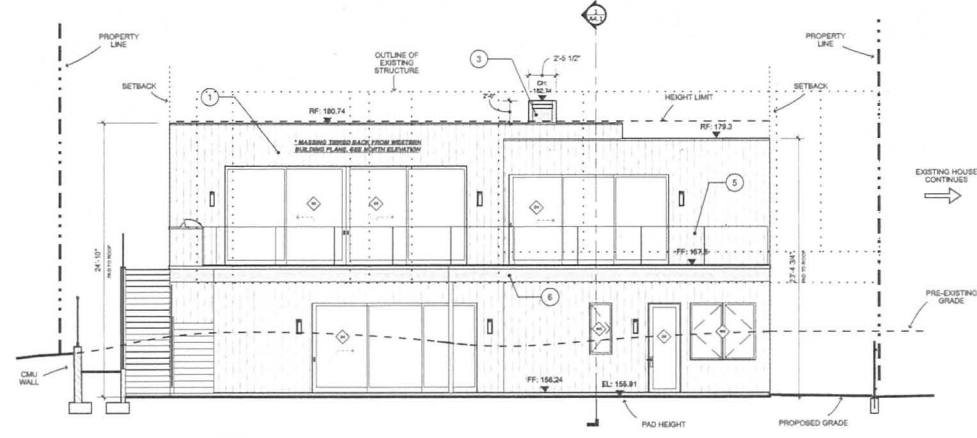
PROJECT
615 N GRANADOS

ISSUE
4/23/25

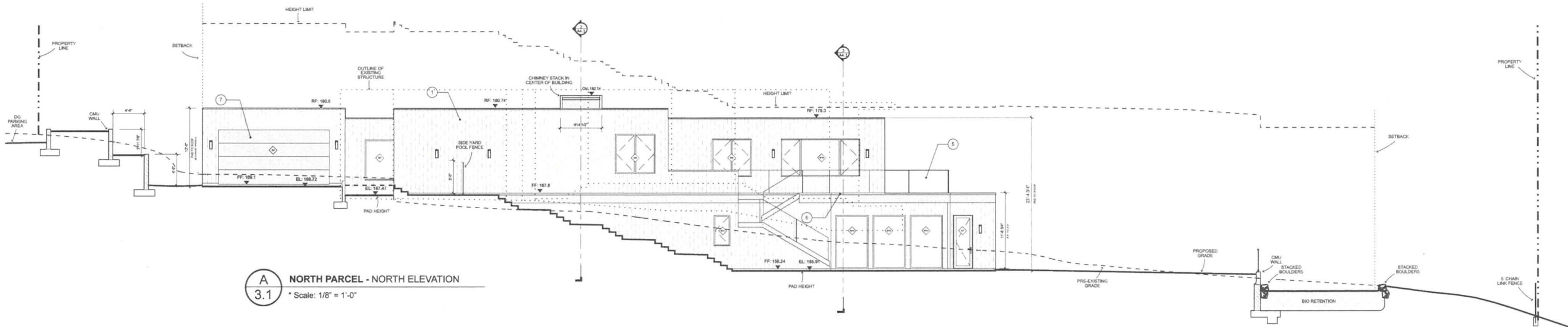
STORY POLE PLAN
NORTH PARCEL



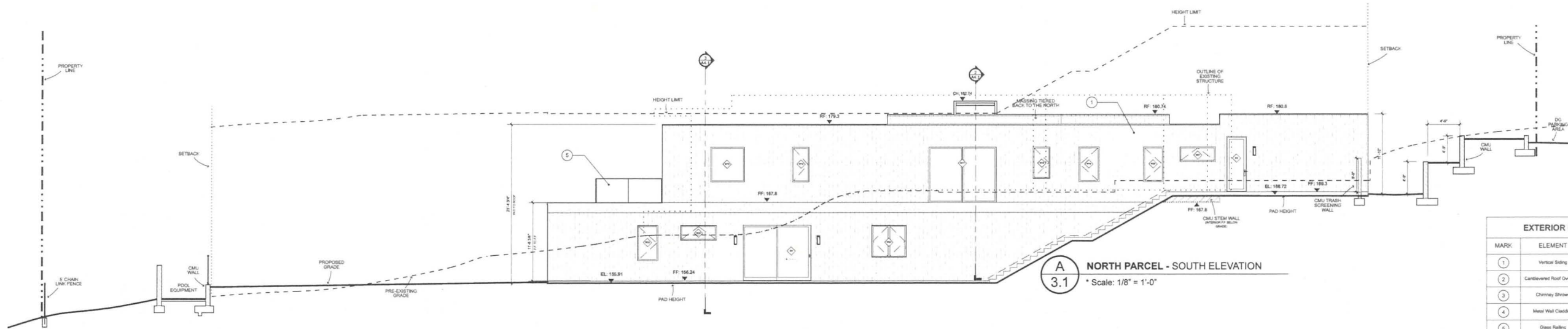
A 3.1 NORTH PARCEL - EAST ELEVATION
* Scale: 1/8" = 1'-0"



A 3.1 NORTH PARCEL - WEST ELEVATION
* Scale: 1/8" = 1'-0"



A 3.1 NORTH PARCEL - NORTH ELEVATION
* Scale: 1/8" = 1'-0"



A 3.1 NORTH PARCEL - SOUTH ELEVATION
* Scale: 1/8" = 1'-0"

MARK	ELEMENT	DESCRIPTION
1	Vertical Siding	Embossed Millboard Golden Oak Color
2	Cantilevered Roof Overhang	Plaster Coated 1/2" Board with 1/2" wide or wood T&G Joist
3	Chimney Shovel	Decorative copper shingles to conceal spout, ammeter
4	Metal Wall Cladding	Kynar Coated Aluminum or Blackened Steel Wall Panels
5	Glass Railing	Glass Full Protection Railing Installed in Base Stone
6	Metal Fences	Copper Fences with Bolt Spikes
7	Garage Door	Kynar Coated Aluminum or Blackened Steel Custom Garage Doors

MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

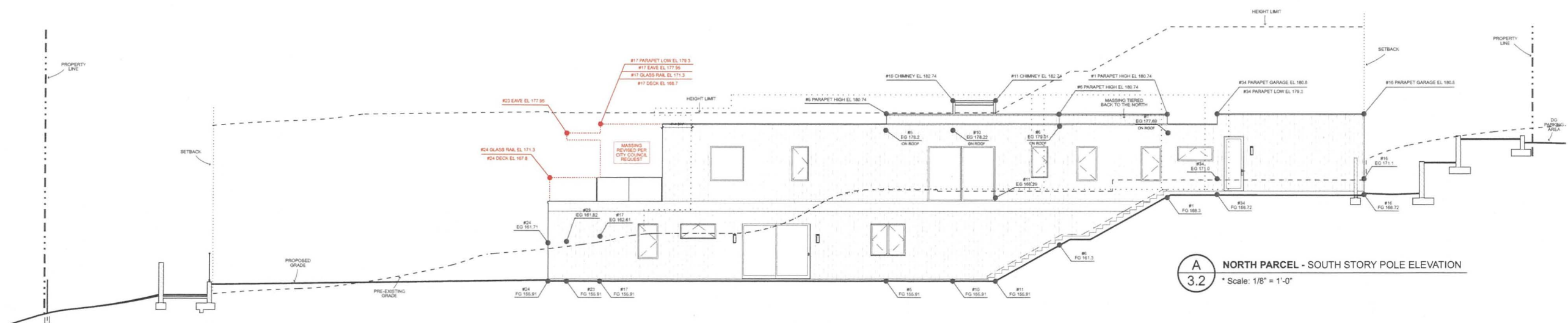
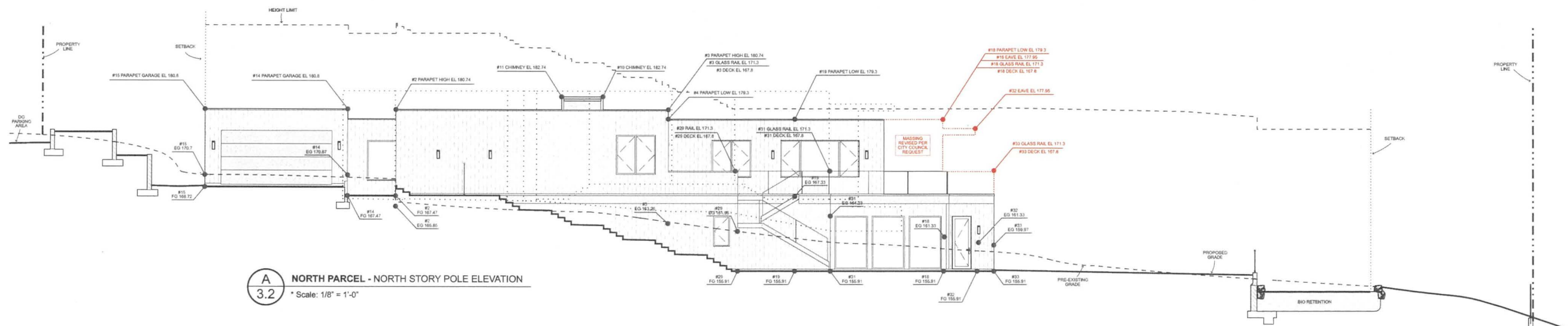
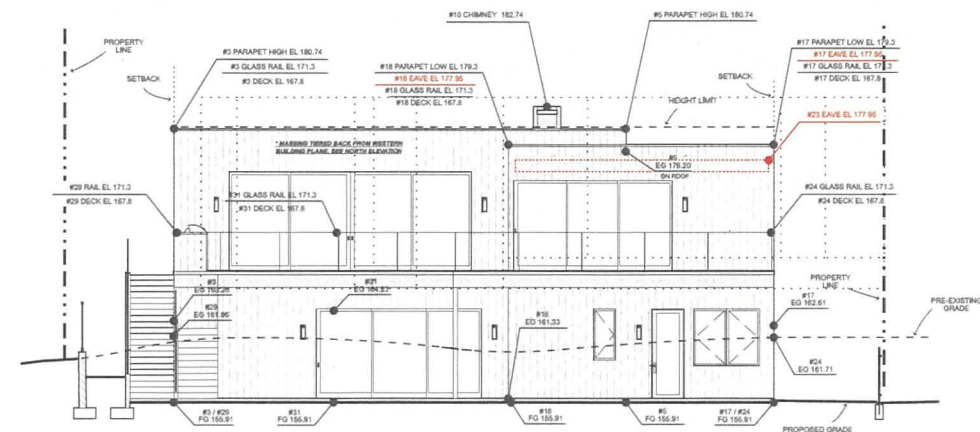
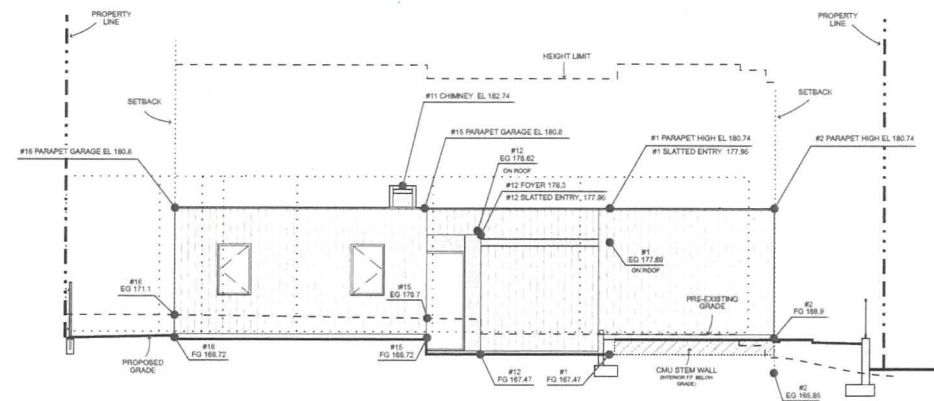
HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

ELEVATIONS
NORTH PARCEL

A.3.1



MIDDLE CITY	REMARKS
1	FIRST ROUND CITY CORRECTIONS
2	SECOND ROUND CITY CORRECTIONS
3	THIRD ROUND CITY CORRECTIONS
4	FOURTH ROUND NEIGHBOR CORRECTIONS
5	CITY COUNCIL REVISIONS

238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

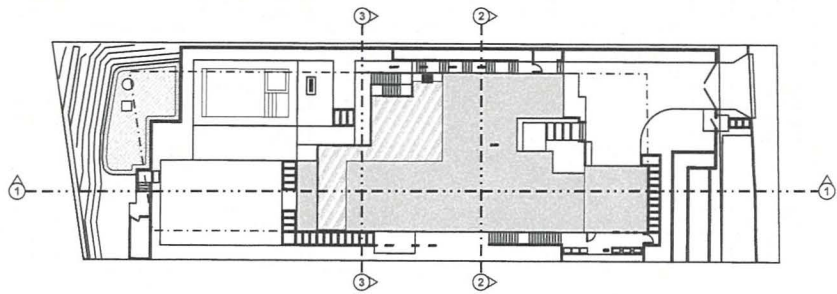
APN#
263-082-17-00

4/23/25

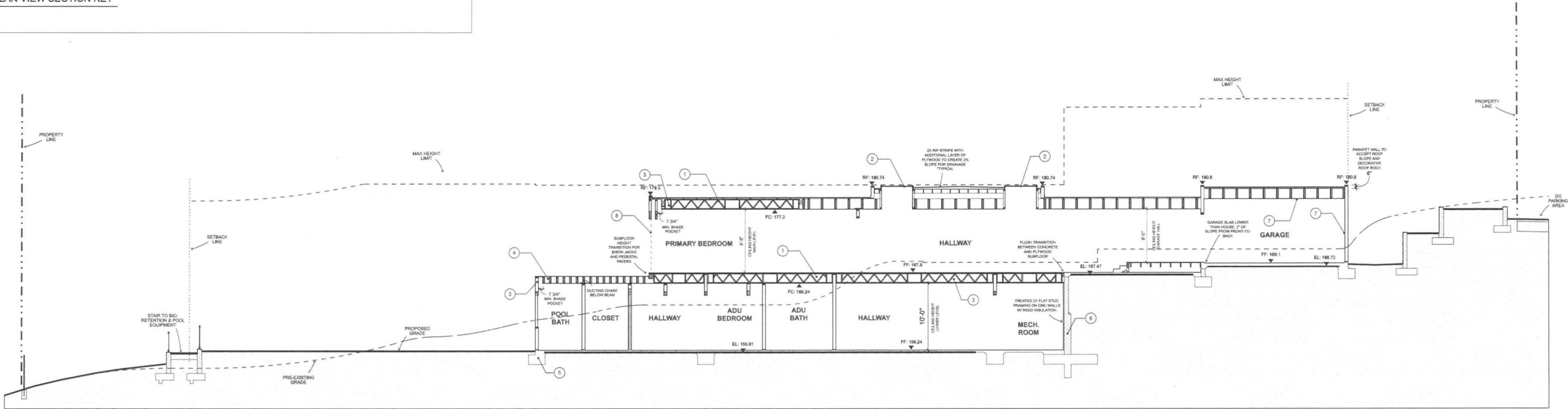
STORY POLE ELEVATIONS

NORTH PARCEL

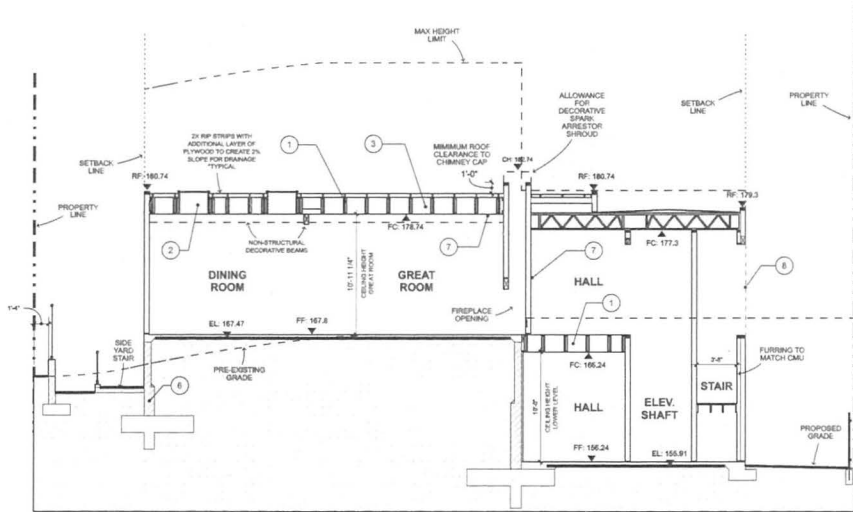
A.3.2



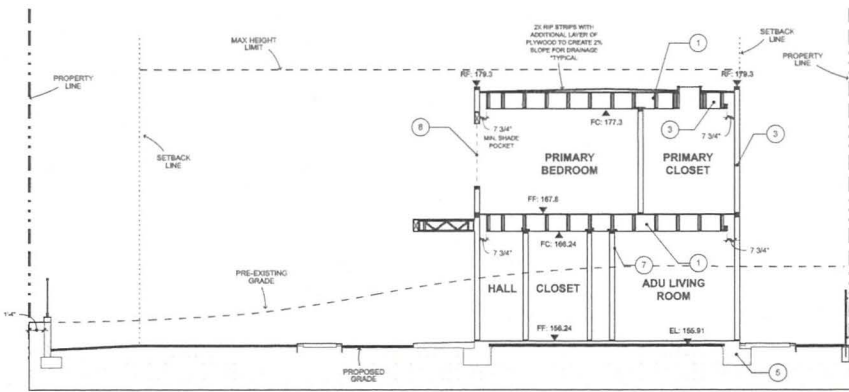
NORTH PARCEL - PLAN VIEW SECTION KEY
* Scale: Not to Scale



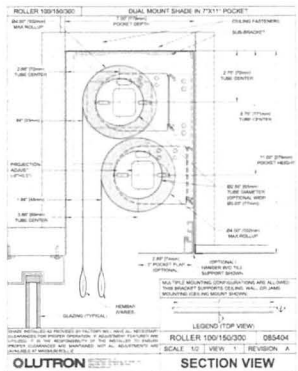
1
A4.1
NORTH PARCEL - SECTION #1
* Scale: 1/8" = 1'-0"



2
A4.1
NORTH PARCEL - SECTION #2
* Scale: 1/8" = 1'-0"



3
A4.1
NORTH PARCEL - SECTION #3
* Scale: 1/8" = 1'-0"



KEY NOTES - SECTIONS		
MARK	ELEMENT	DESCRIPTION
1	T/12 Truss Joint	Trim/Joint Open Truss Framing
2	Velux Skylight	See 1 Type Per "Door & Window" Schedule
3	Insulation	R-Value & Type Per T-24 Sheets
4	T/12 Truss Joint	Trim/Joint Open Truss Framing
5	Continuous Furring	Details Per Structural Sheets
6	CMU Foundation Wall	Details Per Structural Sheets
7	5/8" Shear Rock	20 min Fire Rating @ Garage, Greenhouse, in Garage, Laundry, Bath & Lower Level
8	Window or Door Opening	See Elevation or Floorboard

MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

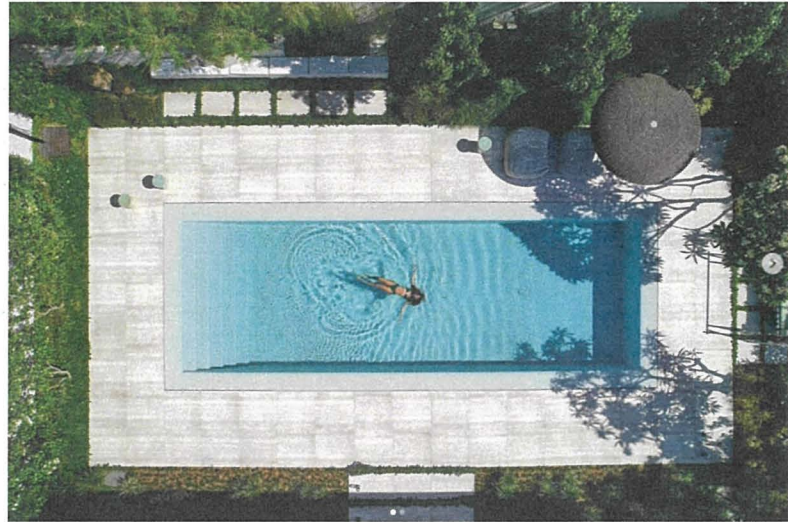
HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

SECTIONS
NORTH PARCEL

A.4.1



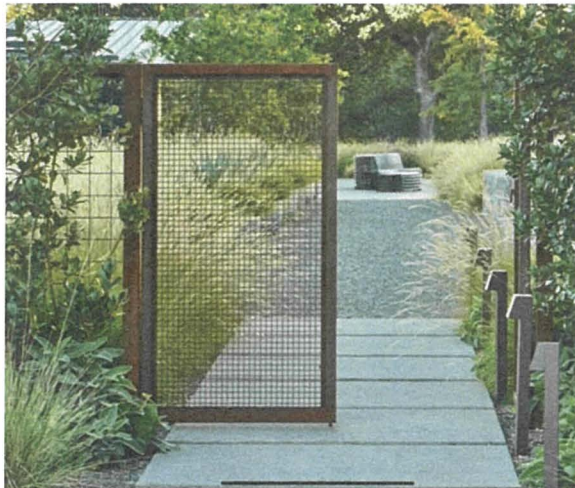
POOL - LIGHT COLORED PLASTER / NATURAL GRAY CONCRETE OR PORCELAIN TILE AND COMPOSITE WOOD POOL DECK



GLASS RAILING - CONCEALED BASE SHOE GLASS RAILING ALONG DECK



METAL ACCENTS - CORTEN STEEL LANDSCAPE EDGING AND COPPER BEAUTY METAL



GENERAL OUTDOOR - NATURAL GRAY CONCRETE FLATWORK / 3/8" GLACIER PEBBLE DECORATIVE ROCK / LUSH GREEN LANDSCAPING AGAINST NATURAL TONE COMPOSITE SIDING AND CORTEN STEEL FREE STANDING PLANTERS



FLAT ROOF - TORCH DOWN ROOF WITH LAVA ROCK AND COPPER FASCIA
CLADDING - MILLBOARD ENVELO COMPOSITE SHADOW LINE CLADDING IN GOLDEN OAK
GATES - COMPOSITE WOOD CLAD FRAME WITH CORTEN STEEL MESH INFILL

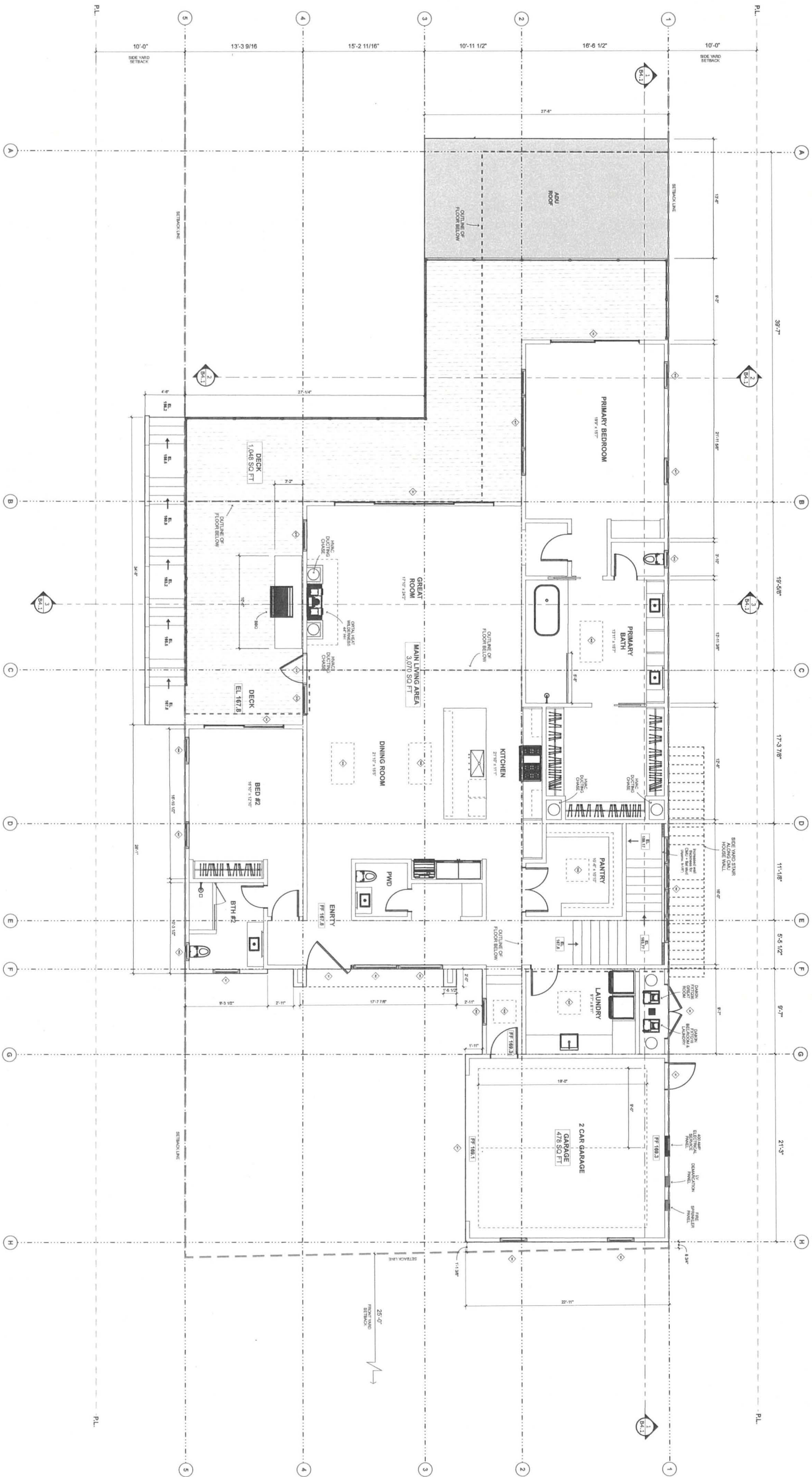
MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

MATERIALS
BOARD
NORTH PARCEL - MATERIALS BOARD



B FLOOR PLAN SOUTH PARCEL - MAIN LEVEL
1.1 Scale: 3/16" = 1'-0"

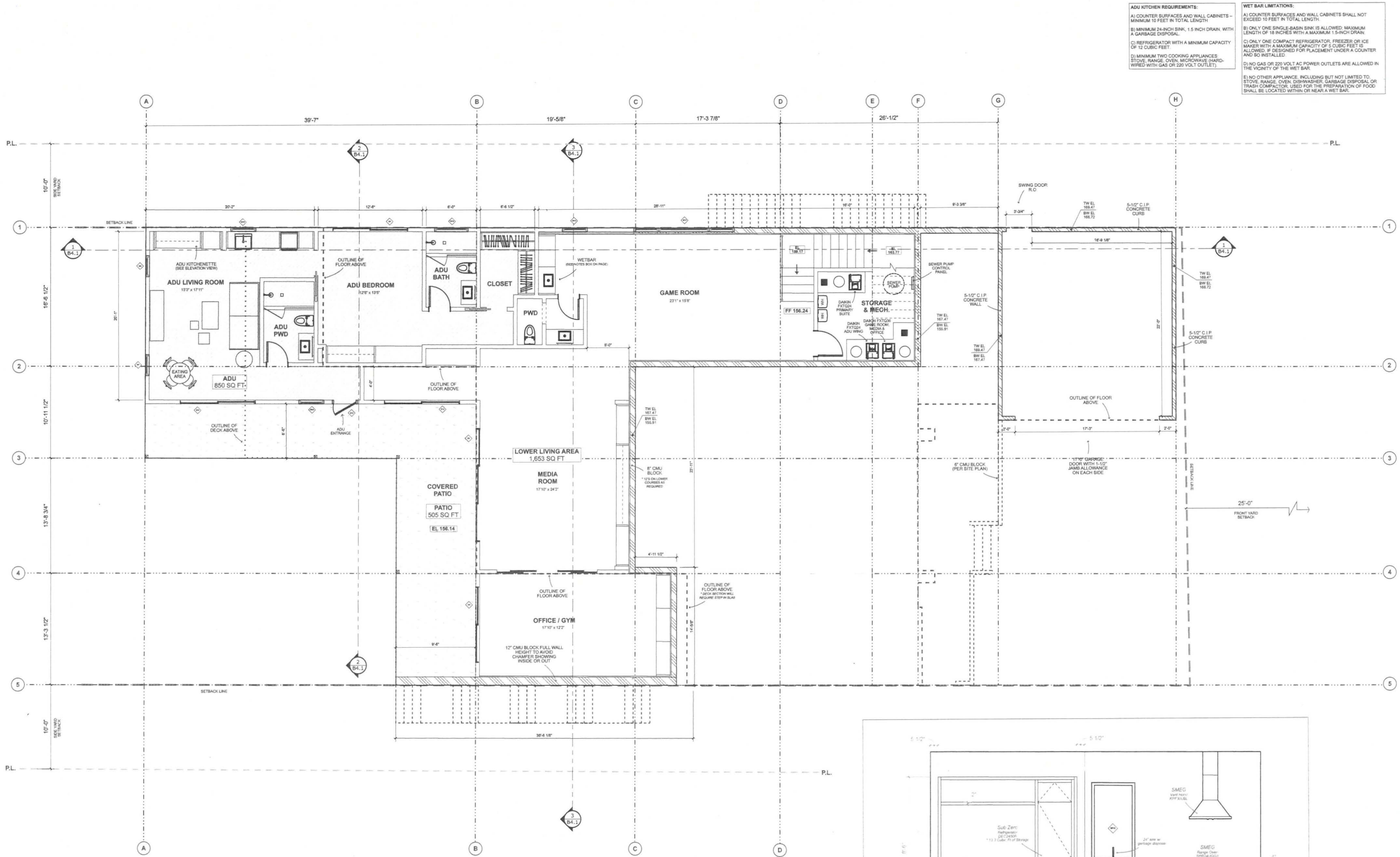
FLOOR PLAN
SOUTH PARCEL - MAIN LEVEL

ISSUE
4/23/25

PROJECT
615 N GRANADOS
Suite 201
Solana Beach, CA 92075
APN#
263-082-17-00

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

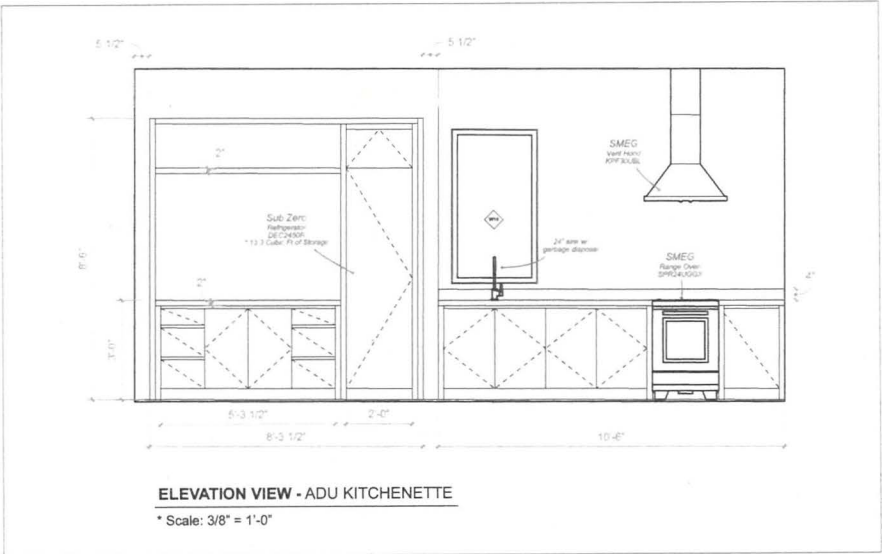
MM/DD/YY		REMARKS
1	01/12/24	FIRST ROUND CITY CORRECTIONS
2	3/6/24	SECOND ROUND CITY CORRECTIONS
3	6/10/24	THIRD ROUND CITY CORRECTIONS
4	10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5	4/23/25	CITY COUNCIL REVISIONS



- ADU KITCHEN REQUIREMENTS:**
- A) COUNTER SURFACES AND WALL CABINETS - MINIMUM 10 FEET IN TOTAL LENGTH
 - B) MINIMUM 24-INCH SINK, 1.5 INCH DRAIN, WITH A GARBAGE DISPOSAL
 - C) REFRIGERATOR WITH A MINIMUM CAPACITY OF 12 CUBIC FEET
 - D) MINIMUM TWO COOKING APPLIANCES: STOVE, RANGE, OVEN, MICROWAVE (HARD-WIRED WITH GAS OR 220 VOLT AC OUTLET)
- WET BAR LIMITATIONS:**
- A) COUNTER SURFACES AND WALL CABINETS SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH
 - B) ONLY ONE SINGLE-BASIN SINK IS ALLOWED. MAXIMUM LENGTH OF 18 INCHES WITH A MAXIMUM 1.5-INCH DRAIN
 - C) ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER WITH A MAXIMUM CAPACITY OF 5 CUBIC FEET IS ALLOWED, IF DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED
 - D) NO GAS OR 220 VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR
 - E) NO OTHER APPLIANCE, INCLUDING BUT NOT LIMITED TO: STOVE, RANGE, OVEN, DISHWASHER, GARBAGE DISPOSAL OR TRASH COMPACTOR, USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR

B
1.2 FLOOR PLAN SOUTH PARCEL - LOWER LEVEL
* Scale: 3/16" = 1'-0"

□ = Attached 1BR ADU
* 850 sq. ft. FAR exempt



ELEVATION VIEW - ADU KITCHENETTE
* Scale: 3/8" = 1'-0"

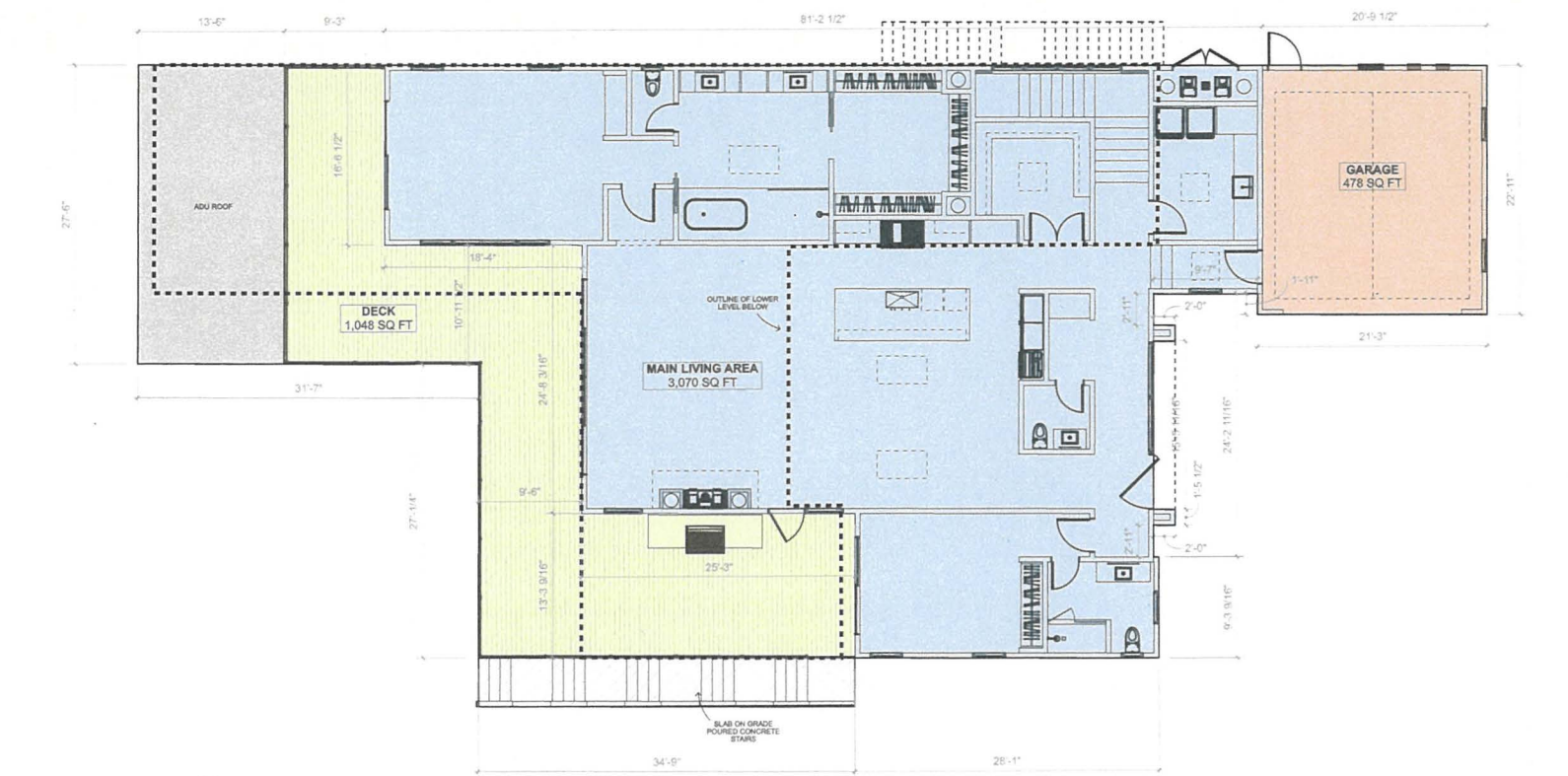
MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

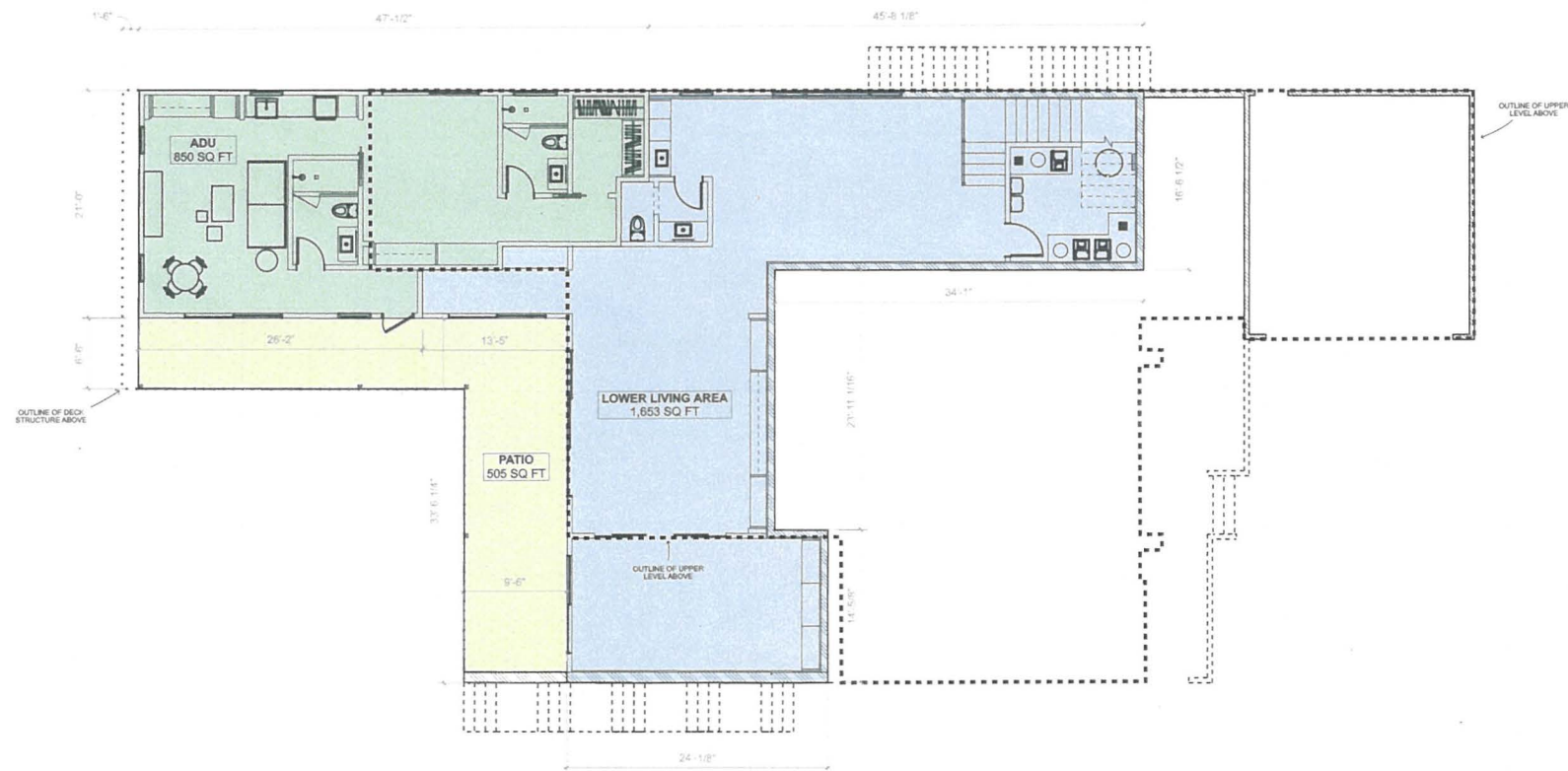
PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

FLOOR PLAN
SOUTH PARCEL - LOWER LEVEL



B
1.3 FLOOR PLAN SOUTH PARCEL - MAIN LEVEL
* Scale: 1/8" = 1'-0"



B
1.3 FLOOR PLAN SOUTH PARCEL - LOWER LEVEL
* Scale: 1/8" = 1'-0"

FLOOR AREA DIAGRAM KEY	
	LIVING SPACE SQ FT
	ADU SQ FT
	GARAGE SQ FT
	PATIO & DECK SQ FT
	STAIRS / SPECIAL FEATURES

MAXIMUM ALLOWABLE FLOOR AREA (FAR)	
Tiered Allocation	South Lot @ 17,532 sf
0.500 for first 6,000 sf	3,000 sf
0.175 for 6,001 to 15,000 sf	1,575 sf
0.100 for 15,001 to 20,000 sf	253 sf
Maximum Allowable FAR	4,828 sf

FLOOR AREA SUMMARY - SOUTH PARCEL	
Description of Space	Included
Main Level Living Area	3,070 S.F.
Lower Level Living Area	1,653 S.F.
Main Level Garage	478 S.F.
Subtotal	5,201 S.F.
Off Street Parking Exemption	400 S.F.
Total Proposed Floor Area	4,801 S.F.
Below Max	27 S.F.
Attached 1BR ADU	850 S.F.

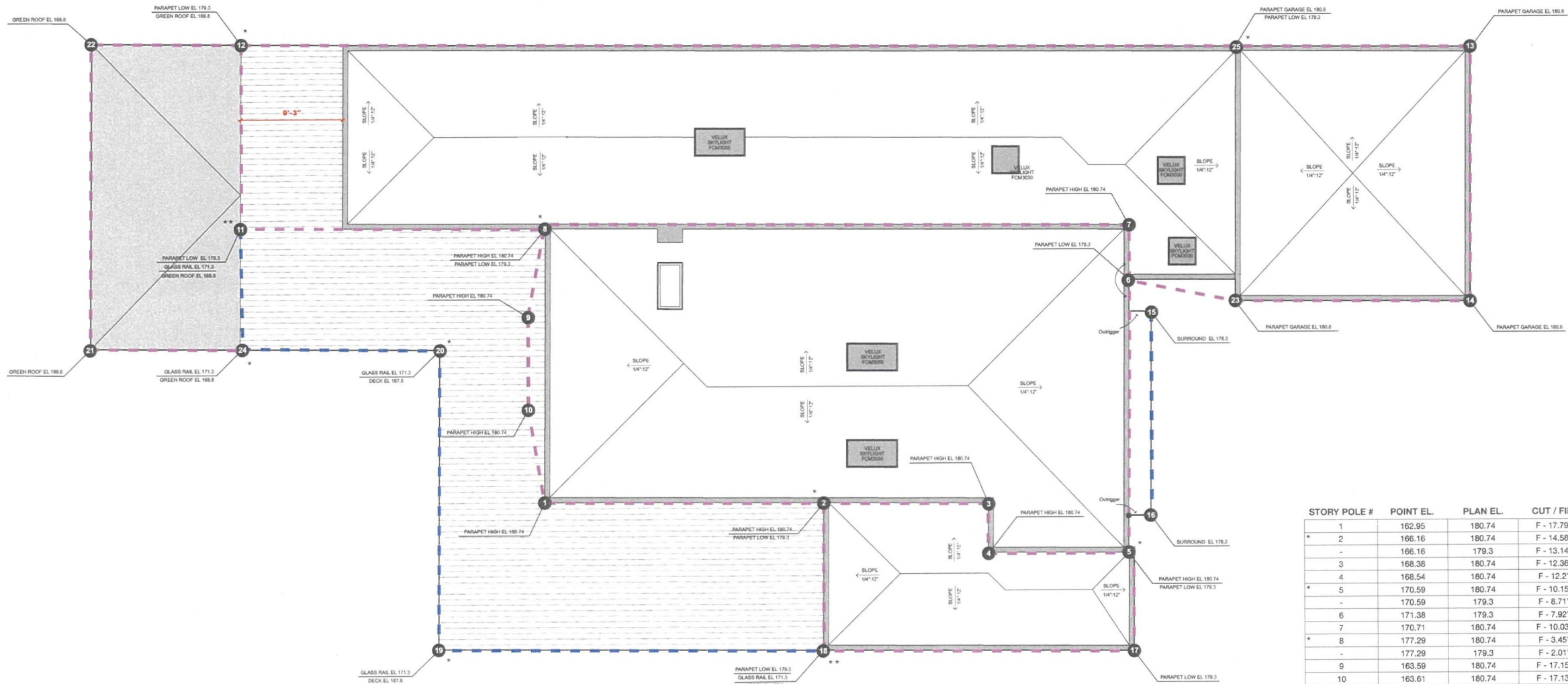
MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

**FLOOR AREA
DIAGRAM
SOUTH PARCEL**



KEY NOTES - STORY POLE PLAN	
	LIVING SPACE
	DECK / RAILING / EAVE
*	2 STRINGS TIED TO POLE
**	3 STRINGS TIED TO POLE
***	4 STRINGS TIED TO POLE

B
2.2 STORY POLE PLAN - SOUTH PARCEL
* Scale: 3/16" = 1'-0"

STORY POLE #	POINT EL.	PLAN EL.	CUT / FILL	DESCRIPTION
1	162.95	180.74	F - 17.79'	Parapet High
* 2	166.16	180.74	F - 14.58'	Parapet High
-	166.16	179.3	F - 13.14'	Parapet Low
3	168.38	180.74	F - 12.36'	Parapet High
4	168.54	180.74	F - 12.2'	Parapet High
* 5	170.59	180.74	F - 10.15'	Parapet High
-	170.59	179.3	F - 8.71'	Parapet Low
6	171.38	179.3	F - 7.92'	Parapet Low
7	170.71	180.74	F - 10.03'	Parapet High
* 8	177.29	180.74	F - 3.45'	Parapet High
-	177.29	179.3	F - 2.01'	Parapet Low
9	163.59	180.74	F - 17.15'	Parapet High
10	163.61	180.74	F - 17.13'	Parapet High
** 11	161.67	179.3	F - 17.63'	Parapet Low
-	161.67	171.3	F - 9.63'	Glass Railing
-	161.67	168.8	F - 7.13'	Green Roof
* 12	162.53	179.3	F - 16.77'	Parapet Low
-	162.53	168.8	F - 8.35'	Green Roof
13	171.88	180.8	F - 8.92'	Parapet Garage
14	180.80	180.8	F - 0'	Parapet Garage
15	171.25	179.3	F - 8.05'	Outrigger Surround
16	171.20	179.3	F - 8.1'	Outrigger Surround
17	169.94	179.3	F - 9.36'	Parapet Low
** 18	166.06	179.3	F - 13.24'	Parapet Low
-	166.06	171.3	F - 5.24'	Glass Railing
-	166.06	167.8	F - 1.74'	Deck
* 19	160.86	171.3	F - 10.44'	Glass Railing
-	160.86	167.8	F - 6.94'	Deck
* 20	162.38	171.3	F - 8.92'	Glass Railing
-	162.38	167.8	F - 5.42'	Deck
21	156.34	168.8	F - 12.46'	Green Roof
22	159.77	168.8	F - 9.03'	Green Roof
23	171.89	180.8	F - 8.91'	Parapet Garage
* 24	159.90	171.3	F - 11.4'	Glass Rail
-	159.90	168.8	F - 8.9	Green Roof
* 25	171.49	180.8	F - 9.31	Parapet Garage
-	171.49	179.3	F - 7.81	Parapet Low

* POLE #15 & POLE #16 WERE INSTALLED & REVIEWED AT 179.3 BUT ELEVATION WAS LOWERED TO 179.3 FOR ARCHITECTURAL PURPOSES

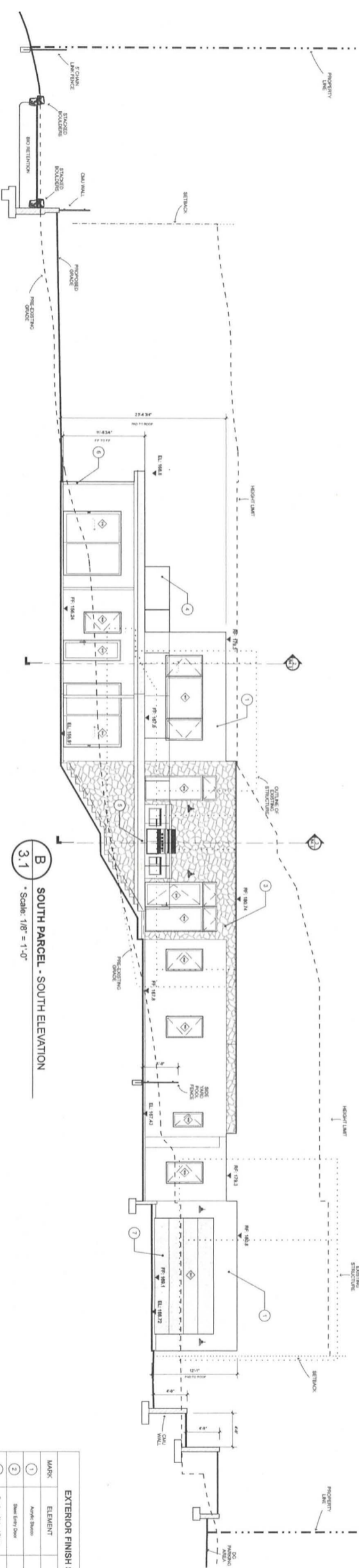
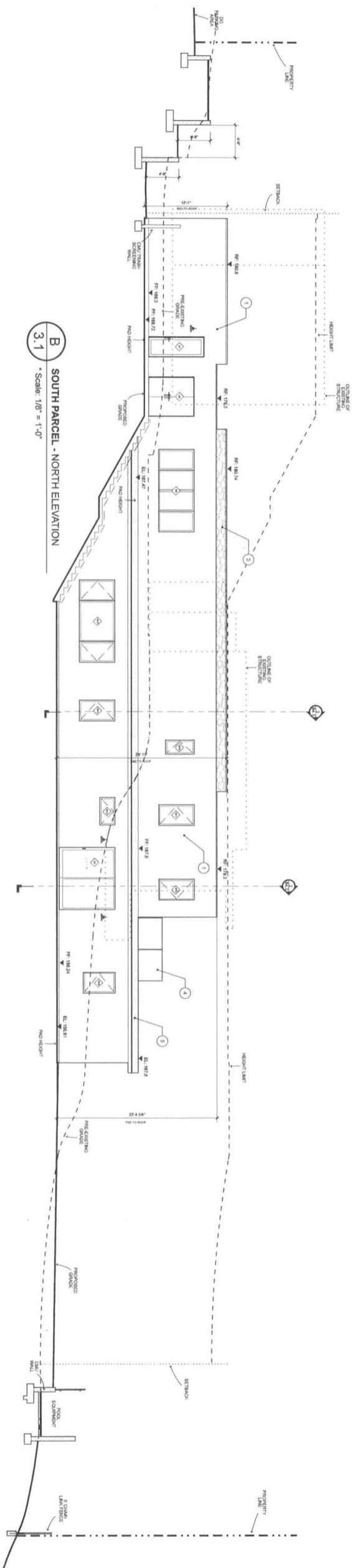
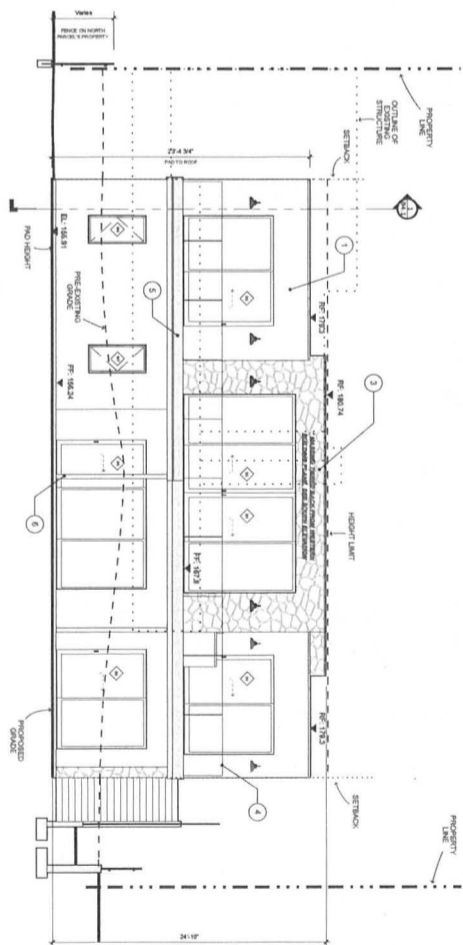
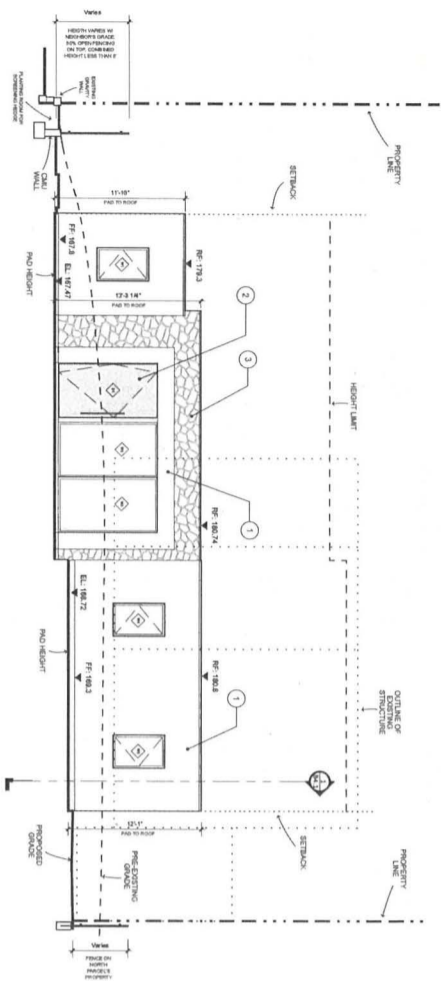
MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

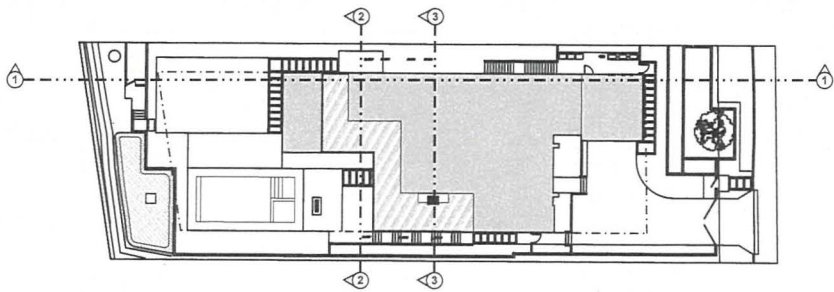
HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

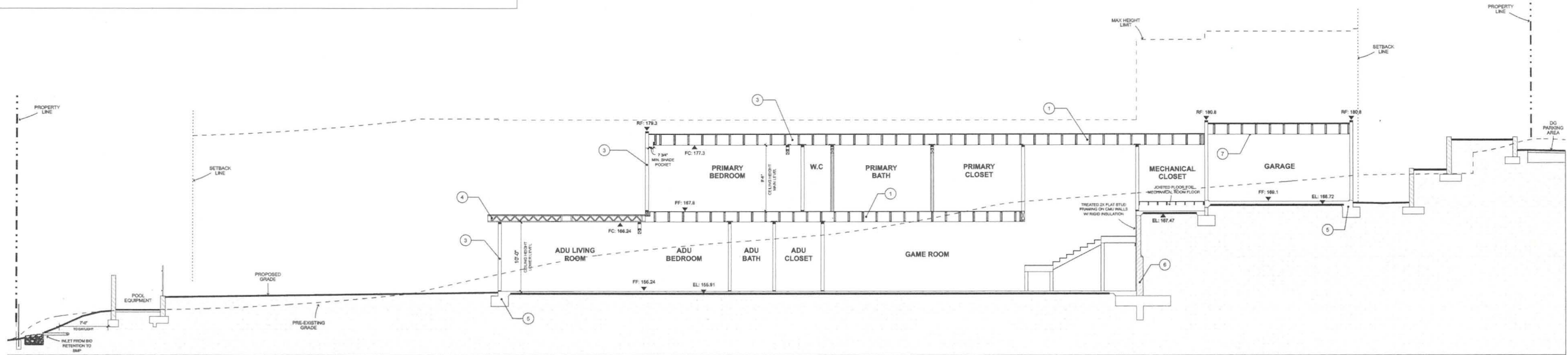
ISSUE
4/23/25

STORY POLE
PLAN
SOUTH PARCEL

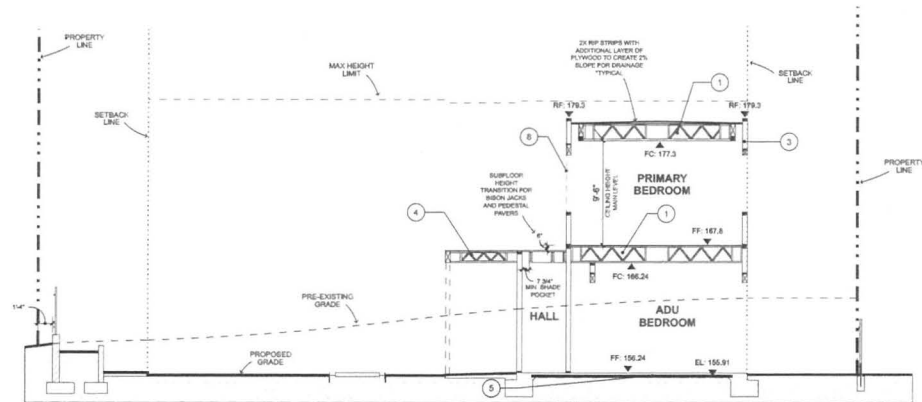
[illegible]



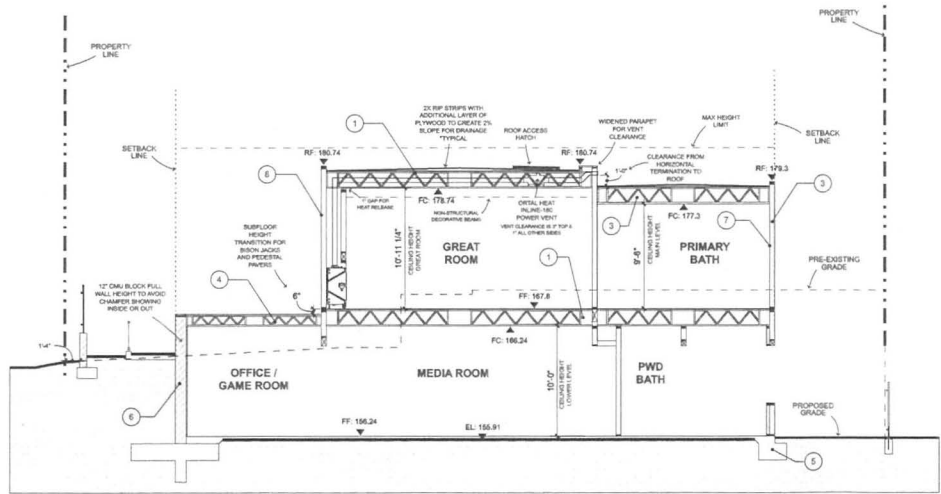
SOUTH PARCEL - PLAN VIEW SECTION KEY
* Scale: Not to Scale



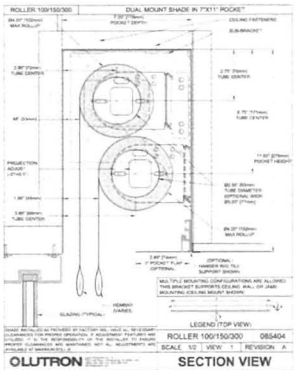
SOUTH PARCEL - SECTION #1
* Scale: 1/8" = 1'-0"



SOUTH PARCEL - SECTION #2
* Scale: 1/8" = 1'-0"



SOUTH PARCEL - SECTION #3
* Scale: 1/8" = 1'-0"



KEY NOTES - SECTIONS		
MARK	ELEMENT	DESCRIPTION
1	T-118 Truss Joist	TrussJoist Open Truss Framing
2	Velux Skylight	Size / Type Per "Door & Window" Schedule
3	Insulation	R-Value & Type Per T-24 Sheets
4	T-112 Truss Joist	TrussJoist Open Truss Framing
5	Continuous Fencing	Details Per Structural Sheets
6	CMU Foundation Wall	Details Per Structural Sheets
7	8"x8" Steel Rock	20' min Fire Rating @ Garage, Greenhouse, in Garage, Laundry, Bath & Lower Level
8	Window or Door Opening	Joist/Jamb Ed/Vue or Floor/Jamb

MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

SECTIONS
SOUTH PARCEL

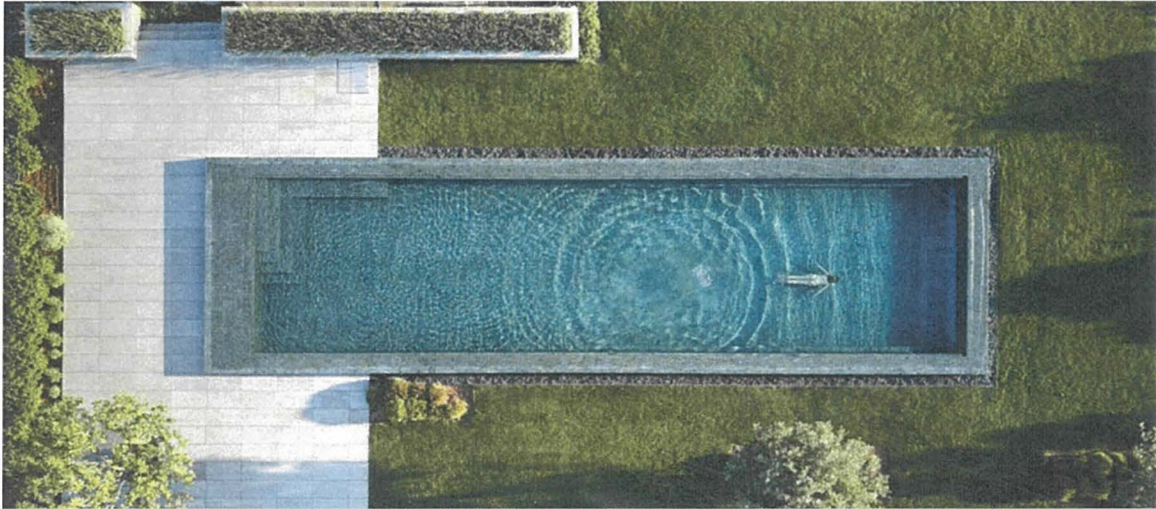
B.4.1



FENCING MATERIAL - VERTICAL OR HORIZONTAL SLATTED FENCE (50% OPEN) IN WOOD OR IRON



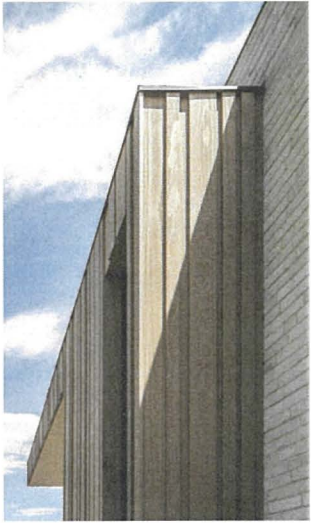
GLASS RAILING - MATTE BLACK WRAPPED FASCIA WITH GLASS RAILING



POOL - CHARCOAL GRAY FINISH WITH GRAY WATERLINE TILE / OFF-WHITE PORCELAIN TILE OR LIMESTONE DECKING



GENERAL OUTDOOR - NATURAL GRAY CONCRETE FLATWORK / ANCIENT OLIVES WITH GREEN FICUS HEDGING AND POPS OF COLOR WITH LAVENDER AND CHINESE STAR JASMINE



CLADDING - MIXTURE OF OFF-WHITE ACRYLIC STUCCO / FREE FORM NATURAL STONE / MATTE BLACK FASCIA METAL

FLAT ROOF - TORCH DOWN ROOF WITH LAVA ROCK AND MATTE BACK ALUMINUM FASCIA

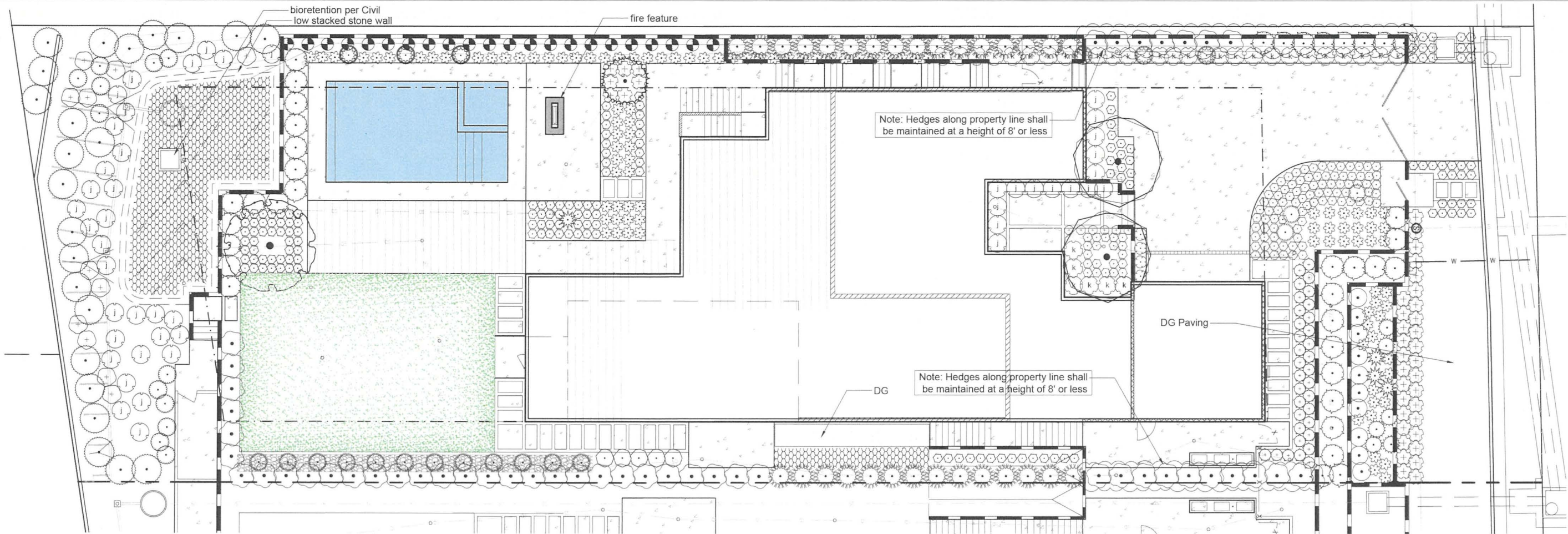
MMDDYY	REMARKS
1 01/12/24	FIRST ROUND CITY CORRECTIONS
2 3/6/24	SECOND ROUND CITY CORRECTIONS
3 6/10/24	THIRD ROUND CITY CORRECTIONS
4 10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5 4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

MATERIALS BOARD
SOUTH PARCEL - MATERIALS BOARD



Revisions:	
07-5-24	
08-30-24	
09-17-24	
01-17-25	
02-10-25	
02-12-25	
03-21-25	
04-25-25	
05-8-25	



615 GRANADOS AVE
Solana Beach, CA

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	MATURE HEIGHT
TREES					
	BEAUCHARNEA RECURVATA / ELEPHANT'S FOOT	48"BOX	1	LOW - MEDIUM	10 - 15FT. HT.
	FEIJOA SELLOWIANA / PINEAPPLE GUAVA	48"BOX	2	LOW	10 - 15FT. HT.
	OLEA EUROPAEA 'MONHER' / MAJESTIC BEAUTY® FRUITLESS OLIVE	72"BOX	1	VERY LOW - LOW	20 - 30FT.HT.
SHRUBS					
	AEONIUM X 'KIWI' / KIWI AEONIUM	1 GAL	6	LOW	6 - 18IN. HT.
	AGAVE ATTENUATA / AGAVE	5 GAL	6	LOW	3 - 6FT. HT.
	AGAVE ATTENUATA 'RAY OF LIGHT' / VARIEGATED FOX TAIL AGAVE	5 GAL	15	LOW	3 - 6FT. HT.
	AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE	5 GAL	4	LOW	6 - 18IN. HT.
	BUXUS MICROPHYLLA / JAPANESE BOXWOOD	5 GAL	34	LOW	3 - 6FT. HT.
	DODONAEA VISCOSA 'GREEN' / GREEN HOPSEED BUSH	15 GAL	30	LOW	8-12FT.HT.
	DODONAEA VISCOSA 'PURPUREA' / PURPLE HOPSEED BUSH	15 GAL	47	LOW	8-12FT.HT.
	FURCRAEA MACDOUGALII / FALSE AGAVE	15 GAL	6	LOW	10 - 15FT. HT.
	HETEROMELES ARBUTIFOLIA / TOYON	5 GAL	23	LOW	6 - 10FT.HT.

	JUNCUS PATENS / CALIFORNIA GRAY RUSH	5 GAL	46	LOW	18 - 36IN. HT.
	KALANCHOE BRacteATA / SILVER TEASPOONS	5 GAL	31	LOW	3 - 6FT. HT.
	LAVANDULA 'HIDCOTE' / HIDCOTE LAVENDER	5 GAL	39	LOW	6 - 18IN. HT.
	LEYMUS ARENARIUS 'GLAUCA' / BLUE RYE	5 GAL	12	LOW	18 - 36IN. HT.
	LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH	1 GAL	262	LOW	8 - 10FT.HT.
	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL	11	LOW	3 - 6FT. HT.
	MYRTUS COMMUNIS 'COMPACTA' / DWARF COMMON MYRTLE	15 GAL	12	LOW	18 - 36IN. HT.
	OLEA EUROPAEA 'LITTLE OLLIE'™ / LITTLE OLLIE OLIVE	15 GAL	37	VERY LOW	4 - 8FT.HT.
	PENNISTEUM SPATHIOLATUM / SLENDER VELDT GRASS	1 GAL	104	LOW	6 - 8ft. ht.
	PODOCARPUS MACROPHYLLUS MAKI / SHRUBBY YEW	15 GAL	5	MEDIUM	10 - 15FT. HT.
	SENECIO VITALIS / BLUE CHALK FINGERS	1 GAL	4	LOW	8 - 15FT.HT.
	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE TRELLIS	15 GAL	22	MEDIUM	VINE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	WATER USE	MATURE HEIGHT
GROUND COVERS					
	CAREX DIVULSA / EUROPEAN GREY SEDGE	1 GAL	18" o.c.	LOW	6 - 18IN. HT.
SOD/SEED					
	LIPPIA NODIFLORA 'KURAPIA S1' / KURAPIA®	FLAT	12-18" o.c.	LOW	< 6IN. HT.

- THE FOLLOWING ITEMS SHALL BE COMPLETED PRIOR TO THE CITY'S INSPECTION:
- A. ALL LANDSCAPE WORK HAS BEEN INSTALLED AND COMPLETED PER THE PLANS APPROVED BY THE CITY OF SOLANA BEACH.
 - B. A HYDRO-ZONE DIAGRAM SHALL BE PROVIDED ADJACENT TO THE IRRIGATION CONTROLLERS.
 - C. THE PERSON OPERATING THE SYSTEM SHALL RECEIVE ALL REQUIRED MAINTENANCE AND IRRIGATION PLANS.
 - D. ALL REQUIRED SOIL AMENDMENTS SHALL BE INCORPORATED AND VERIFIED BY THE LICENSED PROFESSIONAL.
 - E. THE FOLLOWING SHALL BE SUBMITTED WITH THE CERTIFICATION OF COMPLETION FORM:
 - 1) A COPY OF THE AGRONOMIC SOILS REPORT.
 - 2) A MAINTENANCE SCHEDULE FOR PLANTING AND IRRIGATION.

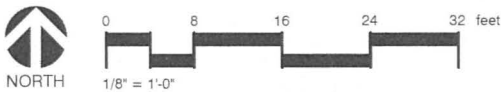
NOTE:
AS SOILS MANAGEMENT REPORT IS REQUIRED TO BE SUBMITTED TO THE CITY PRIOR TO PLANTING. THE REPORT MUST CONTAIN THE RESULTS OF AGRONOMIC SOILS TEST PREPARED BY AN INDEPENDENT LAB WITH RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZERS.

NOTE:
AT THE TIME OF COMPLETION OF THE INSTALLATION, A STATEMENT SIGNED BY THE LANDSCAPE ARCHITECT WHO PREPARED THE LANDSCAPE PLANS WILL BE REQUIRED. THE CITY WILL INSPECT FOR CONFORMANCE WITH THE APPROVED PLANS AND ANY DEVIATIONS MAY REQUIRE REMOVAL AND REPLACEMENT WITH THE SPECIFIC SPECIES AND IRRIGATION EQUIPMENT.



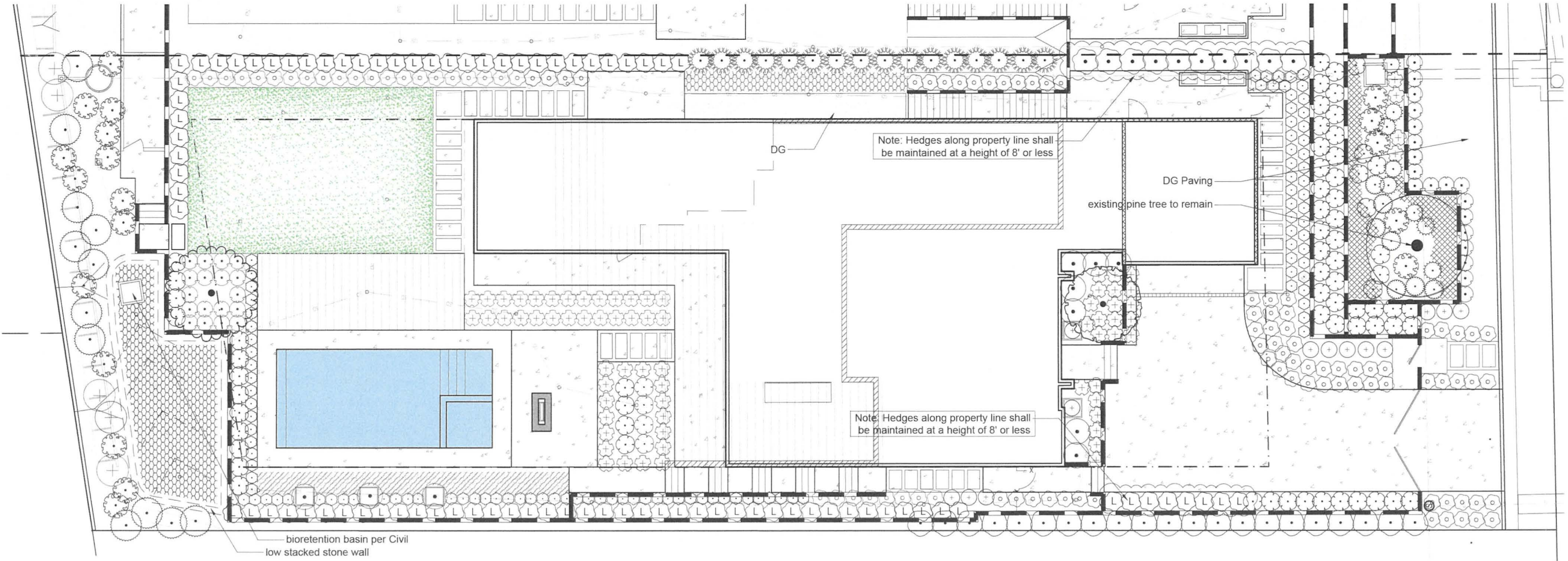
Disclaimer:
These documents are the property of Stone Grove Landscape Architects, and are not to be copied, reproduced, disposed of, either directly or indirectly, used for another project or any purpose whatsoever without expressed and written permission of Stone Grove Landscape Architects.

date: 06-04-24
designed: B. Grove
drawn: B. Grove
checked: B. Grove
scale:
sheet



PLANTING PLAN

L-1
of 6 sheets



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	MATURE HEIGHT
TREES					
	ACACIA ANEURA / MULGA	60"BOX	1	VERY LOW - LOW	15' - 20' FT.HT.
	FEIJOA SELLOWIANA / PINEAPPLE GUAVA	36"BOX	1	LOW	10' - 15' FT.HT.
SHRUBS					
	AGAVE ATTENUATA / AGAVE	5 GAL	8	LOW	3 - 6FT. HT.
	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY' / GREEN BEAUTY BOXWOOD	5 GAL	107	LOW	18 - 6FT. HT.
	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY' / TOPIARY BALL	5 GAL	13	LOW	18 - 6FT. HT.
	CEANOTHUS X 'JOYCE COULTER' / CEANOTHUS JOYCE COULTER	5 GAL	5	VERY LOW	3 - 5 FT.HT.
	DODONAEA VISCOSA 'GREEN' / GREEN HOPSEED BUSH	15 GAL	16	LOW	8 - 12 FT.HT.
	DODONAEA VISCOSA 'PURPUREA' / PURPLE HOPSEED BUSH	15 GAL	10	LOW	8 - 12 FT.HT.
	FESTUCA MAIREI / ATLAS FESCUE	5 GAL	37	LOW	18 - 36IN. HT.
	HETEROMELES ARBUTIFOLIA / TOYON	5 GAL	12	LOW	6 - 10 FT.HT.
	LAVANDULA 'HIDCOTE' / HIDCOTE LAVENDER	5 GAL	71	LOW	6 - 18IN. HT.
	LIGUSTRUM JAPONICUM 'TEXANUM' / WAX LEAF PRIVET	5 GAL	85	LOW	8 - 10FT. HT.
	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL	7	LOW	3 - 6FT. HT.

	OLEA EUROPAEA 'LITTLE OLLIE'™ / LITTLE OLLIE OLIVE	5 GAL	73	VERY LOW	6 - 8FT.HT.
	ROSA FLORIBUNDA 'ICEBERG' / ICEBERG ROSE	5 GAL	10	MEDIUM	8 - 15FT.HT.
	SALVIA CLEVELANDII 'POZO BLUE' / CLEVELAND SAGE	5 GAL	19	VERY LOW	3 - 6FT.HT.
	WESTRINGIA F. 'GREY BOX' / GREY WESTRINGIA	5 GAL	100	MEDIUM	3 - 6FT.HT.
	WESTRINGIA FRUTICOSA / COAST ROSEMARY	5 GAL	21	LOW	3 - 6FT.HT.

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	WATER USE	MATURE HEIGHT
GROUND COVERS					
	CAREX DIVULSA / EUROPEAN GREY SEDGE	1 GAL	18" o.c.	LOW	6 - 18IN. HT.
	MELINIS NERVIGLUMIS / SAVANNAH GRASS	1 GAL	18" o.c.	VERY LOW	6 - 18IN. HT.
	TRACHELOSPERMUM JASMINOIDES / CHINESE STAR JASMINE	1 GAL@	24" o.c.	LOW	3 - 6FT. HT.
SOD/SEED					
	LIPPIA NODIFLORA 'KURAPIA S1' / KURAPIA®	FLAT		LOW	< 6IN. HT.

- THE FOLLOWING ITEMS SHALL BE COMPLETED PRIOR TO THE CITY'S INSPECTION:
- A. ALL LANDSCAPE WORK HAS BEEN INSTALLED AND COMPLETED PER THE PLANS APPROVED BY THE CITY OF SOLANA BEACH.
 - B. A HYDRO-ZONE DIAGRAM SHALL BE PROVIDED ADJACENT TO THE IRRIGATION CONTROLLERS.
 - C. THE PERSON OPERATING THE SYSTEM SHALL RECEIVE ALL REQUIRED MAINTENANCE AND IRRIGATION PLANS.
 - D. ALL REQUIRED SOIL AMENDMENTS SHALL BE INCORPORATED AND VERIFIED BY THE LICENSED PROFESSIONAL.
 - E. THE FOLLOWING SHALL BE SUBMITTED WITH THE CERTIFICATION OF COMPLETION FORM:
 - 1) A COPY OF THE AGRONOMIC SOILS REPORT
 - 2) A MAINTENANCE SCHEDULE FOR PLANTING AND IRRIGATION

NOTE:
AS SOILS MANAGEMENT REPORT IS REQUIRED TO BE SUBMITTED TO THE CITY PRIOR TO PLANTING. THE REPORT MUST CONTAIN THE RESULTS OF AGRONOMIC SOILS TEST PREPARED BY AN INDEPENDENT LAB WITH RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZERS.

NOTE:
AT THE TIME OF COMPLETION OF THE INSTALLATION, A STATEMENT SIGNED BY THE LANDSCAPE ARCHITECT WHO PREPARED THE LANDSCAPE PLANS WILL BE REQUIRED. THE CITY WILL INSPECT FOR CONFORMANCE WITH THE APPROVED PLANS AND ANY DEVIATIONS MAY REQUIRE REMOVAL AND REPLACEMENT WITH THE SPECIFIC SPECIES AND IRRIGATION EQUIPMENT.

Revisions:	
07-5-24	
08-30-24	
09-17-24	
01-17-25	
02-10-25	
02-12-25	
03-21-25	
04-25-25	
05-8-25	

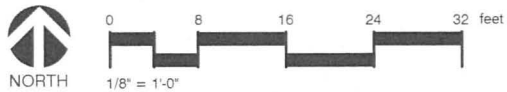
STONE GROVE
LANDSCAPE ARCHITECTS
858.345.1499 www.stonegrove.com
200 N. CEDROS AVENUE, SOLANA BEACH, CA 92075

615 GRANADOS AVE
Solana Beach, CA



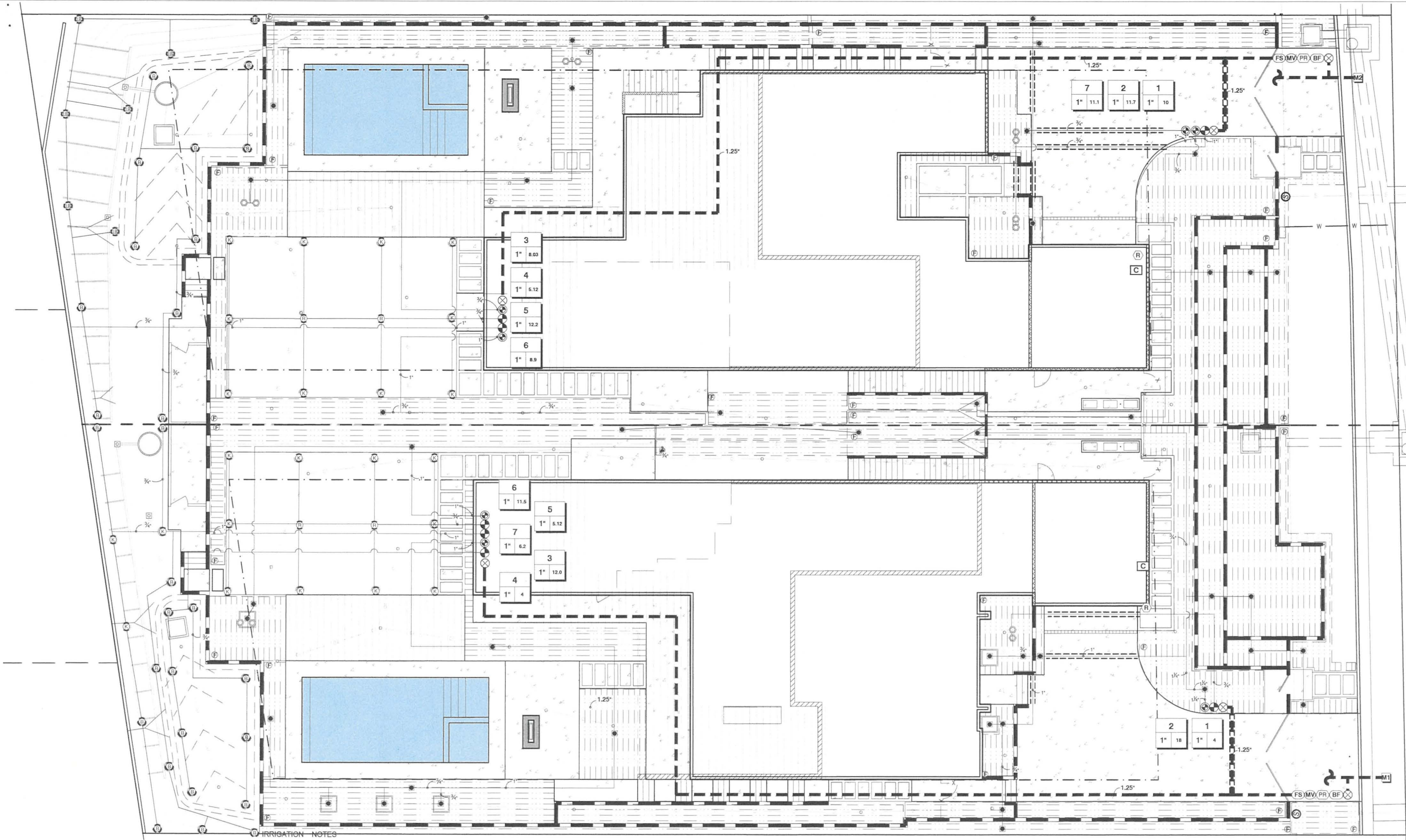
Disclaimer:
These documents are the property of Stone Grove Landscape Architects and are not to be copied, reproduced, disposed of, either directly or indirectly, used for another project or any purpose whatsoever without expressed and written permission of Stone Grove Landscape Architects.

date: 06-04-24
designed: B. Grove
drawn: B. Grove
checked: B. Grove
scale:
sheet



PLANTING PLAN

L-2
of 6 sheets



IRRIGATION NOTES

POINT OF CONNECTION
ACTUAL POC LOCATION TO BE AS DESIGNATED BY WATER DISTRICT AND OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL VERIFY ALL POC AND MAINLINE ROUTING INFORMATION PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION OF ALL REQUIRED COMPONENTS DOWN STREAM OF THE PROPOSED METER.

SCREENING
BACKFLOW PREVENTION DEVICES AND CONTROLLERS ARE TO BE LOCATED IN SUCH A MANNER SO AS TO BE SCREENED FROM FRONT YARD AND EXTERIOR SIDE YARD VIEWS. SCREENING MAY BE WITH ARCHITECTURAL BUILDING FEATURES OR PLANT MATERIALS OR AS REQUIRED IN CONDITIONS OF APPROVAL.

LOW HEAD DRAINAGE
CONTRACTOR SHALL INSTALL CHECK VALVES AT (PUNTER "X") TO PREVENT LOW HEAD DRAINAGE AT EACH SPRINKLER AS REQUIRED.

GRAPHICS

- MAINLINE AND LATERAL LINES SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES (TYP).
- CONTRACTOR MAY GROUP VALVES TO REDUCE MAINLINE BUT IN NO CASE SHALL FLOW CHARACTERISTICS BE CHANGED BASED ON PIPE SIZING CHART.
- VALVE GROUPINGS SHOULD NOT EXCEED THREE PER AREA AND SHALL BE HIDDEN IN GROUND COVER ZONES.
- NO VALVE GROUPINGS ALLOWED IN LAWN AREAS.

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.

2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.

3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

5. THIS DESIGN IS DIAGNOSTIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS NECESSARY.

6. DO NOT FULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.

7. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.

8. ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

9. CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER AS NOTED.

10. ALL PIPES UNDER PAVED AREAS TO BE INSTALLED IN A SLOPE AS SHOWN TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRES UNDER PAVED AREAS TO BE INSTALLED IN A SLOPE AS SHOWN. THE SLOPE REQUIRED TO LAY WIRE THROUGHOUT ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.

11. ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE (IF SHOWN ON LEGEND).

12. ALL VALVE BOXES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND HOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.

13. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVER SPRAY ONTO BUILDING, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES BUT NOT LIMITED TO ADJUSTMENT OF DIRECTION, PIVOT OR ADJUSTMENT, SCREW, REPLACEMENT OF PRE-SOAK COMPENSATING ARCS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.

ALL SPRAY HEADS THAT DO NOT CONFORM TO PRESCRIBED NOZZLE RADIUS SHALL BE FITTED WITH PRESSURE COMPENSATING SCREENS TO ACHIEVE PROPER RADIUS/THROW DISTANCE.

POINT OF CONNECTION
ACTUAL POC LOCATION TO BE AS DESIGNATED BY WATER DISTRICT AND OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL VERIFY ALL POC AND MAINLINE ROUTING INFORMATION PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION OF ALL REQUIRED COMPONENTS DOWN STREAM OF THE PROPOSED METER.

SCREENING
BACKFLOW PREVENTION DEVICES AND CONTROLLERS ARE TO BE LOCATED IN SUCH A MANNER SO AS TO BE SCREENED FROM FRONT YARD AND EXTERIOR SIDE YARD VIEWS. SCREENING MAY BE WITH ARCHITECTURAL BUILDING FEATURES OR PLANT MATERIALS OR AS REQUIRED IN CONDITIONS OF APPROVAL.


LOW HEAD DRAINAGE
CONTRACTOR SHALL INSTALL CHECK VALVES AT (PUNTER "X") TO PREVENT LOW HEAD DRAINAGE AT EACH SPRINKLER AS REQUIRED.


GRAPHICS

- MAINLINE AND LATERAL LINES SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES (TYP).
- CONTRACTOR MAY GROUP VALVES TO REDUCE MAINLINE BUT IN NO CASE SHALL FLOW CHARACTERISTICS BE CHANGED BASED ON PIPE SIZING CHART.
- VALVE GROUPINGS SHOULD NOT EXCEED THREE PER AREA AND SHALL BE HIDDEN IN GROUND COVER ZONES.
- NO VALVE GROUPINGS ALLOWED IN LAWN AREAS.

I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

BRIAN GROVE, LANDSCAPE ARCHITECT

 NORTH



1/8" = 1'-0"

IRRIGATION PLAN

of 6 sheets

Revisions:

07-5-24
08-30-24
09-17-24
01-17-25
02-10-25
02-12-25
03-21-25
04-25-25
05-8-25

STONE GROVE
LANDSCAPE ARCHITECTS

858.345.1499 | WWW.STONE-GROVE.CO
200 N CEDROS AVENUE SOLANA BEACH, CA 92075

615 GRANADOS AVE
Solana Beach, CA







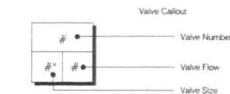
Disclaimer:
These documents are the property of Stone-Grove Landscape Architects and are not to be copied, reproduced, disposed of, either directly or indirectly, used for another project or any purpose whatsoever without expressed and written permission of Stone-Grove Landscape Architects.

date:	06-04-24
designed:	B. Grove
drawn:	B. Grove
checked:	B. Grove
scale:	
sheet	

L-3
of 6 sheets

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	HUNTER MP2000 PROS-06-PRS30-CV SHRUB ROTATOR, 8IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	30
	HUNTER MP3000 PROS-06-PRS30-CV SHRUB ROTATOR, 8IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	30
	HUNTER MP3500 PROS-06-PRS30-CV SHRUB ROTATOR, 8IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.	30
	HUNTER RZWS-18-CV 18IN. LONG RZWS WITH INSTALLED .25 GPM OR .50 GPM BUBBLER OPTIONS, CHECK VALVE, 1/2IN. SWING JOINT FOR CONNECTION TO 1/2IN. PIPE	15
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	HUNTER ICZ-101-40 DRIP CONTROL ZONE KIT. 1IN. ICV GLOBE VALVE WITH 1IN. HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	
	NETAFIM TISOV NETAFIM TISOV- 1/2IN. MANUAL FLUSH VALVE, BARBED INSERT. INSTALL IN 10IN. BOX, WITH ADEQUATE BLANK OR IN COBRAIN. TUBING TO EXTEND VALVE OUT OF VALVE BOX. 2/3 IN FITS TECHLINE HCVXR, HCVXR-RW/RWP, CV, DL, RW AND RWP DRIPLINES, AND PE IRRIGATION HOSE	
	AREA TO RECEIVE DRIPLINE NETAFIM TLHCVXR-CS-053-12 TECHLINE HCVXR-CS PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH COPPER STRIPE, CHECK VALVE AND ANTI-SIPHON FEATURE. 0.53 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	HUNTER ICV-G 1IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	
	TRUE UNION BALL VALVE THREADED PLASTIC BALL VALVE, QUARTER-TURN SHUTOFF DESIGNED FOR IRRIGATION, SPAS, POOLS AND OTHER GENERAL COLD WATER APPLICATIONS. 125 PSI RATING. SAME SIZE AS MAINLINE.	
	HUNTER IBV 1" 1IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	
	ZURN 875XL 1" REDUCED PRESSURE BACKFLOW DEVICE	
	HUNTER HC-12 12 STATION CONTROLLER WITH WI-FI CONNECTION	
	HUNTER RFC RAIN AND FREEZE SENSOR, WITH CONDUIT INSTALLATION, MOUNT AS NOTED. NORMALLY CLOSED SWITCH.	
	HUNTER HFS-100 FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1IN. SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.	
	ZURN 70XL PRESSURE REDUCING VALVE	
	WATER METER DOMESTIC WATER METER PER CIVIL ENGINEER	
	WATER METER DOMESTIC WATER METER PER CIVIL ENGINEER	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	
	PIPE SLEEVE: PVC CLASS 200 SDR 21	



PRESSURE LOSS CALCULATIONS

Generated:	2023-10-10 10:07
P.O.C. NUMBER: METER 1	
Water Source Information:	Domestic Water Meter Per Civil Engineer
FLOW AVAILABLE	
Water Meter Size:	1"
Flow Available	18.2 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	80 PSI
Elevation Change:	5.00 ft
Service Line Size:	1"
Length of Service Line:	20 ft
Pressure Available:	76 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	19.47 GPM
Flow Available at POC:	15.2 GPM
Residual Flow Available:	4.27 GPM
Critical Station:	2
Design Pressure:	25 PSI
Friction Loss:	3.2 PSI
Fittings Loss:	0.32 PSI
Elevation Loss:	0 PSI
Loss through Valve:	9.18 PSI
Pressure Req. at Critical Station:	37.7 PSI
Loss for Fittings:	0.73 PSI
Loss for Main Line:	7.28 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	11.7 PSI
Loss for Master Valve:	3 PSI
Loss for Water Meter:	0.9 PSI
Critical Station Pressure at POC:	61.3 PSI
Pressure Available:	76 PSI
Residual Pressure Available:	14.7 PSI
P.O.C. NUMBER: METER 2	
Water Source Information:	Domestic Water Meter Per Civil Engineer
FLOW AVAILABLE	
Water Meter Size:	1"
Flow Available	18.2 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	80 PSI
Elevation Change:	5.00 ft
Service Line Size:	1"
Length of Service Line:	20 ft
Pressure Available:	71 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	12.23 GPM
Flow Available at POC:	18.2 GPM
Residual Flow Available:	5.97 GPM
Critical Station:	5
Design Pressure:	30 PSI
Friction Loss:	2.51 PSI
Fittings Loss:	0.25 PSI
Elevation Loss:	0 PSI
Loss through Valve:	3 PSI
Pressure Req. at Critical Station:	35.8 PSI
Loss for Fittings:	0.85 PSI
Loss for Main Line:	8.46 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	11.7 PSI
Loss for Master Valve:	3 PSI
Loss for Water Meter:	0.92 PSI
Critical Station Pressure at POC:	60.7 PSI
Pressure Available:	71 PSI
Residual Pressure Available:	10.3 PSI

IRRIGATION NOTES

IRRIGATION NOTES

POINT OF CONNECTION

ACTUAL POC LOCATION TO BE AS DESIGNATED BY WATER DISTRICT AND OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL VERIFY ALL POC AND MAINLINE ROUTING INFORMATION PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION OF ALL REQUIRED COMPONENTS DOWNSTREAM OF THE PROPOSED METER.

SCREENING

BACKFLOW PREVENTION DEVICES AND CONTROLLERS ARE TO BE LOCATED IN SUCH A MANNER SO AS TO BE SCREENED FROM FRONT YARD AND EXTERIOR SIDE YARD VIEWS. SCREENING MAY BE WITH ARCHITECTURAL BUILDING FEATURES OR PLANT MATERIALS OR AS REQUIRED IN CONDITIONS OF APPROVAL.

LOW HEAD DRAINAGE

CONTRACTOR SHALL INSTALL CHECK VALVES AT (PUNTER "YOC") TO PREVENT LOW HEAD DRAINAGE AT EACH SPRINKLER AS REQUIRED.

GRAPHICS

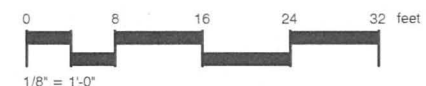
- MAINLINE AND LATERAL LINES SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES (TYP).
- CONTRACTOR MAY GROUP VALVES TO REDUCE MAINLINES BUT IN NO CASE SHALL FLOW CHARACTERISTICS BE CHANGED BASED ON PIPE SIZING CHART.
- VALVE GROUPINGS SHOULD NOT EXCEED THREE PER AREA AND SHALL BE HIDDEN IN GROUND COVER ZONES.
- NO VALVE GROUPINGS ALLOWED IN LAWN AREAS.

- ALL LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGNOSTIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS AS NECESSARY.
- DO NOT FULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT FORESEEN AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK ON THE IRRIGATION. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEMAND NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION OR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER AS NOTED.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A 40" SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A 40" SLEEVE. THE SIZE REQUIRED TO EASEY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE EXISTING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE (IF SHOWN ON LEGEND).
- ALL VALVE BOXES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND HOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.

- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ADPS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVER SPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- ALL SPRAY HEADS THAT DO NOT CONFORM TO PRESCRIBED NOZZLE RADIUS SHALL BE FITTED WITH PRESSURE COMPENSATING SCREENS TO ACHIEVE PROPER RADIUS/THROW DISTANCE.
- POINT OF CONNECTION
ACTUAL POC LOCATION TO BE AS DESIGNATED BY WATER DISTRICT AND OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL VERIFY ALL POC AND MAINLINE ROUTING INFORMATION PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION OF ALL REQUIRED COMPONENTS DOWNSTREAM OF THE PROPOSED METER.
- SCREENING
BACKFLOW PREVENTION DEVICES AND CONTROLLERS ARE TO BE LOCATED IN SUCH A MANNER SO AS TO BE SCREENED FROM FRONT YARD AND EXTERIOR SIDE YARD VIEWS. SCREENING MAY BE WITH ARCHITECTURAL BUILDING FEATURES OR PLANT MATERIALS OR AS REQUIRED IN CONDITIONS OF APPROVAL.
- LOW HEAD DRAINAGE
CONTRACTOR SHALL INSTALL CHECK VALVES AT (PUNTER "YOC") TO PREVENT LOW HEAD DRAINAGE AT EACH SPRINKLER AS REQUIRED.
- GRAPHICS
MAINLINE AND LATERAL LINES SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES (TYP).
- CONTRACTOR MAY GROUP VALVES TO REDUCE MAINLINES BUT IN NO CASE SHALL FLOW CHARACTERISTICS BE CHANGED BASED ON PIPE SIZING CHART.
- VALVE GROUPINGS SHOULD NOT EXCEED THREE PER AREA AND SHALL BE HIDDEN IN GROUND COVER ZONES.
- NO VALVE GROUPINGS ALLOWED IN LAWN AREAS.

I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

BRIAN GROVE, LANDSCAPE ARCHITECT



IRRIGATION PLAN

Revisions:	
	07-5-24
	08-30-24
	09-17-24
	01-17-25
	02-10-25
	02-12-25
	03-21-25
	04-25-25

STONE GROVE
LANDSCAPE ARCHITECTS

888.345.5140 WWW.STONEGROVE.COM
201N. CEPHOS AVENUE, SOLANA BEACH, CA 92055

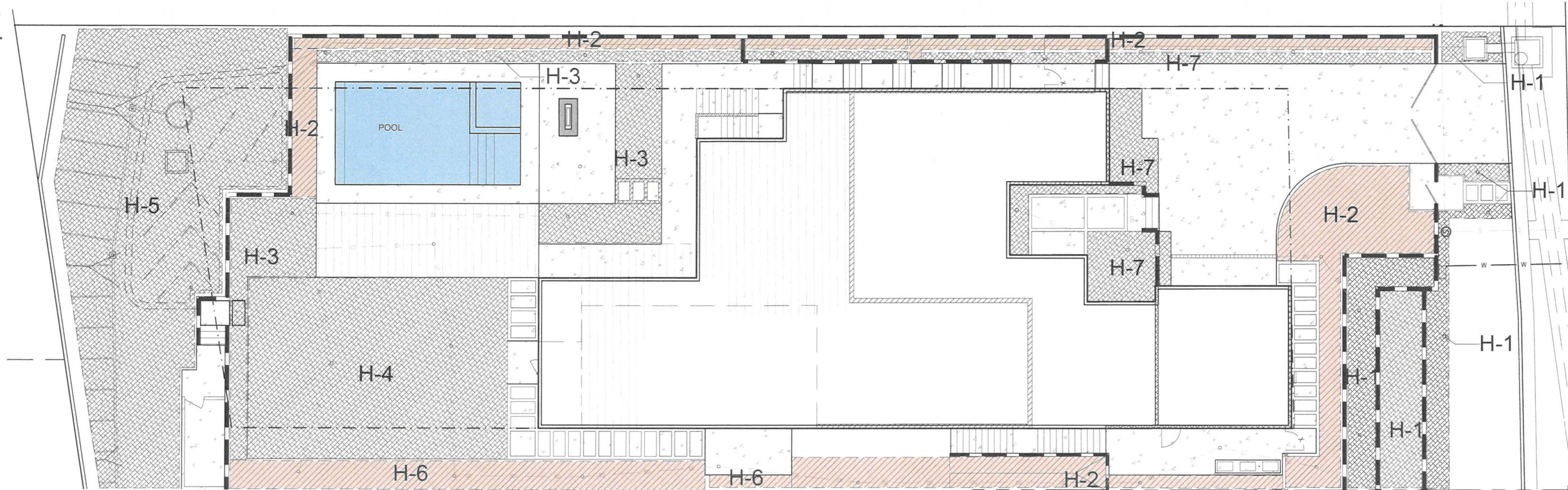
615 GRANADOS AVE
Solana Beach, CA



Disclaimer:
These documents are the property of Stone Grove Landscape Architects and are not to be copied, reproduced, disposed of, either directly or indirectly, used for another project or any purpose whatsoever without expressed and written permission of Stone Grove Landscape Architects.

date: 06-04-24
designed: B. Grove
drawn: B. Grove
checked: B. Grove
scale:
sheet:

L-4
of 6 sheets



Revisions:	
07-5-24	
08-30-24	
09-17-24	
01-17-25	
02-10-25	
02-12-25	
03-21-25	
04-25-25	
05-8-25	

STONE GROVE
LANDSCAPE ARCHITECTS
858.345.7409 www.stonegrove.com
200 N. CEDROS AVENUE, SOLANA BEACH, CA 92075

615 GRANADOS AVE
Solana Beach, CA



Disclaimer:
These documents are the property of Stone Grove Landscape Architects and are not to be copied, reproduced, disposed of, either directly or indirectly, used for another project or any purpose whatsoever without expressed and written permission of Stone Grove Landscape Architects.

date: 06-04-24
designed: B. Grove
drawn: B. Grove
checked: B. Grove
scale:
sheet

L-5
of 6 sheets



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

- ETWU = Estimated total water use per year (gallons per year)
ETo = Evapotranspiration rate (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydro-zone Area(square feet). Definehydro-zones by water use: very low, low, moderate and high
SLA = Special Landscape Area(square feet): Edible plants, irrigated with recycled water, & turf used for active play
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET					
	Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)			
		A-1	A-2	A-3	A-4
Evapotranspiration Rate (ETo) See "A" below	1	41.1			
Conversion Factor - .62	2	0.62			
(Line 1 x Line 2)	3	25.42			
Plant Factor (PF) See "B" below	4	0.3	0.6	0.3	0.3
Hydrozone Area (HA) - in square feet	5	631	1247	777	1281
(Line 4 x Line 5)	6	189.3	748.2	233.1	384.3
Irrigation Efficiency (IE) See "C" below	7	0.75	0.81	0.81	.70
(Line6 + Line7)	8	252.4	923.7	287.78	549
TOTAL of all Line8 boxes + SLA	9				
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10				

ETo - Evapotranspiration rate =
41 (west of I-5)
47 (east of I-5)
PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone.
0.1 - VLW - Very Low Water Use Plants
0.3 - LW - Low Water Use Plants
0.6 - MW - Moderate Water Use Plants
1.0 - HW - High Water Use Plants
IE - Irrigation Efficiency
Spray - .55
Rotor - .70
Bubble - .75
MP rotator - .75
Drop & Micro-spray - .81
A different IE may be used if supported by documentation subject to approval by the City Planner

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:
$$25.42 \left[\frac{((ETAF \times 7394) + (1-ETAF \times 0))}{25.42 \text{ or } 29.14} \right] = \text{MAWA}$$

Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non-residential



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

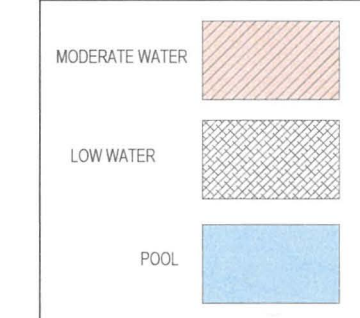
- ETWU = Estimated total water use per year (gallons per year)
ETo = Evapotranspiration rate (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydro-zone Area(square feet). Definehydro-zones by water use: very low, low, moderate and high
SLA = Special Landscape Area(square feet): Edible plants, irrigated with recycled water, & turf used for active play
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET					
	Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)			
		A-5	A-6	A-7	Pool
Evapotranspiration Rate (ETo) See "A" below	1	41.1			
Conversion Factor - .62	2	0.62			
(Line 1 x Line 2)	3	25.42			
Plant Factor (PF) See "B" below	4	0.3	0.6	0.3	1
Hydrozone Area (HA) - in square feet	5	2107	385	473	493
(Line 4 x Line 5)	6	632.1	231.0	141.9	493.0
Irrigation Efficiency (IE) See "C" below	7	0.75	0.81	0.81	1
(Line6 + Line7)	8	842.8	285.19	175.19	493.0
TOTAL of all Line8 boxes + SLA	9	3,809.06			
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	25.42 x 3,809.06 = 96,826.30			

ETo - Evapotranspiration rate =
41 (west of I-5)
47 (east of I-5)
PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone.
0.1 - VLW - Very Low Water Use Plants
0.3 - LW - Low Water Use Plants
0.6 - MW - Moderate Water Use Plants
1.0 - HW - High Water Use Plants
IE - Irrigation Efficiency
Spray - .55
Rotor - .70
Bubble - .75
MP rotator - .75
Drop & Micro-spray - .81
A different IE may be used if supported by documentation subject to approval by the City Planner

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:
$$25.42 \left[\frac{((ETAF \times 7394) + (1-ETAF \times 0))}{25.42 \text{ or } 29.14} \right] = \text{MAWA}$$

Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non-residential
MAWA= 103,375.51
$$25.42 \times (0.55 \times 7,394) + 0 = 103,375.51$$

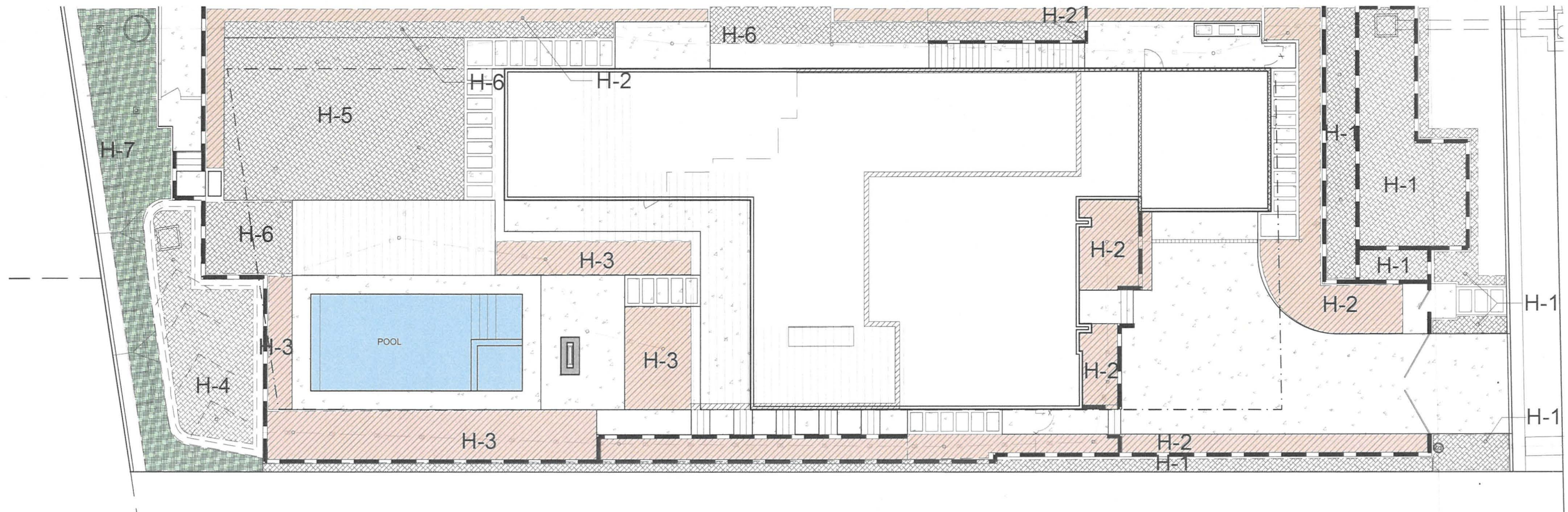


I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

BRIAN GROVE, LANDSCAPE ARCHITECT

0 8 16 24 32 feet
1/8" = 1'-0"

WATER MANAGEMENT PLAN



Revisions:	
07-5-24	
08-30-24	
09-17-24	
01-17-25	
02-10-25	
02-12-25	
03-21-25	
04-25-25	
05-8-25	

STONE GROVE
LANDSCAPE ARCHITECTS
858.945.1403 | WWW.STONE-GROVE.COM
4011 CEDROS AVENUE SOLANA BEACH, CA 92075

615 GRANADOS AVE
Solana Beach, CA



Disclaimer:
These documents are the property of Stone-Grove Landscape Architects and are not to be copied, reproduced, disposed of, either directly or indirectly, used for another project or any purpose whatsoever without expressed and written permission of Stone-Grove Landscape Architects.

date: 06-04-24
designed: B. Grove
drawn: B. Grove
checked: B. Grove
scale: sheet

L-6
of 6 sheets



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

ETWU = Estimated total water use per year (gallons per year)
ETo = Evapotranspiration rate (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydro-zone Area(square feet): Definehydro-zones by water use: very low, low, moderate and high
SLA = Special Landscape Area(square feet): Edible plants, irrigated with recycled water, & turf used for active play
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET						
	Line	Hydro-zone Number (1 - 4 Below – use as many tables as necessary to complete all hydrozones)				
		A-1	A-2	A-3	A-4	SLA
Evapotranspiration Rate (ETo) See "A" below	1	41.1				
Conversion Factor - .62	2	0.62				
(Line 1 x Line 2)	3	25.42				
Plant Factor (PF) See "B" below	4	0.3	0.6	0.6	0.3	
Hydrozone Area (HA) - in square feet	5	1,149	1,247	1,071	383	
(Line 4 x Line 5)	6	344.7	748.2	642.6	114.9	
Irrigation Efficiency (IE) See "C" below	7	0.75	0.81	0.81	0.75	
(Line6 ÷ Line7)	8	459.6	923.7	793.33	153.2	
TOTAL of all Line8 boxes + SLA	9					
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10					
A		B		C		
ETo - Evapotranspiration rate = 41 (west of I-5) 47 (east of I-5)		PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone. 0.1 - VLW - Very Low Water Use Plants 0.3 - LW - Low Water Use Plants 0.6 - MW - Moderate Water Use Plants 1.0 - HW - High Water Use Plants		IE - Irrigation Efficiency Sprinkler - .55 Rotor - .70 Bubble - .75 MP emitter - .75 Drip & Micro-spray - .85 A different IE may be used if supported by documentation subject to approval by the City Planner		

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:

$$\frac{25.42}{25.42 \text{ or } 29.14} \left[\left(\frac{ETAF \times \text{Total Landscape Area}}{\text{Total SLA}} \right) + (1 - ETAF \times \text{Total SLA}) \right] = \text{MAWA}$$

Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non- residential



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

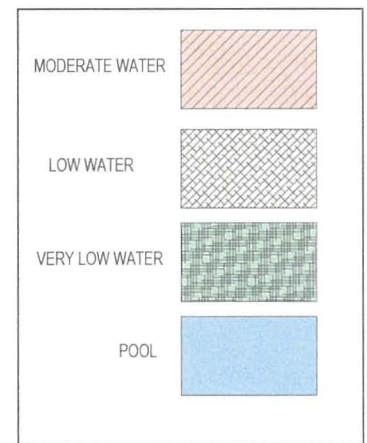
ETWU = Estimated total water use per year (gallons per year)
ETo = Evapotranspiration rate (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydro-zone Area(square feet): Definehydro-zones by water use: very low, low, moderate and high
SLA = Special Landscape Area(square feet): Edible plants, irrigated with recycled water, & turf used for active play
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET						
	Line	Hydro-zone Number (1 - 4 Below -- use as many tables as necessary to complete all hydrozones)				
		A-5	A-6	A-7	Pool	SLA
Evapotranspiration Rate (ETo) See "A" below	1	41.1				
Conversion Factor - .62	2	0.62				
(Line 1 x Line 2)	3	25.42				
Plant Factor (PF) See "B" below	4	0.3	0.3	0.1	1	
Hydrozone Area (HA) - in square feet	5	1,004	295	803	526	
(Line 4 x Line 5)	6	301.2	88.5	80.3	526	
Irrigation Efficiency (IE) See "C" below	7	.70	0.81	0.81	1	
(Line6 ÷ Line7)	8	430.29	109.26	99.14	526	
TOTAL of all Line8 boxes + SLA	9	4,498.53				
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	25.42 x 3,494.52 88,830.7				
A		B		C		
ETo - Evapotranspiration rate = 41 (west of I-5) 47 (east of I-5)		PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone. 0.1 - VLW - Very Low Water Use Plants 0.3 - LW - Low Water Use Plants 0.6 - MW - Moderate Water Use Plants 1.0 - HW - High Water Use Plants		IE - Irrigation Efficiency Sprinkler - .55 Rotor - .70 Bubble - .75 MP emitter - .75 Drip & Micro-spray - .85 A different IE may be used if supported by documentation subject to approval by the City Planner		

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:

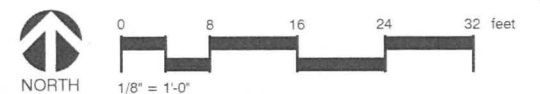
$$\frac{25.42}{25.42 \text{ or } 29.14} \left[\left(\frac{ETAF \times 6,478}{\text{Total Landscape Area}} \right) + (1 - ETAF \times \text{Total SLA}) \right] = \text{MAWA} = 90,568.92$$

Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non- residential 25.42 x (0.55 x 6,478) + 0 = 90,568.92



I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

BRIAN GROVE, LANDSCAPE ARCHITECT



WATER MANAGEMENT PLAN



EAST ELEVATION #1



EAST ELEVATION #2



SOUTH ELEVATION #1



SOUTH ELEVATION #2



WEST ELEVATION #1



WEST ELEVATION #2

	MM/DD/YY	REMARKS
1	01/12/24	FIRST ROUND CITY CORRECTIONS
2	3/6/24	SECOND ROUND CITY CORRECTIONS
3	6/10/24	THIRD ROUND CITY CORRECTIONS
4	10/17/24	FOURTH ROUND NEIGHBOR CORRECTIONS
5	4/23/25	CITY COUNCIL REVISIONS

HERITAGE WEST DEVELOPMENT
238 N. Cedros Ave
Suite 201
Solana Beach, CA 92075
APPLICANT INFO:
Ryan Gad
(858)204-7457

PROJECT
615 N GRANADOS
APN#
263-082-17-00

ISSUE
4/23/25

SITE PHOTOS
EXISTING CONDITION

City Council Revisions

615 N Granados Avenue

Hearing Date - May 21st, 2025



North Parcel Revisions

- Western leading edge of Main Level was pulled back 9'-3" to the east. Leading edge of the proposed structure is now within the eave overhang of the existing structure
 - In order to achieve this shift in massing the Laundry Room on the Main Level was deleted and the stairs to the lower level were shifted further to the east allowing the Primary Suite to be pulled back
 - Since there is no longer a Laundry on the upper floor the downstairs Laundry moved next to the stairs on the lower level. What was previously the downstairs Laundry became a Powder Bath.
- Eliminated the 5'-0" roof overhang "eyebrow" on the Primary Suite deck.
 - If you combine the elimination of this roof overhang with the 9'-3" shift in the Primary Suite the uppermost story poles pulled back to the east over 14'.
- Filled in the "notch" in the Primary Suite so the northern wall is aligned until it hits the west facing Living Room wall
 - Shifting the Primary Suite 9'-3" to the east shrunk the existing notch in the building to the point where it was awkward and too small to be usable.
- Created a 5'-6" wide walkway connecting the Primary Suite deck with the Living Room deck.
- Shifted the exterior stairwell from the deck to the lower yard 6'-5 3/4" to the north so it aligns with the northern wall of the house. This allowed a bit more space for furnishings on the deck since we lost the Primary Suite "notch nook" and also added a bit of space to the Media Room below since we had deleted space on the Main Level to pull back the western leading edge.
- Eliminated Podocarpus Maki from the plant palette since the neighbors desired a lower growing height at maturity species. Replaced the Podocarpus along the southern property line with Purple Hop Seed Bush.
- Replaced the Texas Privet along the lower level northern property line with a Star Jasmine vine on trellis that will grown on our open fence. Since this species of plant material can't support it's own weight it needs structure to grow on so it shouldn't grow more than 1-2' above the height of our fence. This change was in response to concern from the neighbor to the north about our vegetation potentially shading their pool if it were to reach it's mature height.
- Signed a "Tree Protection Agreement" with the neighbor to the north to give them peace of mind that their existing Ginko tree near the property line will be well protected during construction. Temporary fencing will be erected around the base of the tree during construction and the neighbor's arborist will be involved in any root pruning or backfill in close proximity to the tree's root system.

North Parcel SDP Waiver

At the April 9th City Council hearing we were given guidance that if we had to make some minor shifts to the structure on the Lower Level in order to pull back the western leading edge of the Main Level that would be an acceptable trade-off. The revisions discussed above fall entirely within the story poled envelope from the previous City Council submittal with the exception of a couple minor deck revisions and filling in the "notch" of the Primary Suite on the upper floor. The deck revisions are under 16' in height from pre-existing or new grade and the filled in "notch" is almost entirely within the existing structure and won't be impactful to views of neighboring properties from any vantage point. As such we're requesting an SDP waiver to exempt us from having to re-notice the proposed revisions.

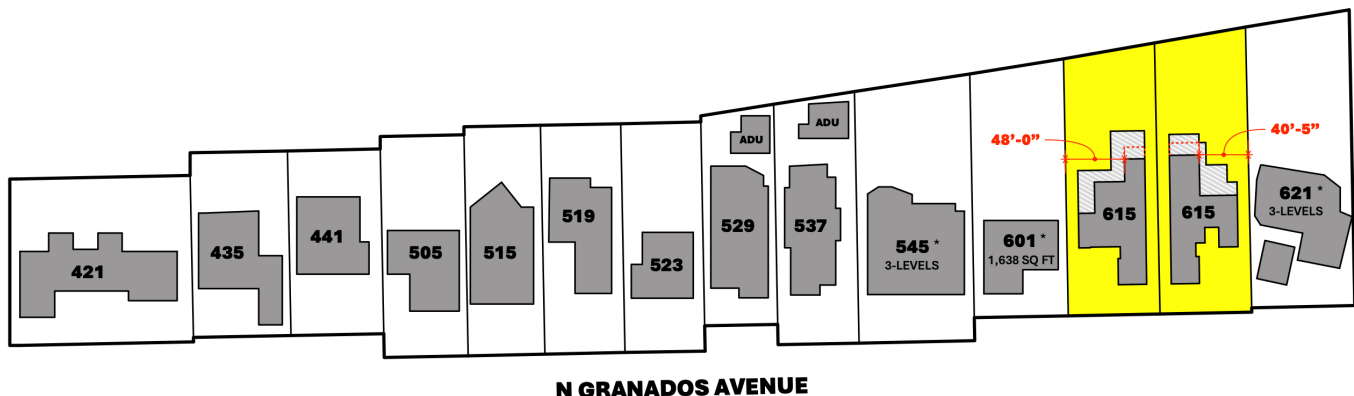
South Parcel Revisions

- Western leading edge of Main Level was pulled back 9'-3" to the east. Leading edge of the proposed structure is now within the eave overhang of the existing structure
 - In order to achieve this shift in massing the upstairs bedroom near the garage was eliminated from Main Level and the stairwell shifted to the east so it is now accessed from the hallway on the other side of the Kitchen
 - Primary Suite was slightly modified to make sense of the stair shift and loss of bedroom
 - Small west facing deck was added to the Primary Suite. 42" high fall protection railing is in same location as previous western leading edge of building (prior to shift).
 - Planted roof off Primary Suite was eliminated which lowers ADU roof plane by 1'-0". Purpose of planted roof was to give bedroom occupant something nice to look at instead of a large torch down roof. Now that Primary Suite has a small deck, planted roof is no longer necessary.
- Additional space on the lower level created by stairwell shifting to the east became a Game Room
- Eliminated Podocarpus Maki from the plant palette since the neighbors desired a lower growing height at maturity species. Replaced the Podocarpus along the northern property line with Texas Privet.

Summary

We've worked hand-in-hand with the neighbors throughout this process and have been extremely receptive to incorporating feedback we've received from the community. The proposed design will open up significant ocean views for uphill neighbors as we've eliminated the existing structure's two story massing and have designed the structure to not block existing views from any vantage point. Additional views will be gained through the removal of existing vegetation that is much higher than the low growing species proposed in our Landscape Plan.

With the westernmost leading edge of both structures now pulled back within the eave line of the existing structure we are well in line with other developments along N. Granados despite having a much deeper lot depth. It's also important to point out that our westernmost massing is pulled back toward the center of our two properties and is a significant distance away from the property line of the adjacent neighbors. This design is of great benefit to the neighboring properties as it preserves their angled views and gives them a greater sense of "openness" than had the western leading edge massing spanned the entire width of the property. The other properties along N Granados we're being compared to generally go side yard setback to side yard setback with their massing spanning the entire width of the property along the western leading edge. With these massing changes, along with a number of landscaping revisions, we feel the proposed development meets all of the objective standards of review for DRP approval.





STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Community Development Department – John Delmer, Assistant Planner
SUBJECT: **Public Hearing: Request for a Development Review Permit for a New Single-Story, Single-Family Residence and Attached One-Car Garage and Perform Associated Site Improvements at 671 East Solana Circle (Case # DRP24-015; Applicant: Chan Beals and Katherine Nicholls; APN: 298-320-27-00; Resolution No. 2025-055)**

BACKGROUND:

The Applicants, Chan Beals and Katherine Nicholls (hereinafter referred to as “Applicant”), are requesting City Council (Council) approval of a Development Review Permit (DRP) to demolish an existing single-story, single-family residence and attached garage to construct a new 2,000 square-foot single-story, single-family residence and attached 343 square-foot garage, and perform associated site improvements. The 4,266 square-foot lot is located at 671 East Solana Circle and is within the Medium Residential (MR) Zone and the Park Del Mar Development.

The Applicant proposes aggregate grading in the amount of 12 cubic yards. The maximum building height is proposed at 14.5 feet above existing grade and 189.2 feet above mean sea level (MSL). The project requires a DRP for construction in excess of 60 percent of the maximum allowable floor area.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant’s request as contained in Resolution 2025-055 (Attachment 1).

DISCUSSION:

The subject property is located on the west side of East Solana Circle. The 4,266 square-foot lot is a rectangular shape fronting on East Solana Circle to the east, with residential properties to the north, south and west.

CITY COUNCIL ACTION: _____ _____

The topography of the subject site slopes down from the rear of the property to East Solana Circle with an approximately 1-foot grade differential. The front yard is relatively flat, and the finished floor of the existing garage and residence are approximately two (2) feet higher than the street.

The site is currently developed with a 1,675 square-foot single-story, single-family residence with an attached 263 square-foot one-car garage. The Applicant proposes to demolish the existing residence and garage to construct a new 2,000 square-foot single-story, single-family residence, and an attached 343 square foot one-car garage. A single-family residence is required to provide two (2) off-street parking spaces pursuant to Solana Beach Municipal Code (SBMC) Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). The proposed 343 square-foot garage would allow for one (1) conforming parking space. The second required parking space will be located outside of the garage, within side and rear yard setbacks. Since the parking space provided in the proposed garage would comply with the OSPDM, the project would qualify for a 200 square foot floor area exemption. Therefore, the total proposed floor area would be 2,143 square feet. The maximum proposed building height would be 14.5 feet above existing grade. The project would also include associated site improvements including an exterior stair for a roof deck and an outdoor kitchen area.

The property is zoned MR; however, it is also located in the Park Del Mar Development, which has specific development regulations (Attachment 3) set forth in a Use Permit issued in 1963 by the County of San Diego prior to the City's incorporation. At the request of the Park Del Mar Homeowner's Association, the Solana Beach City Council approved a Conditional Use Permit in 2001 to modify the Use Permit issued by the County to clarify the specific development regulations, which differ from the underlying zone. The Park Del Mar Development regulations, therefore, supersede those of the MR Zone. The primary use of each site in the development is limited to one detached, single-family dwelling with one garage or carport. Each dwelling unit is limited to a maximum of 2,000 square feet and the garage or carport to a maximum of 600 square feet. In addition, the overall square footage on the site cannot exceed 2,400 square feet. In accordance with the underlying SBMC Zoning regulations, detached accessory structures are permitted and are deducted from the total allowed garage or carport square footage. The regulations also limit all structure heights to 16 feet above the lower of finished or proposed grade. Specific setback dimensions are also provided for each lot in the community. As proposed, the project complies with the regulations of the Park Del Mar Development. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Park Del Mar Development regulations with the Applicant's proposed design.

Table 1																			
LOT INFORMATION																			
Property Address: 671 E Solana Cir.		Zoning Designation: Park Del Mar (MR)																	
Lot Size: 4,266 SF		# of Units Allowed: 1 SFR																	
Max. Allowable Living SF 2,000 SF		# of Units Requested: 1 SFR																	
Max. Allowable Garage SF 600 SF		<table><tr><th>Setbacks:</th><th>Required</th><th>Proposed</th></tr><tr><td>Front (E)</td><td>10' – 0"</td><td>10' – 0"</td></tr><tr><td>Side (N)</td><td>5' – 0"</td><td>5' – 0"</td></tr><tr><td>Side (S)</td><td>2' – 6"</td><td>2' – 6"</td></tr><tr><td>Rear (W)</td><td>5' – 0"</td><td>10' – 8"</td></tr></table>			Setbacks:	Required	Proposed	Front (E)	10' – 0"	10' – 0"	Side (N)	5' – 0"	5' – 0"	Side (S)	2' – 6"	2' – 6"	Rear (W)	5' – 0"	10' – 8"
Setbacks:	Required				Proposed														
Front (E)	10' – 0"				10' – 0"														
Side (N)	5' – 0"				5' – 0"														
Side (S)	2' – 6"				2' – 6"														
Rear (W)	5' – 0"	10' – 8"																	
Max. Allowable Total SF 2,400 SF																			
Proposed Total SF 2,343 SF																			
Below Max. SF by 57 SF																			
Max. Allowable Height: 16.00 ft																			
Max. Proposed Height: 14.5 ft																			
Highest Point: 189.2' MSL																			
PROPOSED PROJECT INFORMATION																			
Square Footage / Floor Area Breakdown:		Required Permits:																	
Proposed Living Area: 2,000 SF		DRP: A DRP is required for construction in excess of 60% of the maximum allowable floor area.																	
Proposed Garage: 343 SF																			
Subtotal: 2,343 SF																			
Garage Exemption: - 200 SF																			
Total Proposed Floor Area: 2,143 SF																			
Proposed Grading: 12 CY Aggregate Grading (Site Grading: 0 CY; Removal and Recompaction: 0 CY; Excavation for Footings: 12 CY)																			
Proposed Parking: Attached One-Car Garage, One uncovered space		Existing Development: Single-Family Residence and Garage																	
Proposed Fences and Walls: Yes																			
Proposed Accessory Dwelling Unit: No																			
Proposed Accessory Structure: No																			

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the total proposed floor area exceeds 60% of the maximum allowable. The total floor area proposed is 2,143 square feet and 2,400 square feet is the maximum. Therefore, the proposal is 89% of the allowable floor area.

In addition to meeting the Park Del Mar Development specific regulations and any other underlying zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas

5. Grading
6. Lighting
7. Usable Open Space

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-055. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made:

1. The proposed development is consistent with the general plan and all applicable requirements of this title, including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

If any of the above findings cannot be made, the Council shall deny the DRP.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the MR Zone and Park Del Mar Development. Properties surrounding the lot are located within the same zone and also part of the Park Del Mar Development. They are developed with single-story, single-family residences. The project site is currently developed with a single-story, single-family residence and garage. The Applicant proposes to demolish the existing structure and replace it with a new single-story, single-family residence with an attached one-car garage.

As designed, the project is consistent with the specific development standards of the Park Del Mar Development as well as the permitted uses of the underlying MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single- and multi-family residential development with a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential

neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

Building and Structure Placement:

The site is currently developed with a 1,675 square-foot single-story, single-family residence and a garage located on a flat building pad approximately 2' higher than the street level. The Applicant proposes to demolish the existing residence and garage and construct a new 2,000 square-foot single-story, single-family residence with an attached 343 square-foot one-car garage. The garage is proposed to be located at the south side of the lot and would be accessed from East Solana Circle.

The Park Del Mar Development regulations allow reduced setback areas as compared to the underlying MR Zone. They also limit maximum structure height to 16 feet measured from the lower of existing or finished grade. The project would comply with the setbacks and height restrictions set forth in the Park Del Mar Development Regulations.

The 2,000 square-foot residence will consist of a living room, kitchen, primary suite, bedroom, bathroom, laundry room, and a music room. The proposed development also includes an exterior stair for a roof deck and an outdoor kitchen area.

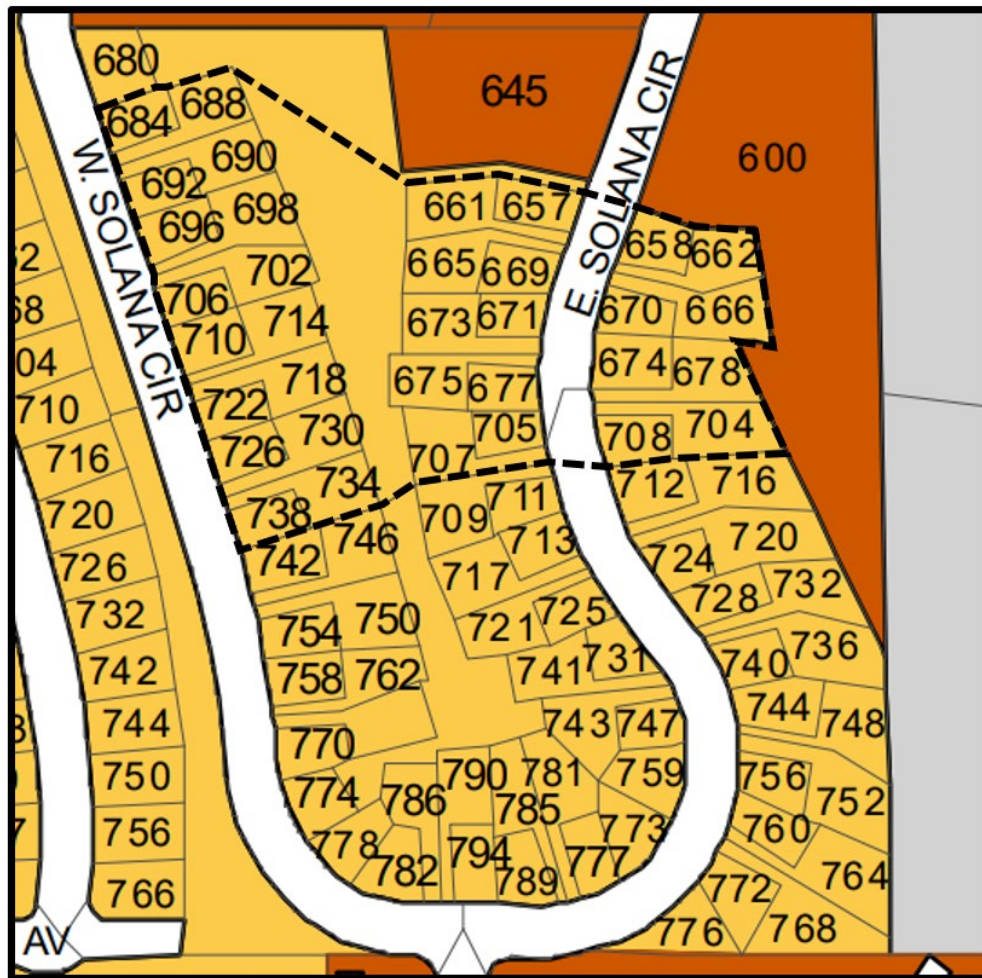
The proposed improvements consist of a new single-family residence and an attached garage. Pedestrian and vehicular access would be maintained on the southern side of the residence from the existing shared driveway.

The SBMC parking regulations require two (2) off-street parking spaces per single-family residence. The SBMC indicates that when required spaces are provided in a garage, up to 200 square feet of floor area is exempted for each required space. As designed, the proposed residence would provide one (1) parking space in the garage and one (1) uncovered parking space; therefore, the project is afforded a 200 square-foot exemption and the total proposed floor area would be 2,143 square feet, which is 257 square feet under the maximum allowable floor area for the lot pursuant to Park Del Mar Regulations.

The proposed project, as designed, meets the minimum required front-, interior side-, and rear-yard setbacks.

Neighborhood Comparison:

Staff compared the proposed project to 29 other properties within the surrounding area. As shown on the following Zoning Map, they include other properties in the Park Del Mar Development along West Solana Circle and East Solana Circle.



The properties evaluated in this comparison are located in the MR Zone and the Park Del Mar Development. The existing homes range in size from 1,330 square feet to 2,225 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include garages, covered porches, unfinished basements or accessory buildings in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the garage as follows:

Project Gross Building Area:	2,343 ft ²
Delete Garage Area:	- 343 ft ²
Project Area for Comparison to Assessor's Data	2,000 ft ²

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (SanGis)	Existing ft ² (Assessor)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	657 E SOLANA CIRCLE	4,716	1,746		2,400	MR/PDM
2	661 E SOLANA CIRCLE	7,331	1,240	1,831	2,400	MR/PDM
3	665 E SOLANA CIRCLE	7,479	1,847		2,400	MR/PDM
4	669 E SOLANA CIRCLE	4,699	1,822		2,400	MR/PDM
5	671 E SOLANA CIRCLE	4,266	1,675	2,000	2,400	MR/PDM
6	673 E SOLANA CIRCLE	7,245	1,674		2,400	MR/PDM
7	675 E SOLANA CIRCLE	6,640	1,604		2,400	MR/PDM
8	677 E SOLANA CIRCLE	4,095	1,358		2,400	MR/PDM
9	705 E SOLANA CIRCLE	3,990	1,330		2,400	MR/PDM
10	707 E SOLANA CIRCLE	7,852	1,518		2,400	MR/PDM
11	658 E SOLANA CIRCLE	4,965	1,472		2,400	MR/PDM
12	662 E SOLANA CIRCLE	6,243	1,456	1,887	2,400	MR/PDM
13	666 E SOLANA CIRCLE	8,149	1,949		2,400	MR/PDM
14	670 E SOLANA CIRCLE	4,109	1,479		2,400	MR/PDM
15	674 E SOLANA CIRCLE	5,513	1,426		2,400	MR/PDM
16	678 E SOLANA CIRCLE	7,833	1,456		2,400	MR/PDM
17	704 E SOLANA CIRCLE	8,704	1,404		2,400	MR/PDM
18	708 E SOLANA CIRCLE	4,841	1,591		2,400	MR/PDM
19	684 W SOLANA CIRCLE	4,303	2,225		2,400	MR/PDM
20	688 W SOLANA CIRCLE	6,932	1,969		2,400	MR/PDM
21	690 W SOLANA CIRCLE	7,093	1,512		2,400	MR/PDM
22	692 W SOLANA CIRCLE	3,961	1,632		2,400	MR/PDM
23	696 W SOLANA CIRCLE	4,822	1,404	1,967	2,400	MR/PDM
24	698 W SOLANA CIRCLE	8,268	1,930		2,400	MR/PDM
25	702 W SOLANA CIRCLE	6,793	1,518		2,400	MR/PDM
26	706 W SOLANA CIRCLE	4,047	1,591		2,400	MR/PDM
27	710 W SOLANA CIRCLE	4,574	1,927		2,400	MR/PDM
28	714 W SOLANA CIRCLE	7,254	1,814		2,400	MR/PDM
29	718 W SOLANA CIRCLE	7,157	1,479		2,400	MR/PDM
30	722 W SOLANA CIRCLE	4,284	1,390	1,915	2,400	MR/PDM

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC allows fences and walls or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

As proposed, the fences and walls would comply with the fence and wall regulations. If the Applicant decides to modify any of the design of the proposed fences and walls or construct additional fences and walls, a condition of project approval indicates that they would be required to be in compliance with SBMC 17.20.040(O) and 17.60.070(C) and (D).

Landscape:

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified landscape areas that exceed 500 square feet. The proposed project does not include any modification to landscape areas. As a condition of approval, should the Applicant decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, A condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual require two (2) parking spaces for a single-family residence. The Applicant is proposing a 343 square-foot attached garage, which will provide one (1) unobstructed 9' X 19' parking space. The second required parking space is located outside of the garage and will be 10'- 6" X 19' clear of obstruction.

Grading:

The proposed grading quantities include 0 cubic yards of site grading, 12 cubic yards for the excavation for the new footings and 0 cubic yards of removal and recompaction. The proposed total aggregate amount of grading is 12 cubic yards.

Lighting:

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of a new single-family residence; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

Public Frontage & Public Right-of-Way Improvements:

The existing property is improved with concrete curb and gutter only. If approved, the Applicant is not required to do any public improvements.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on May 8, 2025. As of the date of preparation of this Staff Report, Staff has not received any formal correspondence from neighbors or interested parties in support of, or in opposition to, the proposed project.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Section 15303 is a Class 3 exemption for new construction or the conversion of small structures.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2025-055.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:


The proposed project meets the minimum objective requirements under the Park Del Mar Development regulations and the underlying SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-055 conditionally approving a DRP to demolish a single-family

residence, construct a replacement one-story, single-family residence with an attached one-car garage and perform associated site improvements at 671 East Solana Circle.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-055
2. Project Plans
3. Park Del Mar Development Regulations

RESOLUTION 2025-055

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT FOR THE CONSTRUCTION OF A NEW SINGLE-STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED ONE-CAR GARAGE AND ASSOCIATED IMPROVEMENTS ON A PROPERTY WITHIN THE PARK DEL MAR DEVELOPMENT, LOCATED AT 671 EAST SOLANA CIRCLE, SOLANA BEACH

APPLICANT: Chan Beals and Katherine Nicholls
CASE NO.: DRP 24-015

WHEREAS, Chan Beals and Katherine Nicholls (hereinafter referred to as “Applicant”) have submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on May 21, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the project is exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines.
3. That the request for a DRP to construct a new 2,000 square-foot single-story, single-family residence and attached one-car garage on a 4,266 square-foot lot in the Medium Residential (MR) Zone and Park Del Mar Development, is conditionally approved based upon the following Findings and subject to the following Conditions:
4. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City

of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones, and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for five to seven dwelling units per acre. Further, the proposed development is consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The proposed project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) Permitted Uses and Structures (SBMC 17.20.020), which provides for use of the property as a single-family residence. The proposed project also adheres to the specific development regulations established for the Park Del Mar Development.

The design of the project is consistent with the provisions for minimum setbacks, the maximum floor area ratio (FAR), maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040(F):*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the MR Zone and Park Del Mar Development. Properties surrounding the lot are located within the same zone and also part of the Park Del Mar Development. They are developed with single-story, single-family residences. The project site is currently developed with a single-story, single-family residence and attached garage. The Applicant proposes to demolish the existing structure and replace it with a single-story, single-family residence with an attached one-car garage.

As designed, the project is consistent with the specific development standards of the Park Del Mar Development as well as the

permitted uses of the underlying MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single- and multi-family residential development with a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The site is currently developed with a 1,675 square-foot single-story, single-family residence and a garage located on a flat building pad approximately 2' higher than the street level. The Applicant proposes to demolish the existing residence and garage and construct a new 2,000 square-foot single-story, single-family residence with an attached 343 square-foot one-car garage. The garage is proposed to be located at the south side of the lot and would be accessed from East Solana Circle.

The Park Del Mar Development regulations allow reduced setback areas as compared to the underlying MR Zone. They also limit maximum structure height to 16 feet measured from the lower of existing or finished grade. The project would comply with the setbacks and height restrictions set forth in the Park Del Mar Development Regulations.

The 2,000 square-foot residence will consist of a living room, kitchen, primary suite, bedroom, bathroom, laundry room, and a music room. The proposed development also includes an exterior stair for a roof deck and an outdoor kitchen area.

The proposed improvements consist of a new single-family residence and an attached garage. Pedestrian and vehicular access would be maintained on the southern side of the residence from the existing shared driveway.

The proposed project, as designed, meets the minimum required front-, interior side-, and rear-yard setbacks.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified landscape areas that exceed 500 square feet. The proposed project does not include any modification to landscape areas. As a condition of approval, should the Applicant decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The SBMC parking regulations require two (2) off-street parking spaces per single-family residence. The SBMC indicates that when required spaces are provided in a garage, up to 200 square feet of floor area is exempted for each required space. As designed, the proposed residence would provide one (1) parking space in the garage and one (1) uncovered parking space; therefore, the project is afforded a 200 square-foot exemption and the total proposed floor area would be 2,143 square feet, which is 257 square feet under the maximum allowable floor area for the lot pursuant to Park Del Mar Regulations.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be*

landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

The proposed grading quantities include 0 cubic yards of site grading, 12 cubic yards for the excavation for the new footings and 0 cubic yards of removal and recompaction. The proposed total aggregate amount of grading is 12 cubic yards.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a new single-family residence, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. All required permits and approvals issued by the City, including variances, conditional use permits, comprehensive sign plans, and coastal development permits, have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the DRP. As a condition of project approval, the Applicant will be required to obtain approval from the CCC prior to issuance of Building Permits.

The project will not exceed 16 feet above the existing grade; therefore, a Structure Development Permit (SDP) is not required.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.*

As a condition of project approval, the Applicant will be required to obtain approval from the California Coastal Commission (CCC) prior to the issuance of Building Permits.

5. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the plans presented to the City Council on May 21, 2025 and located in the project file with a submittal date of April 21, 2025.
- III. The residence will not exceed 14.5 feet in height above the existing grade or 189.2 feet above MSL.
- IV. Any proposed onsite fences, walls, and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required CCC approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a Grading or Building Permit.
- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC 17.60.060.
- VIII. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on East Solana Circle and minimize impact to the surrounding neighbors.

- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
 - XI. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.
- B. Fire Department Conditions: Please note that this list provides detailed Fire Department requirements and is not meant to be an all-inclusive plan check list of the Fire Department comments.
- I. CONSTRUCTION MATERIALS: Prior to delivery of combustible building construction materials to the project site all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Fire Code Chapter 33:
 - i. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency.
 - ii. As a minimum the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
 - iii. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
 - II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the *2022 California Fire Code Chapter 5 Section 503.4 and 503.2.1*.
 - III. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal per the 2022 California Fire Code Chapter 5 Section 505.1.
 - IV. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic

fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the *Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2*.

- V. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and *per the 2022 California Building Code Chapter 15 Section 1505*.
- VI. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the *2019 California Fire Code Chapter 12 Section 1204*.

C. Engineering Department Conditions:

- I. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit/Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all private improvements in the public right-of way including but not limited to:
 - i. Retaining walls.
 - ii. Cobblestone path
 - iii. Landscape area
 - II. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
 - III. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.
7. EXPIRATION: The DRP for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council, subject to SBMC Section 17.72.110.

8. **INDEMNIFICATION AGREEMENT:** The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 21st day of May, 2025, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

/Users/heidikohler/RofRD Dropbox/RofRD/Projects/671 Solana Circle_Beals Model Files/2 DD Set Files/671 Solana Cir_Beals_DRP Revisions.pln

Beals Residence

671 E. Solana Circle Solana Beach CA
92075 United States

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidi@rofrd.com
(213) 359-8830
RofRD.com

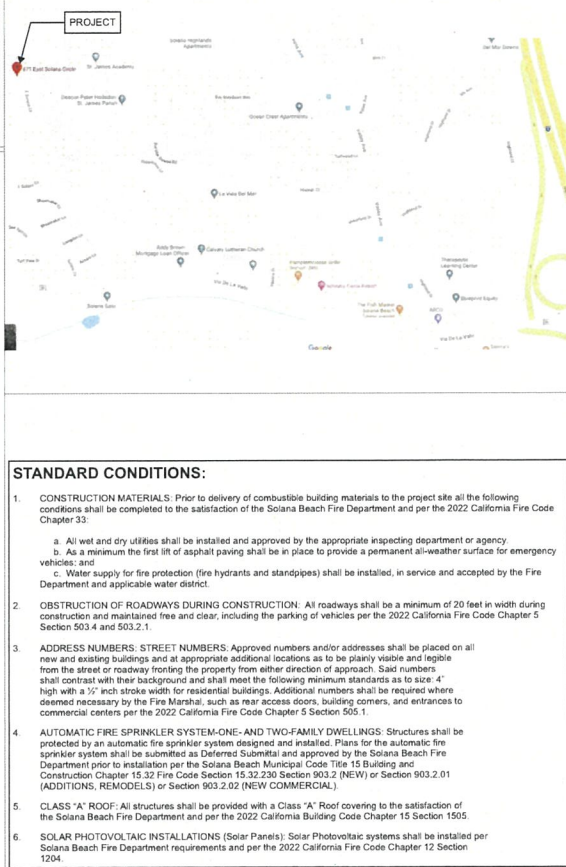
PROJECT AREAS

SITE DATA:			
SITE GROSS AREA:		4,266 SF	
LOT COVERAGE:			
	Existing	New	Total
PAVED:	870 SF	164 SF	920 SF
LANDSCAPING:	1,375 SF	89 SF	1,024 SF
UNIMPROVED:	0 SF	0 SF	0 SF
ALLOWABLE AREAS:			
ZONE:		MR Medium Residential	
OVERLAY:		None	
LOT AREA:		4,266 SF	
F.A.R. for Park Del Mar		2,400 SF	
REQ. PARKING SPACES:		2	
PROVIDED PARKING SPACES:		2	
Proposed Floor Area Breakdown			
Living Area	2,000 SF		
Garage	343 SF		
Sub-Total of Floor Area	2,343 SF		
Off-Street Parking Exemption (1 spaces)			- 200 SF
Total Floor Area Proposed			2,143 SF
BUILDING HEIGHT:			
EXISTING HEIGHT STRUCTURE:		12' 4"	
MAX HEIGHT ALLOWED IN ZONE:		16'	
PROPOSED HEIGHT:		14'-10" above grade	
BEDROOM SF Calculation:			
	(E)	(P)	Difference
Primary Suite	199 SF	198 SF	-1 SF
Secondary Bedroom	109 SF	153 SF	+44
Total			+43 SF

PROJECT DATA

PROJECT DESCRIPTION:		
New Construction. Demolition of existing single family residence and replace with new construction single family residence including an addition of (325 SF livable/77 SF garage). Existing roof to be replaced, no changes to existing drainage, no proposed work in the R.O.W., proposed roof top terrace and exterior staircase. 2 existing parking spaces to remain. Existing landscaping and vegetation to remain.		
CODE DATA:		
OCCUPANCY:	SINGLE FAMILY	
CONSTRUCTION TYPE:	TYPE II - WOOD FRAMED	
FIRE SPRINKLERS:	DEFERRED	
REQ. PARKING:	2 SPACES	
PROPOSED PARKING:	2 SPACES	
APPLICABLE CODES:		
BUILDING CODE:	2022 California Residential Code (CRC)	
GREEN CODE:	2022 California Green Building Standards Code- CALGreen	
MECHANICAL CODE:	2022 Mechanical Code (CMC)	
ELECTRICAL CODE:	2022 California Electrical Code	
PLUMBING CODE:	2022 California Plumbing Code (CPC)	
FIRE CODE:	2022 California Fire Code	
ENERGY CODE:	2022 California Energy Code	
SITE DATA:		
ZONE:	MRd (Medium Residential)	
PARCEL AREA:	0.10 ACRE LOT	
SETBACKS:	REQUIRED	PROPOSED
FRONT:	10'	10'
REAR:	5'	5'
SIDES:	5' - NORTH	5'
	2' -5" - SOUTH	2'-5"
LEGAL DESCRIPTION:		
PARCEL NO:	298-320-2700	
TRACT:	LOT 55 OF PARK DEL MAR	
LOT:	#55	
MAP REFERENCE:	MAP: 5070	

SITE VICINITY MAP



STANDARD CONDITIONS:	
1.	CONSTRUCTION MATERIALS: Prior to delivery of combustible building materials to the project site all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Fire Code Chapter 33: a. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency. b. As a minimum the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and c. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
2.	OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2022 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
3.	ADDRESS NUMBERS / STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a 1/2" inch stroke width for residential buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2022 California Fire Code Chapter 5 Section 505.1.
4.	AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL).
5.	CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2022 California Building Code Chapter 15 Section 1505.
6.	SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the 2022 California Fire Code Chapter 12 Section 1204.

DRAWING INDEX

General Drawings	
G-001	Cover Sheet
Architectural Site Plans	
AS-000	Survey
A-001	Architectural Site Plan
AS-001.1	Enlarged Architectural Site Plan
AS-004	BMP Plan
Demolition Plans	
A-101	Demolition Plan
Floor Plans	
A-102	Proposed Floor Plan
A-103	F.A.R Plan
Roof Plans	
A-104	Roof Plan
A-105	Story Pole Plan
Elevations	
A-201	Exterior Elevations I
A-202	Exterior Elevations II
Sections	
A-301	Building Sections

OWNER / DESIGN TEAM

OWNER:	Chan Beals & Kate Nicholls 671 E. Solana Circle Solana Beach, CA 92075 (908) 869-3395
DESIGNER:	REPUBLIC OF RATIONAL DESIGN HEIDI KOHLER Heidi@rofrd.com (213) 359-8830
CONTRACTOR:	Kevin Vint - Construction 2683 Via Del La Valle STE G302 Del Mar 92014 Kevin Vint Vintkevin@aol.com (858) 205-6719

REVIEW AGENCIES

BUILDING & SAFETY	City of Solana Beach 635 S. Highway 101, Solana Beach, CA 92075
PLANNING	City of Solana Beach 635 S. Highway 101, Solana Beach, CA 92075
ENGINEERING	City of Solana Beach 635 S. Highway 101, Solana Beach, CA 92075
FIRE	City of Solana Beach 635 S. Highway 101, Solana Beach, CA 92075
UTILITY CONTACT	
ELECTRICITY	San Diego Gas & Electric (SDG&E)
GAS	San Diego Gas & Electric (SDG&E)
WATER / SEWER	Olivenhain Municipal Water District Santa Fe Irrigation District
TRASH	EDCO Waste & Recycling

CONSTRUCTION TEAM

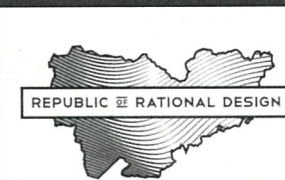
Kevin Vint - Construction 2683 Via Del La Valle STE G302 Del Mar 92014 Kevin Vint Vintkevin@aol.com (858) 205-6719
--

3D PERSPECTIVE



ATTACHMENT 2

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com



PROJECT NO: DRP-24-015
MODEL FILE:
671 Solana Cir_Beals_DRP Revisions.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Cover Sheet

G-001

SHEET 12 OF 46

LOT 57
MAP 5070
THOMAS T TELLEZ TRUST
665 E SOLANA CIR.
APN 298-320-29

LOT 56
MAP 5070
DIERBERG FAMILY TRUST
669 E SOLANA CIR.
APN 298-320-28

LOT 54
MAP 5070
HAYES JAMES LIVING TRUST
673 E SOLANA CIR.
APN 298-320-26

LOT 53
MAP 5070
CORNELL FAMILY
RESIDUARY TRUST
675 E SOLANA CIR.
APN 298-320-25

5' 2.5' 0 5' 10'
SCALE IN FEET

PROPERTY LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT 55 OF PARK DEL MAR, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 5070, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 31, 1962.

PARCEL 2:
AN UNDIVIDED 1/159TH INTEREST IN AND TO LOTS A, B, 2, 88, 89 AND 90 OF PARK DEL MAR, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5070, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 31, 1962.

SURVEYOR'S NOTES

1. THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
2. CERTIFICATION IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
3. THE BOUNDARY DIMENSIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY. DETAILS REGARDING CONTROLLING MONUMENTS AND THE BOUNDARY SURVEY PROCEDURE ARE AVAILABLE IN THE OFFICE OF THE SURVEYOR.
4. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES/STRUCTURES.
5. THERE MAY BE EASEMENTS THAT AFFECT THIS PROPERTY. NO TITLE REPORT WAS PROVIDED TO THE SURVEYOR.
6. THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS.

BASIS OF ELEVATIONS

CITY OF SOLANA BEACH SURVEY CONTROL POINT 2001, BEING A FOUND 2.5" BRASS DISC STAMPED "SOL-B-1 LS 7322" SET IN A CONCRETE DRAINAGE INLET ON THE EAST SHOULDER OF HIGHWAY 101 0.1 MILE SOUTH OF LOMAS SANTA FE DRIVE PER RECORD OF SURVEY NO. 18971.

EL: 69.280 NGVD 29

LEGEND

●	FOUND MONUMENT AS NOTED
---	CENTER LINE
---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	WALL
x 123.4	DIRT/GROUND COVER SPOT ELEVATION
AC	ASPHALT ELEVATION
FL	FLOWLINE ELEVATION
FS	CONCRETE SURFACE ELEVATION
SNF	SEARCHED FOR MONUMENT NOT FOUND
TC	TOP OF CURB ELEVATION
TB	TOP OF ASPHALT BERM
---	CONCRETE
---	BRICK/PAVERS
○	TREE (6" OR GREATER) WITH DIAMETER NOTED

SURVEYOR'S STATEMENT

THIS SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.

DATED: 1/5/2021

COLIN T. O'BRIEN L.S. 9296



VICINITY MAP



O'BRIEN LAND SURVEYING
1081 BORDEN RD., SUITE 105C, ESCONIDO CA 92026
(858) 947-8647 | COLIN@OBRLENLS.COM

BOUNDARY & TOPOGRAPHIC SURVEY
FOR

CHAN BEALS

671 E SOLANA CIR, SOLANA BEACH, CA 92075

APN: 298-320-27

SCALE: 1" = 5'

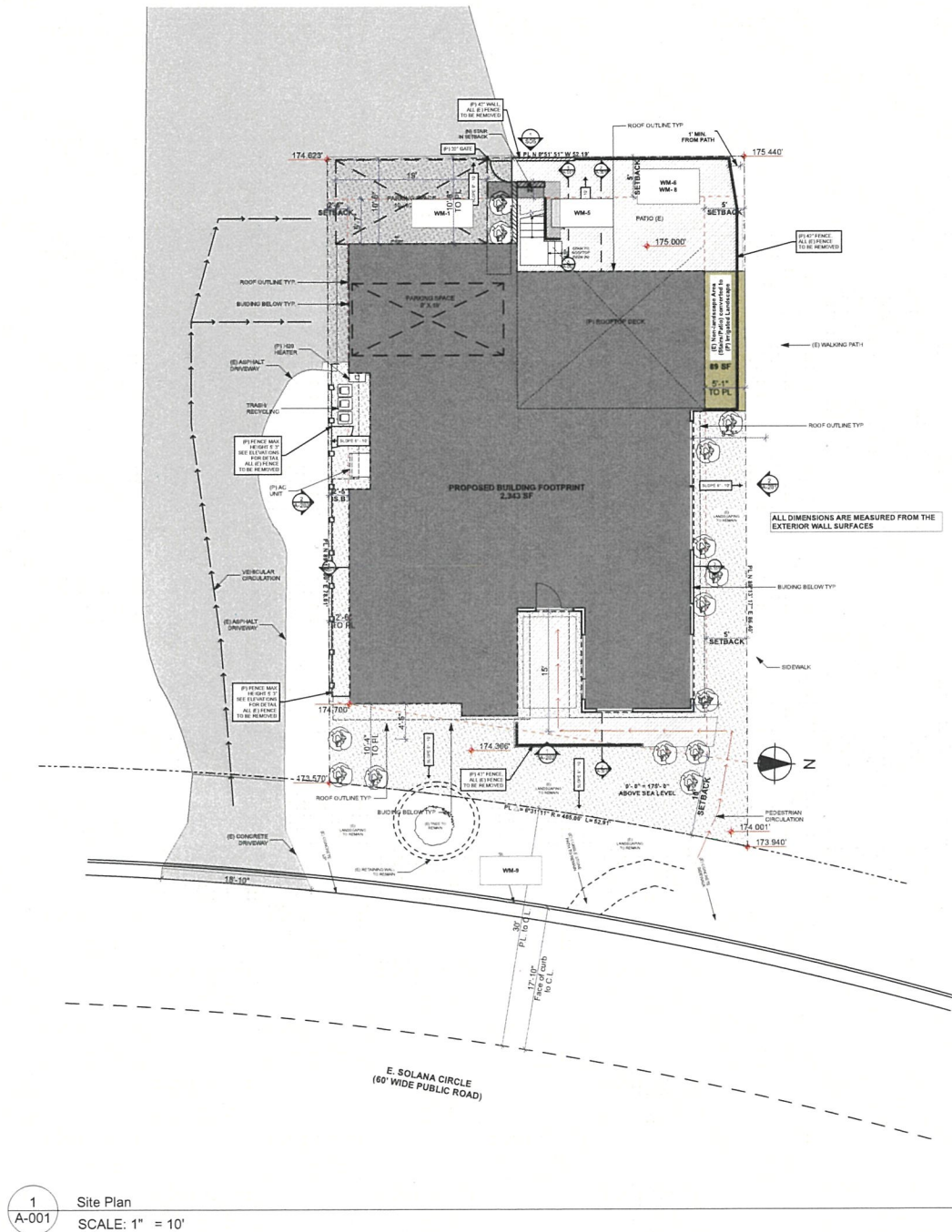
JOB No. 381

SURVEY DATE: 1/4/2021

DRAWING DATE: 1/5/2021

SHEET 1 OF 1

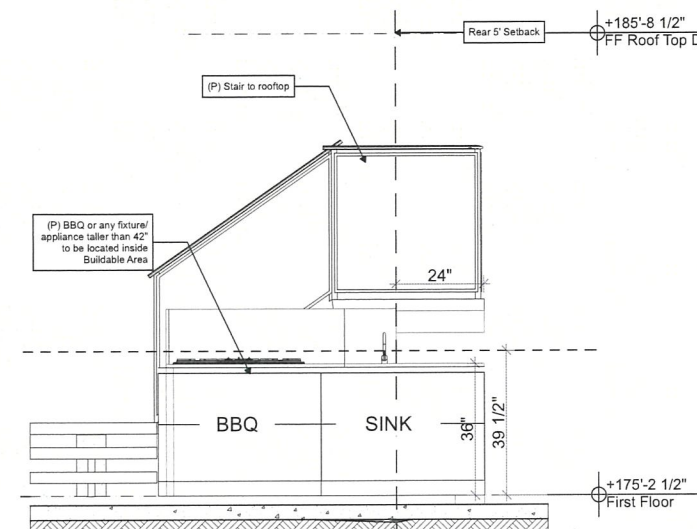
/Users/heidkohler/RofRD Dropbox/RofRD/Projects/671 Solana Circle_Beals Model Files/2 DD Set Files/671 Solana Cir_Beals_DRP Revisions.pln



1
A-001 Site Plan
SCALE: 1" = 10'

All outdoor fire appliances shall comply with the Solana Beach Recreational Fire Policy and the minimum clearances to combustibles

- Manufacturer's specifications/installation guidelines shall be provided upon building plan submittal.



5
A-001 Wetbar/BBQ Section
SCALE: 1/2" = 1'-0"

	Existing (SF)	Proposed Total (SF)
Non-landscaped Area ^a	2,173.50	2,348.75
Non-irrigated Landscape ^b	1,146.25	971
Irrigated Landscape	0	0
Water Features ^c	0	0
Decorative Hardscape ^d	1,023.25	919.50
Total Lot Area	4,266	4,266

	Area of Work ^e (SF)
Irrigated Landscape	89
Water Features ^c	0
Decorative Hardscape ^d	0
Aggregate Landscape Area ^e	89 SF

Grading	
W.C.Y. - Site Grading	0
X.C.Y. - Excavation for the footings of new construction	12
Y.C.Y. - Removal and Re-compaction for construction	0
Z.C.Y. - Total Grading	12

ZONE:	MR Medium Residential
OVERLAY:	None
LOT AREA:	4,266 SF
F.A.R. for Park Del Mar	2,400 SF
REQ. PARKING SPACES:	2
PROVIDED PARKING SPACES:	2
Proposed Floor Area Breakdown	
Living Area	2,000 SF
Garage	343 SF
Sub-Total of Floor Area	2,343 SF
Off-Street Parking Exemption (1 spaces)	- 200 SF
Total Floor Area Proposed	2,143 SF

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heid@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015

MODEL FILE:

671 Solana Cir_Beals_DRP Revisions.pln

DRAWN BY: CAD Technician Full Name

COPYRIGHT:

SHEET TITLE

Architectural Site Plan

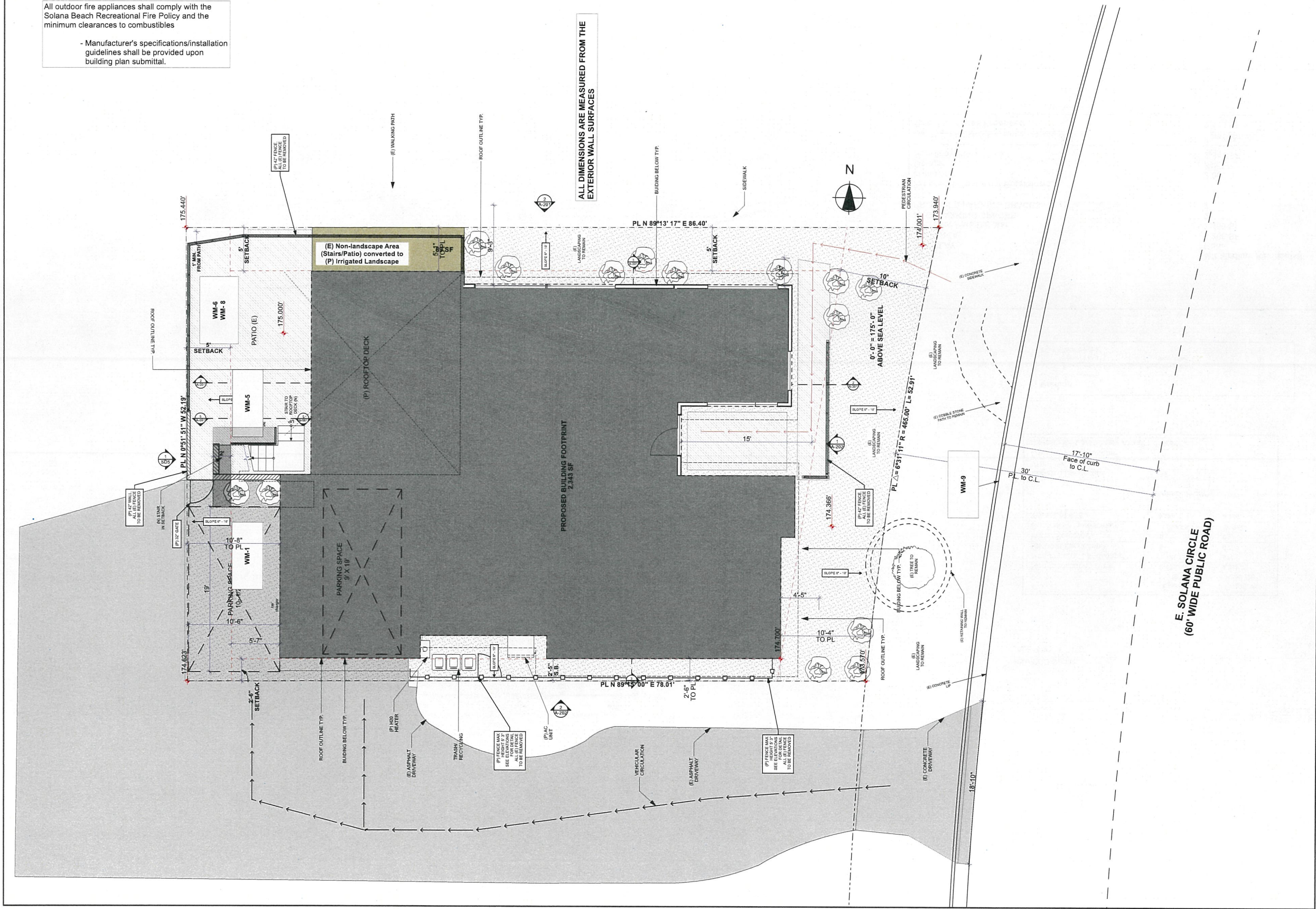
A-001

SHEET 14

OF 46

DRP24-015 COUNCIL SET.pdf

/Users/heidkohler/RofRD Dropbox/RofRD/Projects/671 Solana Circle_Beals Model Files/2 DD Set Files/671 Solana Cir_Beals_DRP Revisions.pln



1 First Floor (11)
AS-001.1 SCALE: 3/16" = 1'-0"

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heid@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015
MODEL FILE:
671 Solana Cir_Beals_DRP Revisions.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

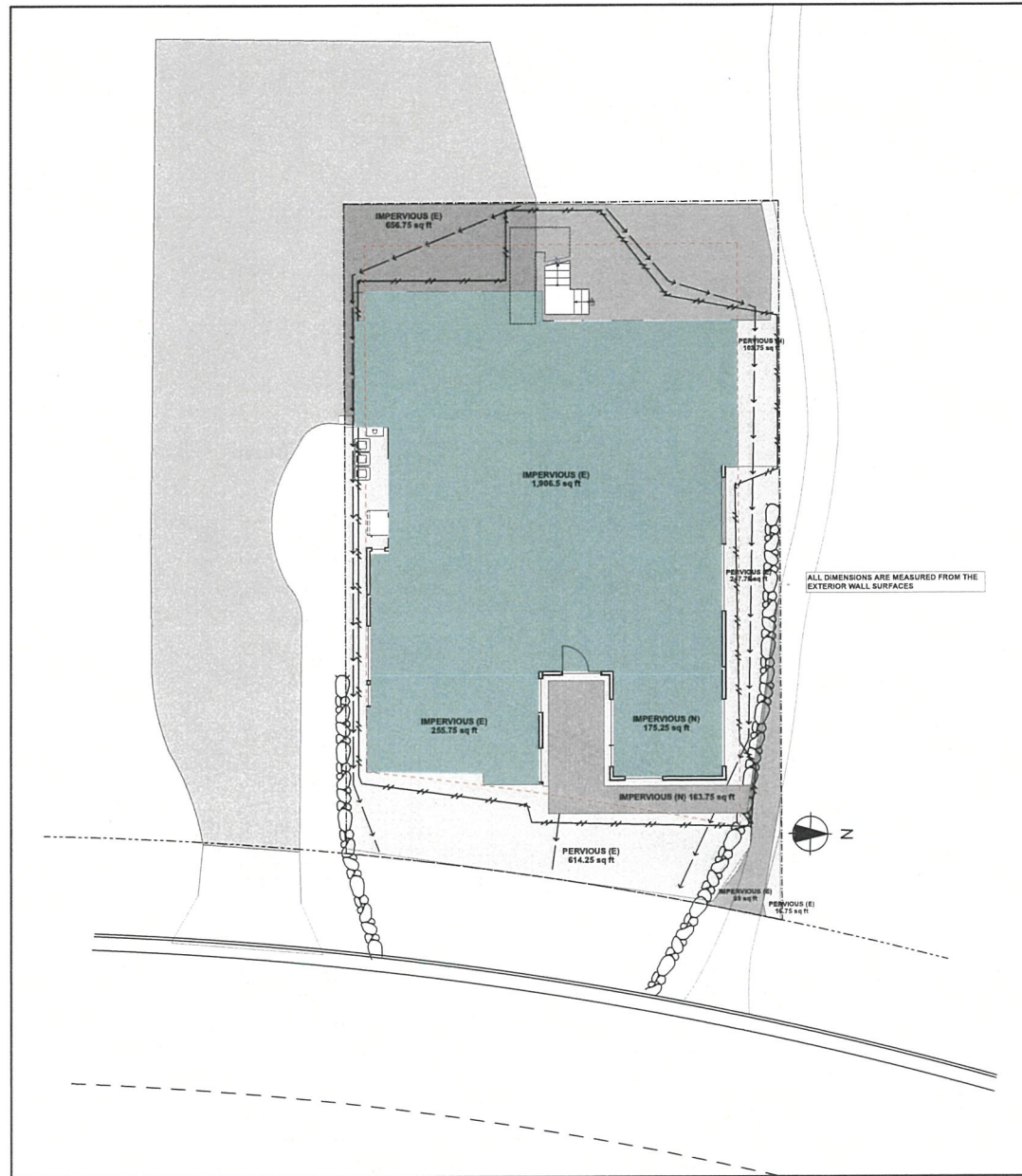
SHEET TITLE

Enlarged Architectural
Site Plan

AS-001.1

SHEET 15

OF 46



2 BMP Plan
AS-004 SCALE: 1" = 10'

Parcel Area (total area of Assessor's Parcel(s) associated with the project)	0.10	Acres	(4,266	Square Feet)
Area to be Disturbed by the Project (Project Area)	0.03	Acres	(1,309	Square Feet)
Project Existing Impervious Area (subset of Project Area)	0.06	Acres	(2,905	Square Feet)
Project Proposed Impervious Area (subset of Project Area)	0.07	Acres	(3,269	Square Feet)
Project Proposed Pervious Area (subset of Project Area)	0.002	Acres	(972	Square Feet)

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidi@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015
MODEL FILE: 671 Solana Cir_Beals_DRP Revisions.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

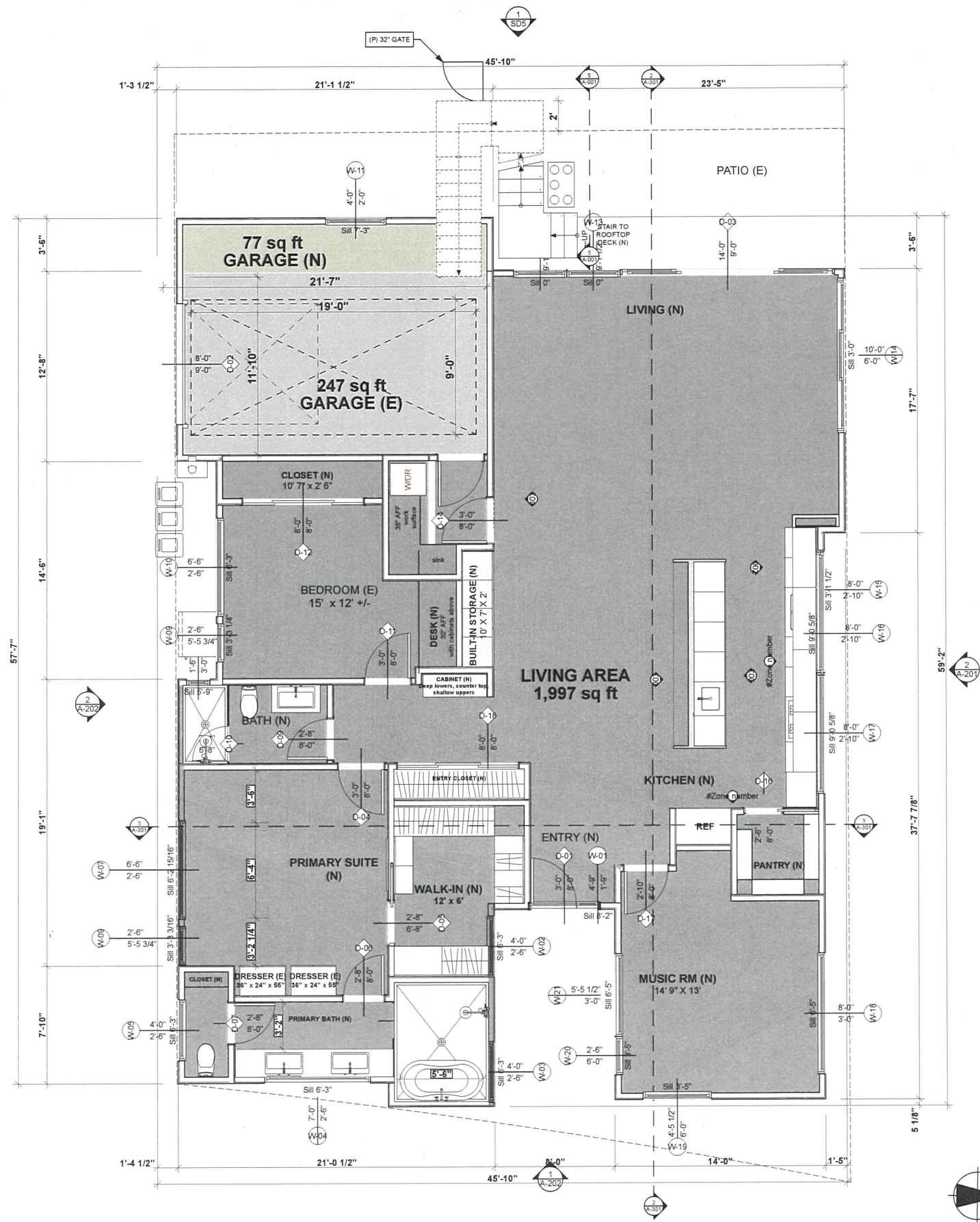
SHEET TITLE

BMP Plan

AS-004

SHEET 16 OF 46

Users\heidikohler\RofRD Dropbox\Projects\671 Solana Circle\Beals Model Files\2 DD Set Files\671 Solana Cir_Beals_DRP Revisions_Final.pln



FLOOR PLAN NOTES

- 5/8" TYPE X GYPSUM BOARD ON GARAGE SIDE OF COMMON WALL AND CEILING OF GARAGE AND HOUSE DRYWALL GARAGE COMPLETE (CBC 406 1.1)
- WHEN THE CEILING IN THE GARAGE IS REQUIRED TO BE ENTIRELY PROTECTED THE WALLS AND / OR BEAMS SUPPORTING THE CEILING ARE TO BE PROTECTED WITH THE EQUIVALENT FIRE RESISTIVE CONSTRUCTION (CBC 714)
- INSTANT TANKLESS GAS WATER HEATER SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING. FUEL-BURNING WATER HEATERS MAY BE INSTALLED IN A CLOSET LOCATED IN THE BEDROOM OR BATHROOM PROVIDED THE CLOSET IS EQUIPPED WITH A LISTED GASKETED DOOR ASSEMBLY AND A LISTED SELF-CLOSING DEVICE. THE DOOR ASSEMBLY SHALL BE INSTALLED WITH A THRESHOLD AND BOTTOM DOOR SEAL.
- SAFETY GLAZING REQUIRED BUT NOT LIMITED TO GLAZING IN FIXED PANELS ADJACENT TO A DOOR WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE. CBC SECTION 2409.3 ALSO WITHIN 18" OF FLOORS WITHIN TUBS - SHOWER ENCLOSURES WITHIN HOT-TUB WHIRLPOOL, SAUNA AND STEAM ROOM AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
- F.A.U. IN ATTIC ON PLATFORM. PROVIDE SWITCH, LIGHT AND OUTLET NEAR ACCESS AND UNIT.
- PROVIDE 30" X 30" ATTIC ACCESS TO MECHANICAL UNIT. A 22" X 30" ACCESS OPENING CAN BE USED IF A LETTER FROM THE MANUFACTURE STATING THAT ALL COMPONENTS OF F.A.U. AND HAVE A CONTINUOUS 24" WIDE WALKWAY.
- AIR CONDENSING UNIT ON CONCRETE PAD. PROVIDE 5'-0" MINIMUM CLEAR PASSAGE AROUND UNIT.
- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE CMV 403.1 & 1.4.4.
- APPROVED MULTIPLE PURPOSE CARBON MONOXIDE / SMOKE DETECTOR INSTALLED AS REQUIRED AND AS INDICATED. CARBON MONOXIDE / SMOKE DETECTOR COMBINED ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP. (F315.3.1) CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EVERY LEVEL OF A DWELLING UNIT INCLUDING THE BASEMENT. WHEN MORE OR ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE ALL PER CBC R315.2.1.
- PROVIDE MIN. 100 SQ. INCH OPENING IN DOOR OF A LAUNDRY CLOSET OR PROVIDE OTHER APPROVED MEANS TO MAKE UP AIR PER CMV 504.3.1.
- ALL HOSE BIBBS TO HAVE NON-REMOVABLE BACKFLOW PREVENTION DEVICES PER CPC 603.3.7.
- INDIVIDUAL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE ARE REQUIRED AT THE SHOWERS AND TUB-SHOWER COMBINATION PER CPC 402.
- GARAGE DOOR SHALL BE PROTECTED BY A 1-3/8" SELF-CLOSING, SELF-LATCHING SOLID CORE DOOR OR A SELF-CLOSING DOOR HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES. CBC 406.1.4
- SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET.
- SMOKE DETECTORS HARDWIRED AND INTERCONNECTED TO ONE ANOTHER. PROVIDE BATTERY BACKUP TO ALL SMOKE DETECTOR UNITS (TYP). CBC 907.2.10.2 A SINGLE ALARM SHALL ACTIVATE ALL ALARMS AND BE CLEARLY AUDIBLE. CBC 907.2.10.3

FIXTURE FLOW RATE REQUIREMENTS:

THE FOLLOWING FIXTURES SHALL BE OF WATER CONSERVATIONS

RESIDENTIAL:	
WATER CLOSETS	1.28 GALLON PER FLUSH MAXIMUM
SHOWER HEAD FLOW	1.8 GALLON PER MINUTE AT 80 PSI
LAVATORY / SINK FIXTURE	1.2 GALLON PER MINUTE AT 60 PSI
KITCHEN FAUCETS	1.8 GALLON PER MINUTE AT 60 PSI

NON COMPLIANT FIXTURES MEANS ANY OF THE FOLLOWING

RESIDENTIAL:	
ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GAL OF WATER PER FLUSH	
ANY SHOWERHEAD MANUFACTURED WITH 2.5 GALLONS PER MINUTE	
ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GALLONS PER MINUTE	

ZONE:
OVERLAY:
LOT AREA:
F.A.R. for Park Del Mar
REQ. PARKING SPACES:
PROVIDED PARKING SPACES:

MR Medium Residential
None
4,266 SF
2,400 SF
2
2

Proposed Floor Area Breakdown
Living Area
Garage
Sub-Total of Floor Area

2,000 SF
343 SF
2,343 SF

Off-Street Parking Exemption (1 spaces)
Total Floor Area Proposed

- 200 SF
2,143 SF

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidir@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015

MODEL FILE:

671 Solana Cir_Beals_DRP Revisions_Final.pln

DRAWN BY: CAD Technician Full Name

COPYRIGHT:

SHEET TITLE

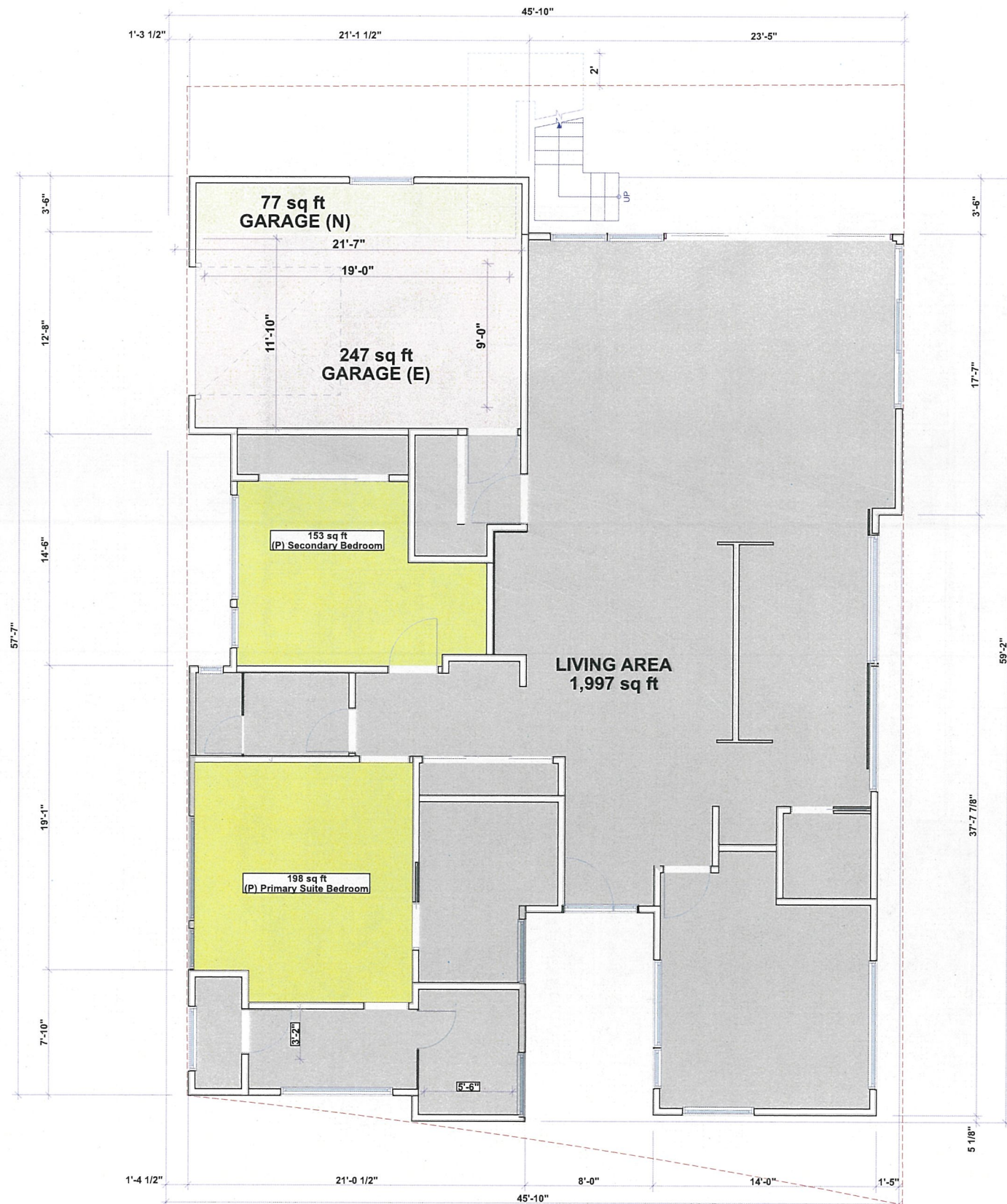
Proposed Floor Plan

A-102

SHEET 18

OF 46

/Users/heidikohler/RofRD Dropbox/RofRD/Projects/671 Solana Circle_Beals Model Files/2 DD Set Files/671 Solana Cir_Beals_DRP Revisions.pln



BEDROOM SF Calculation:			
	(E)	(P)	Difference
Primary Suite	199 SF	198 SF	-1 SF
Secondary Bedroom	109 SF	153 SF	+44
Total			+43 SF

ALL DIMENSIONS ARE MEASURED FROM THE
EXTERIOR WALL SURFACES

ZONE:	MR Medium Residential
OVERLAY:	None
LOT AREA:	4,266 SF
F.A.R. for Park Del Mar	2,400 SF
REQ. PARKING SPACES:	2
PROVIDED PARKING SPACES:	2
Proposed Floor Area Breakdown	
Living Area	2,000 SF
Garage	343 SF
Sub-Total of Floor Area	2,343 SF
Off-Street Parking Exemption (1 spaces)	- 200 SF
Total Floor Area Proposed	2,143 SF

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidi@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015

MODEL FILE:
671 Solana Cir_Beals_DRP Revisions.pln

DRAWN BY: CAD Technician Full Name

COPYRIGHT:

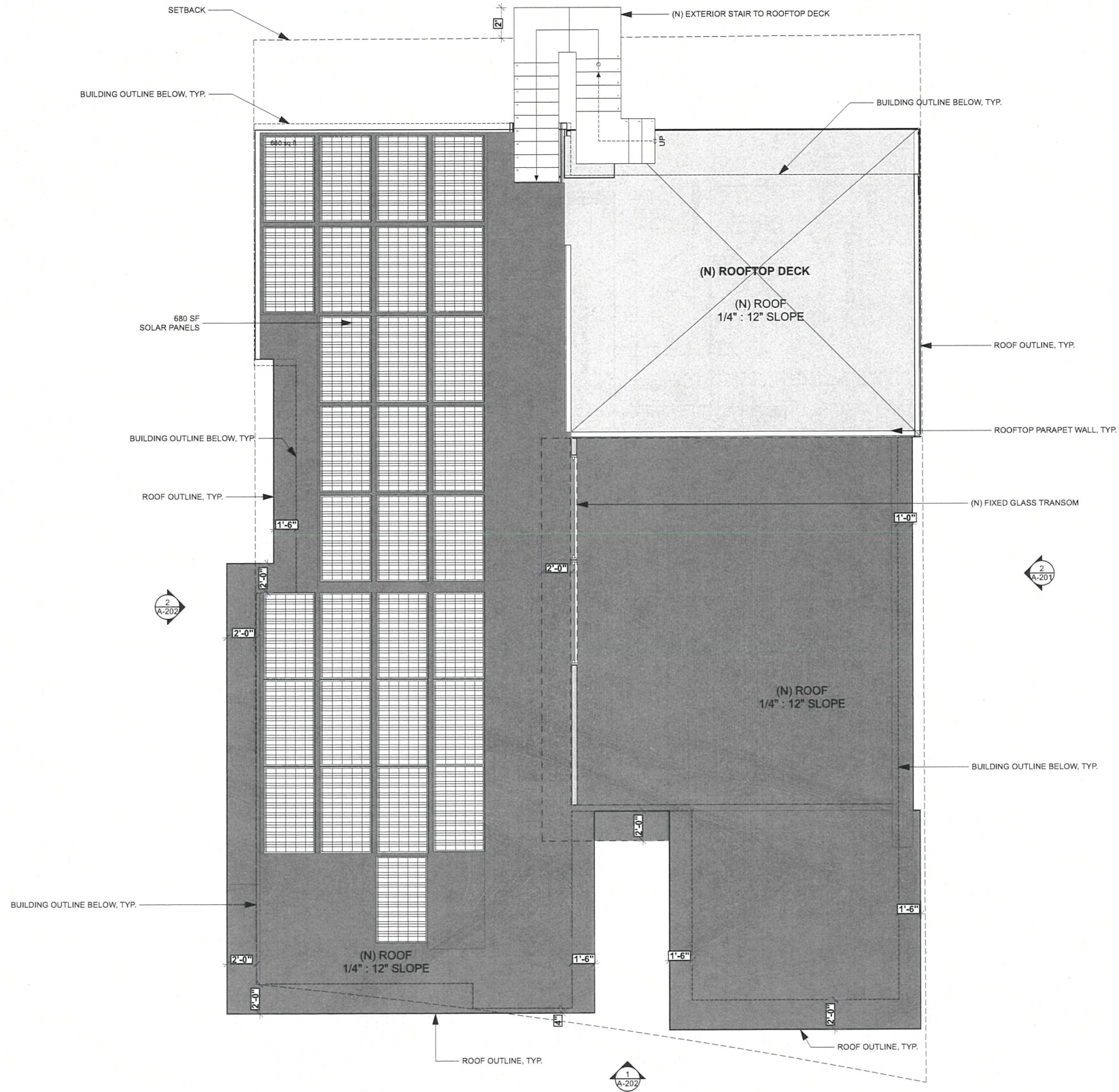
SHEET TITLE

F.A.R Plan

A-103

SHEET 19 OF 46

/Users/heidikohler/RofRD Dropbox/RofRD/Projects/671 Solana Circle_Beals Model Files/2 DD Set Files/671 Solana Cir_Beals_DRP Revisions.pln



Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidi@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015

MODEL FILE:
671 Solana Cir_Beals_DRP Revisions.pln

DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Roof Plan

A-104

SHEET 20 OF 46

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidi@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals
(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015
MODEL FILE:
671 Solana Cir_Beals_DRP Revisions.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Story Pole Plan

A-105

SHEET 21

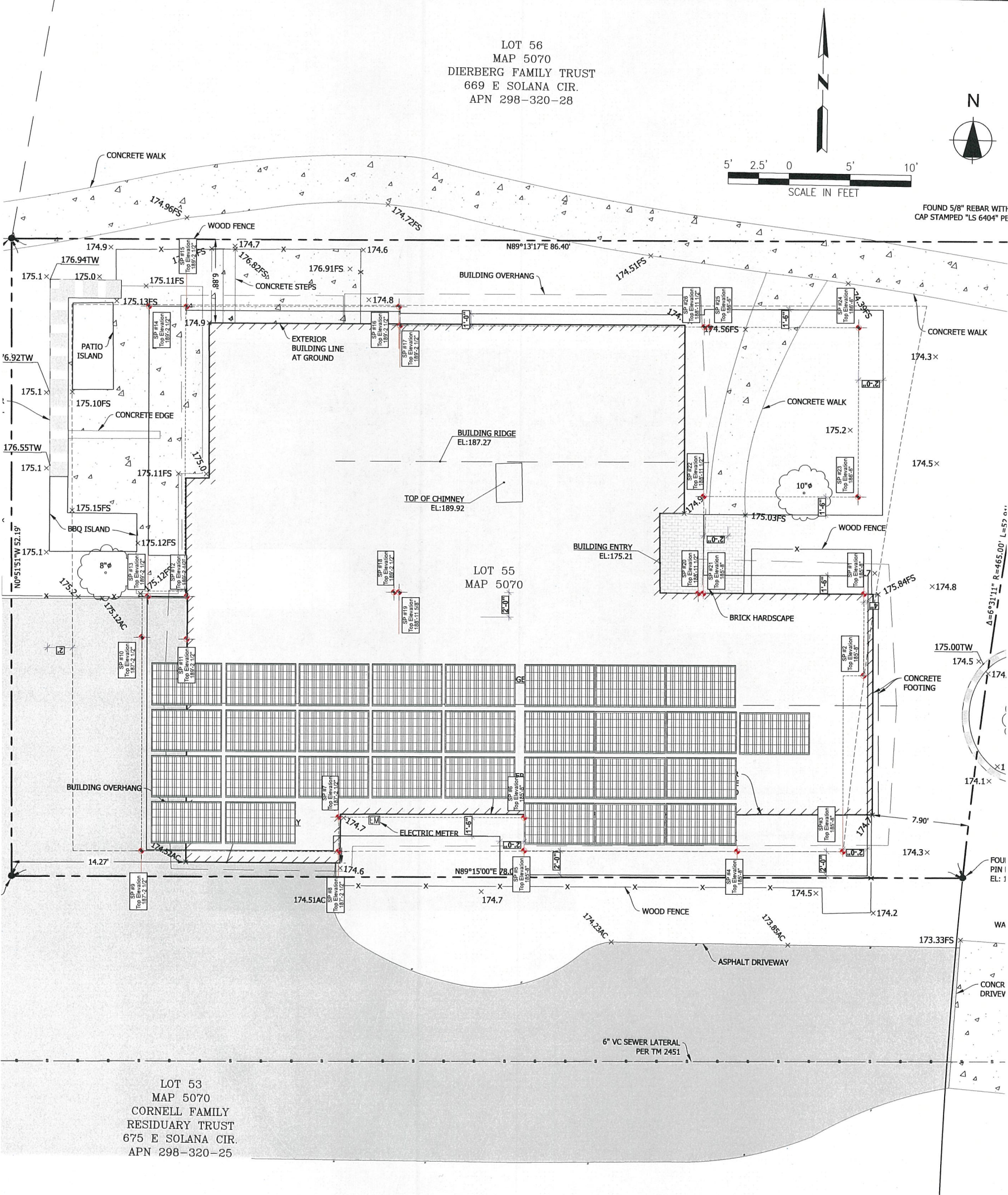
OF 46

DRP24-015 COUNCIL SET.pdf

LOT 56
MAP 5070
DIERBERG FAMILY TRUST
669 E SOLANA CIR.
APN 298-320-28

LOT 55
MAP 5070

LOT 53
MAP 5070
CORNELL FAMILY
RESIDUARY TRUST
675 E SOLANA CIR.
APN 298-320-25



1 Story Pole Plan
A-105
SCALE: 1/4" = 1'-0"

Users\heidikohler\RoFRD Dropbox\RoFRD\Projects\671 Solana Circle\Beals Model Files\2 DD Set Files\671 Solana Cir_Beals_DRP Revisions_Final.pln



Light Gray Stucco

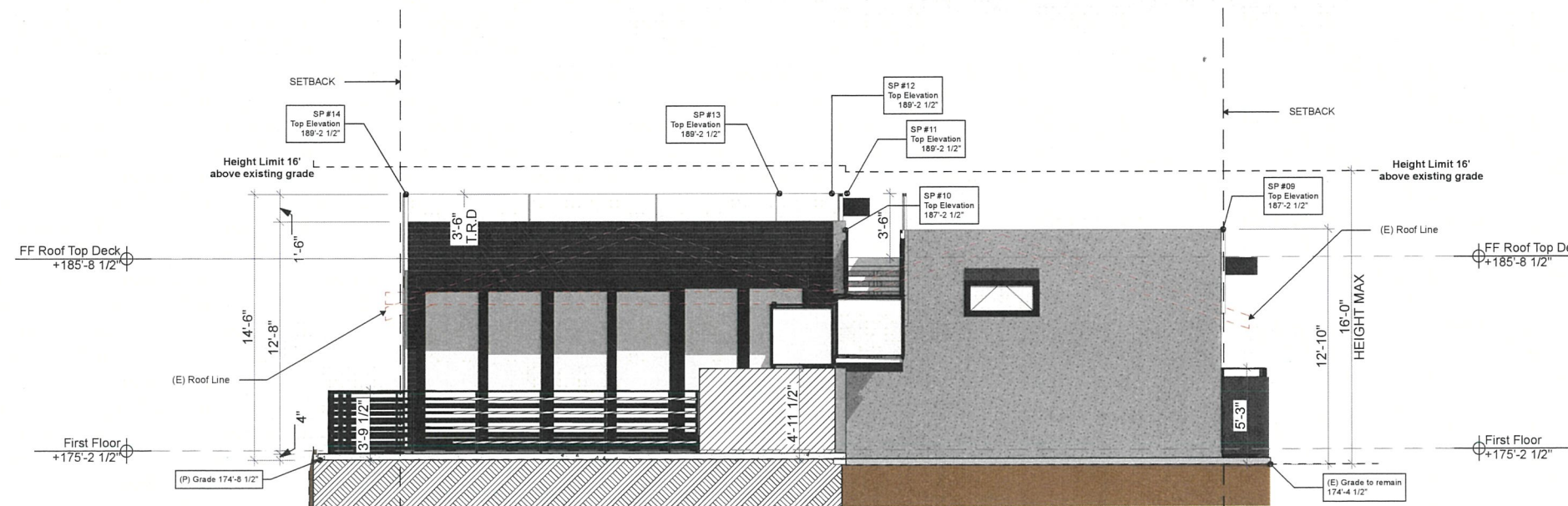
Painted Wood Fence
Color: Dark Gray

Soffit/Fascia/Header-Bronze

Rolled Compote Double Layer
Color: Shasta White, GAF

DrkGrey James H Siding Soffit/Fascia Detail

Dark Slatted Wood Fence Detail



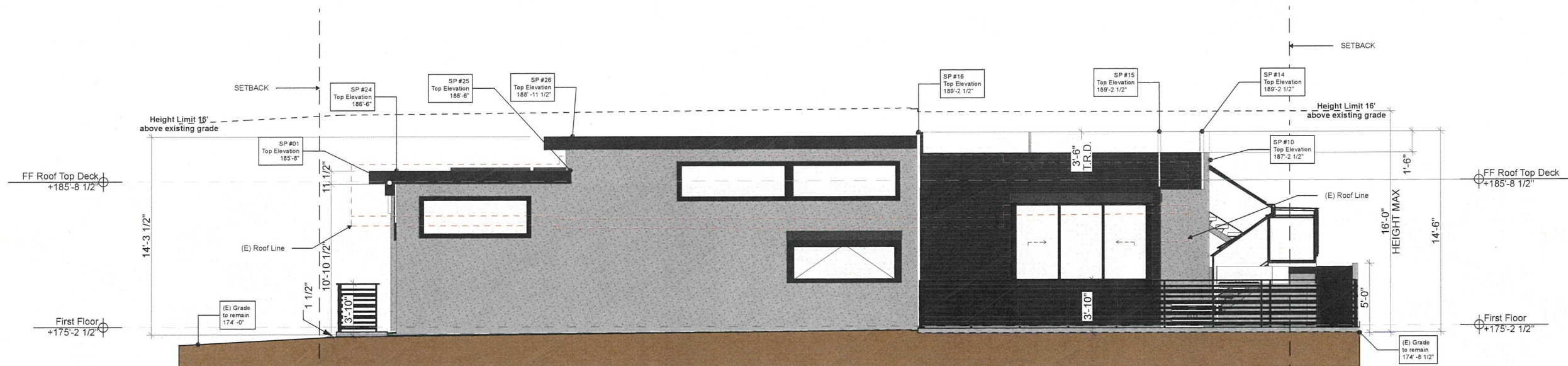
ELEVATION NOTES

1. SINGLE-PLY ROOF PVC SYSTEM (TPO OR SIMILAR) WITH REQUIRED OVERLAP AND WATER RESISTIVE SEALANT/ TAPE @ ALL SEAMS MIN. SLOPE 1/4" - 1" PER MANUFACTURE SPECIFICATIONS
2. 2 X 8 HEM FIR FASCIA (TYP)
3. 7/8" CEMENT PLASTER @ 3/4" RIBBED LATH AND APPROVED BUILDING PAPER @ 5/8" PLYWOOD SHEATHING W/ 8d @ 8'-6" - 12" ON HO. SURFACE OF EXTERIOR (TYP)
4. WOOD SIDING OVER APPROVED MOISTURE BARRIER
5. NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL ON EXPOSED UNDERSIDE. WHERE EXPOSED, WOOD SHALL BE FIRE RETARDANT-TREATED
6. 2 X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
7. GA WEEP SCREED FLASHING AT BASE OF CEMENT PLASTER AND INSTALLED PER CBC2512.1.2. WEEP SCREED SHALL BE CORROSION RESISTANT WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AND SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE EARTH GRADE AND 2" MINIMUM ABOVE PAVED SURFACE
8. SLOPE AWAY FROM BUILDING 5% OR 10' MINIMUM (TYP)

ELEVATIONS NOTES:

BUILDING INSULATION:	R-21 MINIMUM (TYP)
EXTERIOR WALL:	R-38 MINIMUM (TYP)
CEILING:	
INTERIOR WALL MATERIAL:	1/2" GYPSUM BOARD
WALLS:	5/8" GYPSUM BOARD (GARAGE WALLS & CEILING USE 5/8" TYPE "X" BOARD AND FOR USEABLE AREA UNDER STAIRS)
CEILING:	
WALL FRAMING:	2 X 4 STUD WALLS @ 16" O/C
EXTERIOR WALLS:	2 X 4 STUD WALLS @ 16" O/C
INTERIOR WALLS:	
HEADERS UNLESS OTHERWISE NOTED:	
EXTERIOR BEARING:	6X12 D.F. #1 (U.O.N.)
EXTERIOR NON-BEARING:	4X12 D.F. #1 (U.O.N.)
INTERIOR BEARING:	4X12 D.F. #2 (U.O.N.)
INTERIOR NON-BEARING:	4X8 D.F. #2 (U.O.N.)

17
A-201
West Elevation
SCALE: 1/4" = 1'-0"



18
A-201
North Elevation
SCALE: 1/4" = 1'-0"

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heidi@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015
MODEL FILE:
671 Solana Cir_Beals_DRP Revisions_Final.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Exterior Elevations I

A-201

SHEET 22 OF 46

DRP24-015 COUNCIL SET.rvt



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015

MODEL FILE:
671 Solana Cir_Beals_DRP Revisions_Final.pln

DRAWN BY: CAD Technician Full Name

COPYRIGHT:

SHEET TITLE

Exterior Elevations II

A-202

SHEET 23

OF 46



Light Gray Stucco

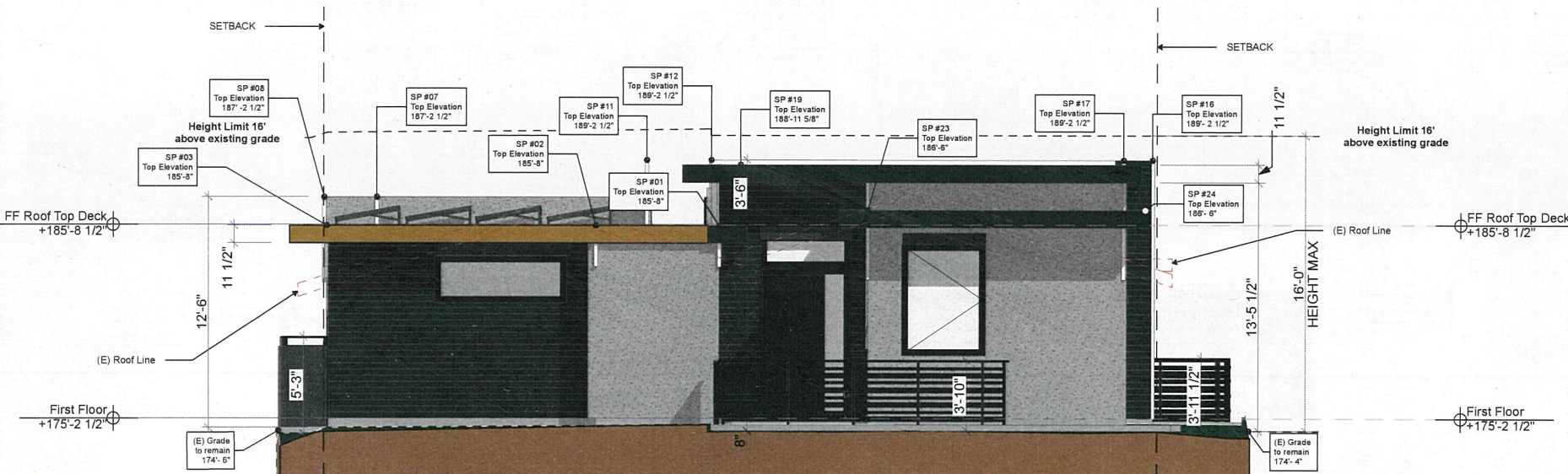
Painted Wood Fence
Color: Dark Gray

Soffit/Fascia/Header-Bronze

Rolled Compite Double Layer
Color: Shasta White, GAF

DrkGrey James H Siding Soffit/Fascia Detail

Dark Slatted Wood Fence Detail

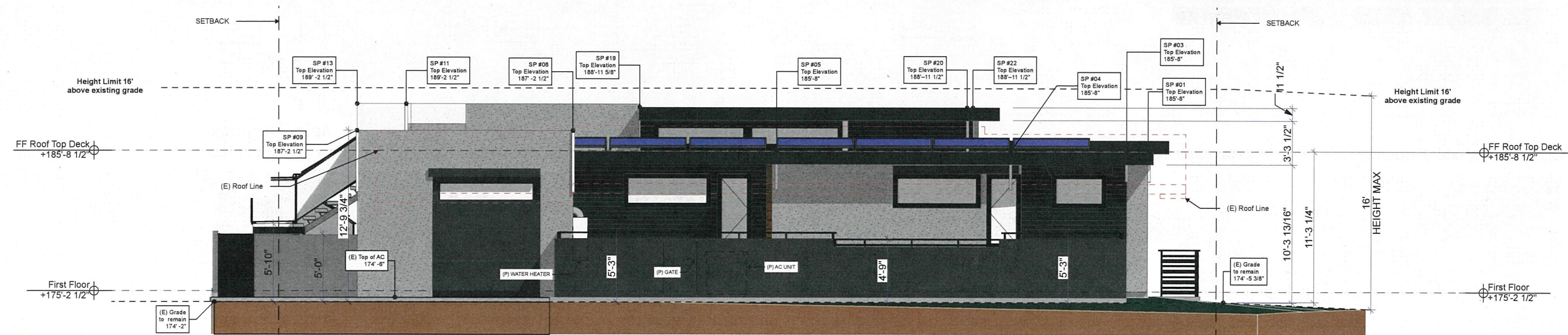


ELEVATION NOTES

1. SINGLE-PLY ROOF PVC SYSTEM (TPO OR SIMILAR) WITH REQUIRED OVERLAP AND WATER RESISTIVE SEALANT/ TAPE @ ALL SEAMS MIN. SLOPE 1/4" - 1" PER MANUFACTURE SPECIFICATIONS
2. 2 X 8 HEM FIR FASCIA (TYP)
3. 7/8" CEMENT PLASTER O/ 3/4" RIBBED LATH AND APPROVED BUILDING PAPER O/ 5/8" PLYWOOD SHEATHING W/ 8d @ 6"-8" - 12" ON HO. SURFACE OF EXTERIOR (TYP)
4. WOOD SIDING OVER APPROVED MOISTURE BARRIER
5. NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL ON EXPOSED UNDERSIDE. WHERE EXPOSED, WOOD SHALL BE FIRE RETARDANT-TREATED
6. 2 X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
7. GA WEEP SCREED FLASHING AT BASE OF CEMENT PLASTER AND INSTALLED PER CBC2512.1.2. WEEP SCREED SHALL BE CORROSION RESISTANT WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AND SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE. THE SCREED SHALL BE PLACE A MINIMUM OF 4" ABOVE EARTH GRADE AND 2" MINIMUM ABOVE PAVED SURFACE
8. SLOPE AWAY FROM BUILDING 5% OR 10' MINIMUM (TYP)

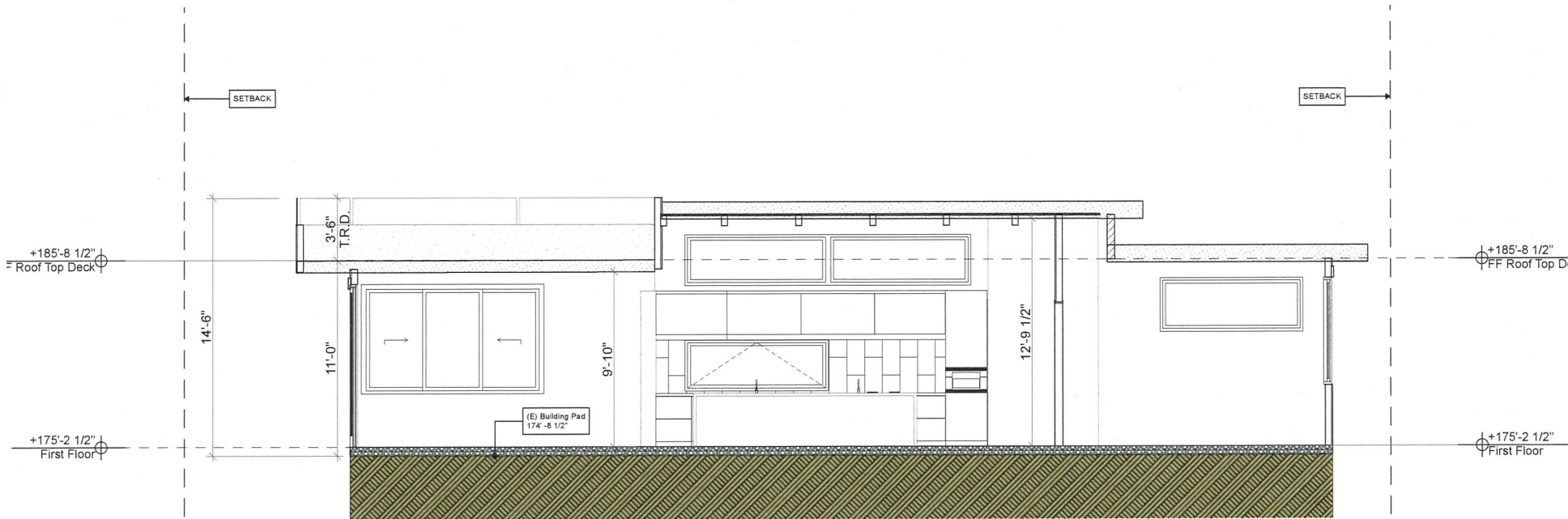
ELEVATIONS NOTES:

- BUILDING INSULATION:
EXTERIOR WALL: R-21 MINIMUM (TYP)
CEILING: R-38 MINIMUM (TYP)
- INTERIOR WALL MATERIAL:
WALLS: 1/2" GYPSUM BOARD
CEILING: 5/8" GYPSUM BOARD (GARAGE WALLS & CEILING USE 5/8" TYPE "X" BOARD AND FOR USEABLE AREA UNDER STAIRS)
- WALL FRAMING:
EXTERIOR WALLS: 2 X 4 STUD WALLS @ 16" O/C
INTERIOR WALLS: 2 X 4 STUD WALLS @ 16" O/C
- HEADERS UNLESS OTHERWISE NOTED:
EXTERIOR BEARING: 6X12 D.F. #1 (U.O.N.)
EXTERIOR NON-BEARING: 6X12 D.F. #1 (U.O.N.)
INTERIOR BEARING: 4X12 D.F. #2 (U.O.N.)
INTERIOR NON-BEARING: 4X8 D.F. #2 (U.O.N.)



18 A-202
South Elevation
SCALE: 1/4" = 1'-0"

/Users/heidkohler/RofRD Dropbox/RofRD/Projects/671 Solana Circle_Beals RORD 060119/671 Solana Circle_Beals Model Files/2 DD Set Files/671 Solana Cir_Beals_DRP Revisions_Final.pln



2
A-301 Building Section B
SCALE: 1/4" = 1'-0"

SECTION NOTES	
1.	COMPOSITION SHINGLE ROOFS OF MIN OF CLASS A OVER 30 LB MINIMUM ROOFING FELT (TYP)
2.	2 X 8 HEM FIR FASCIA (TYP)
3.	7/8" CEMENT PLASTER O/3.4# RIBBED LATH AND APPROVED BUILDING PAPER O/ 5/8" PLYWOOD SHEATHING W/ 8d @ 6"-8" -12" ON HO. SURFACE OF EXTERIOR (TYP)
4.	WOOD SIDING OVER APPROVED MOISTURE BARRIER
5.	NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL ON EXPOSED UNDERSIDE. WHERE EXPOSED, WOOD SHALL BE FIRE RETARDANT-TREATED
6.	2 X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
7.	GA WEEP SCALED FLASHING AT BASE OF CEMENT PLASTER AND INSTALLED PER CBC2512.1.2. WEEP SCREED SHALL BE CORROSION RESISTANT WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AND SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE EARTH GRADE AND 2" MINIMUM ABOVE PAVED SURFACE
8.	SLOPE AWAY FROM BUILDING 5% OR 100" MINIMUM (TYP)

SECTION NOTES:	
BUILDING INSULATION:	
EXTERIOR WALL:	R-21 MINIMUM (TYP)
CEILING:	R-38 MINIMUM (TYP)
INTERIOR WALL MATERIAL:	
WALLS:	1/2" GYPSUM BOARD
CEILINGS:	5/8" GYPSUM BOARD (GARAGE WALLS & CEILING USE 5/8" TYPE "X" BOARD AND FOR USEABLE AREA UNDER STAIRS)
WALL FRAMING:	
EXTERIOR WALLS:	2 X 6 STUD WALLS @ 16" O/C
INTERIOR WALLS:	2 X 4 STUD WALLS @ 16" O/C
HEADERS UNLESS OTHERWISE NOTED:	
EXTERIOR BEARING:	6X12 D.F. #1 (U.O.N.)
EXTERIOR NON-BEARING:	6X12 D.F. #1 (U.O.N.)
INTERIOR BEARING:	4X12 D.F. #2 (U.O.N.)
INTERIOR NON-BEARING:	4X8 D.F. #2 (U.O.N.)



3
A-301 Building Section B
SCALE: 1/4" = 1'-0"

Republic of
Rational Design

Heidi Kohler
1737 Catalpa Road
heid@rofrd.com
(213) 359-8830
RofRD.com

CONSULTANTS



Beals Residence

671 E. Solana Circle Solana
Beach CA 92075 United States
APN: 298-320-2700

Chan & Kate Beals

(908) 869-3395
chanbeals@gmail.com

PROJECT NO: DRP-24-015
MODEL FILE:
671 Solana Cir_Beals_DRP Revisions_Final.pln
DRAWN BY: CAD Technician Full Name
COPYRIGHT:

SHEET TITLE

Building Sections

A-301

SHEET 24 OF 46

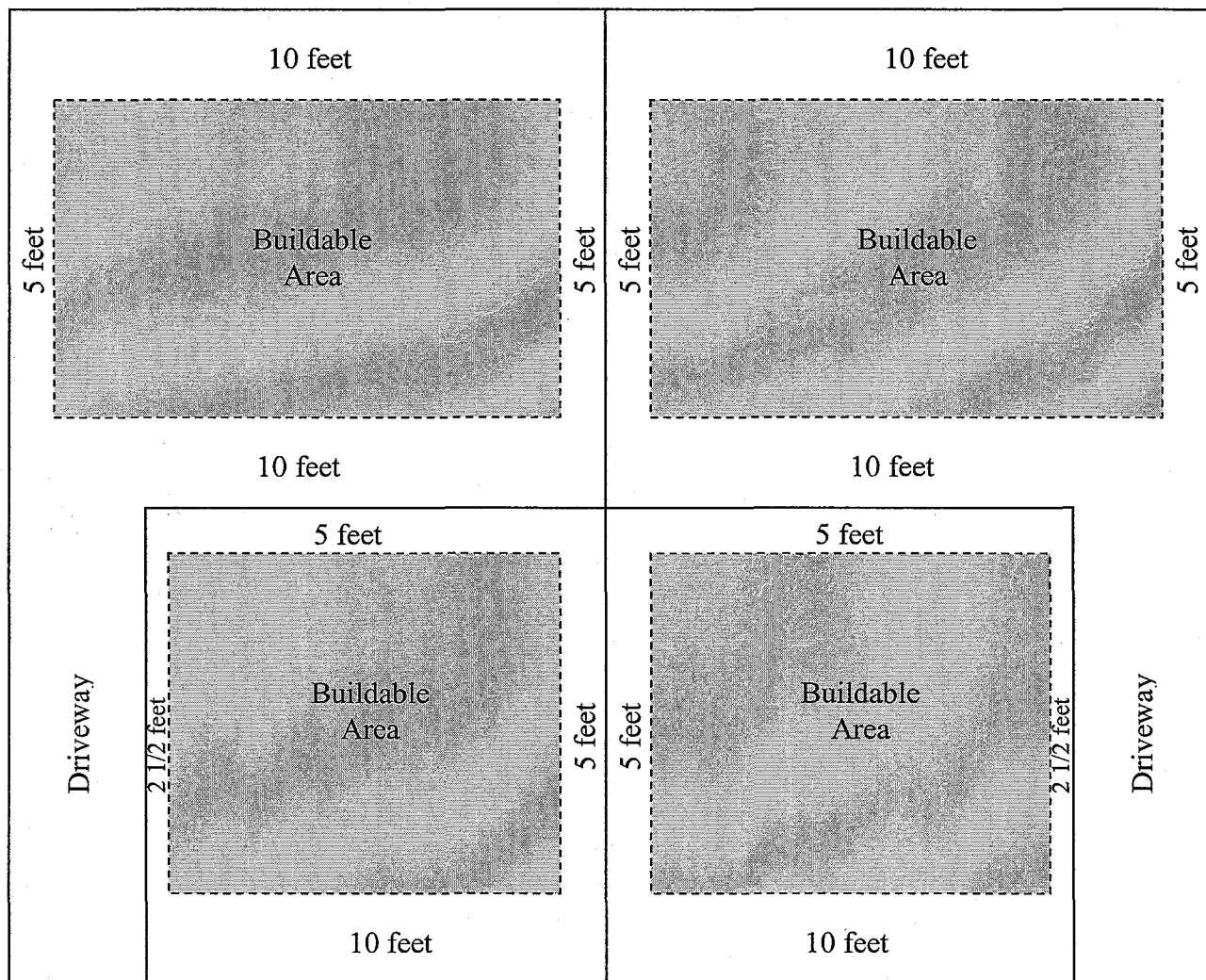
DRP24-015 COUNCIL SET.rvt

PARK DEL MAR REGULATIONS

CURRENT AS OF JUNE 2003

Conditions that apply begin on PAGE 4

Typical Setback Configuration:



Solana Circle Drive

Application of Hobart Properties,
Inc. No. P62-145
Special Use Permit for
Neighborhood Housing
Development and Subdivision
Containing Lots Smaller than
Minimum Area Required by Zone
Classification Applicable to Property
with Variance to Permit Reduction in
Certain Yard Requirements, Increase
in Building Height Requirements and
Reduction in Size of Parking Spaces
on Certain Lots – Solana Beach
Zoning District Property Zoned R-2

DECISION OF THE COMMISSION

Hobart Properties, Inc., having filed an application pursuant to Section 480 of The Zoning Ordinance for a special use permit for a neighborhood housing development and a subdivision that contains lots smaller than the minimum area required by the same classification applicable to said land, said application including a request for variance to permit the reduction in certain yard requirements on specific lots, a reduction in the size of parking spaces on specific lots and an increase in building height on one lot; and the Commission having given the required notices and held the required hearing on the application for said permit; and the land for which the special use permit is requested being in the County of San Diego, State of California, more particularly described as follows:

All that portion of the ____ of the ____ of Sec. 2 T 14 S, R 4 W, S.B.B.M, County of San Diego, State of California, according to U.S. Government Survey approved January 18, 1876, lying Kly of the Kly line of Villa Del Mar Unit #1, Map #3332, Recorded in office of the County Recorder, County of San Diego, November 13, 1955.

Said land being shown on the conditionally approved tentative Map No. 2451 entitled "Conditionally Approved Tentative Map No. 2451" dated April 27, 1962, on file in the office of the Planning Commission of the County of San Diego, State of California, which said above described land is sometimes hereinafter referred to as "Park Del Mar"; and

It appearing that the applicant seeks to develop at this time only a portion of said Park Del Mar and that the applicant proposes to develop at a later date the westerly portion of Lot 1 and all of Lot 60 as shown on said conditionally approved tentative map.

It appearing that the applicant proposed to develop said Park Del Mar By the construction of single family dwellings and apartments designed for senior citizens i.e., persons over the age of 50 years, and the establishment of recreational facilities for said senior citizens; and

It appearing that the application proposed to sell to others both the single family dwellings and individual units within the apartment house shown on Lot 1; and

It appearing that in consideration of the proposed development, the character of the residential facilities to be provided, and the open space containing pedestrian walls to be reserved and improved, the maintenance of gross area requirements for parking areas and the size of the single family dwellings to be erected on the lots within Park Del Mar that the lot size prescribed for the R-2 Zone should be reduced to the minimum sizes shown on said conditionally approved tentative map as more particularly shown on the plot plan designated "Approved Plot Plan of Park Del Mar" dated April 27, 1962, on file in the office of said Planning Commission of the County of San Diego and that the applicant be permitted to reduce certain yard set backs and parking spaces and increase certain building heights as shown on said plot plan; NOW

THEREFORE

The Planning Commission of the County of San Diego hereby grants the application of Hobart Properties, Inc., (hereinafter referred to as the Permittee) a special use permit for a neighborhood housing development on the above described land designated Park Del Mar, and for a subdivision of a portion of the above described land designated Park Del Mar (said portion being Lots 3 to 59 and 61 to 85, inclusive, as shown on said conditionally approved tentative Map No. 2451 and said approved plot plan of Park Del Mar) into lots containing less area than the minimum area specified for lots in an R-2 zone and to substitute recreational areas and open space for a portion of the required lot areas, and said Commission also grants variances as requested on said plot plan to permit a reduction in yard setback requirements and the size of parking spaces on certain lots, and an increase in building height on one lot, subject to the following conditions:

1. A final map of said property designated Park Del Mar approved by the Board of Supervisors of the County of San Diego and conforming to said conditionally approved tentative Map No. 2451, or said tentative Map as hereafter modified pursuant to the approval of the Planning Commission, shall be recorded in the office of the County Recorder of said County of San Diego in accordance with the Subdivision Map Act of the State of California and the San Diego County Code. The lots shown on said final map shall be numbered in accordance with the lot numbers shown on said conditionally approved Map No. 2451. Each of Lots 1 to 90, inclusive, shall not be smaller in any dimension or in area than the minimum sizes shown on said conditionally approved tentative Map No. 2451 and said approved plot plan of Park Del Mar.
2. No building permit for the construction of any building on said property designated "Park Del Mar" shall be issued by the County of San Diego and no construction of any such building shall be commenced until said final map of Park Del Mar has been approved by the Board of Supervisors and recorded; provided, however, this restriction shall not apply to the construction of not to exceed three model homes and the construction of the hereinafter described recreational facilities or four model homes, and except on Lot 1 as specified in Paragraph 20, below, provided the construction of said model homes and recreational facilities and any building constructed on said Lot 1 shall conform to the requirements of all State laws and the San Diego County Code. No building permit for the construction of any dwelling on said property (except the model homes referred to above and any building constructed on said Lot 1) shall be issued by the County of San Diego until the Permittee has obtained from the County of San Diego the building permit or permits for the construction of the recreational facilities specified in paragraph 8 below.
3. Primary use of the site shall be limited to one detached, single-family dwelling with one garage or carport. The dwelling unit shall be limited to 2,000 square feet and the garage or carport to 600 square feet; in no case shall the total square footage on site exceed 2,400 square feet. Detached accessory structure may be permitted pursuant to the City of Solana Beach Zoning Ordinance and will be deducted from the total allowed garage square footage calculation.
4. HEIGHT – No on-site structures shall exceed a height of 16 feet as measured from the lower of existing or finished grade to the highest point of the structure, including roofing materials. SETBACK, FRONT – For lots which front on Solana Circle, the front yard setback shall be 10 feet from the edge of the ultimate right-of-way; for panhandle lots, the front yard setback shall be 10 feet from the rear property line for those lots fronting on Solana Circle, extending from one side property line to the other side property line. SETBACK, SIDE – For lots which front on Solana Circle, the side yard setback shall be 5 feet from the side property line except that those side property lines adjacent to a panhandle shall be 2.5 feet from the side property line; for panhandle lots, the side setback shall be 5 feet from side property lines. SETBACK, REAR – For lots which

front on Solana Circle, the rear yard setback shall be 5 feet from the rear property line; for panhandle lots, the rear yard setback shall be 10 feet from the rear property line.

5. No dwelling within Park Del Mar shall be given a final inspection pursuant to any building permit or occupied until the recreational facilities hereafter specified in paragraph 8 and improvements specific hereafter in paragraph 9 have been completed and have received a final inspection and approval by the Building Inspector of the County of San Diego.
6. Lots 2 and 90 shown on said conditionally approved tentative Map No. 2451 and on said final map of Park Del Mar shall be permanently reserved for recreation and open space.
7. At the same time said final map is recorded in the office of the county recorder there also shall be recorded a document signed by all persons, firms and corporations having an interest in the property shown on said final map and by the County of San Diego. Said document shall be in a form satisfactory to the County Counsel of the County of San Diego, and shall establish for the benefit of all the property shown on said final map of Park Del Mar, a restriction that said Lots 2 and 90 shall be used only as open space and for recreational facilities primarily for the use and benefit of the occupants of the property shown on said final map. Said document shall provide that said restriction shall run with the land and shall bind all owners of the property shown on said final map and all persons claiming under them for a period of 20 years from the date of recording the restrictions, after which time the restriction shall be automatically extended for successive periods of 20 years unless an instrument signed by a majority of the then owners of lots in said Park Del Mar and by the County of San Diego has been recorded agreeing to change the restriction in whole or in part.
8. Lot 90 shown on said conditionally approved tentative Map No. 2451 and on said final map shall be improved with the following recreational facilities:
 - a. A swimming pool not less than 1,000 square feet in area constructed in accordance with the requirements and regulations of the Department of Public Health of the State of California applicable to public pools.
 - b. Two concrete shuffleboard courts.
 - c. One croquet court.
 - d. One putting green.
 - e. One recreation building not less than 3,400 square feet in area.Said recreational facilities shall be constructed within Lot 90 at the locations shown on the plot plan designated "Approved Plot Plan of Park Del Mar" dated April 27, 1962, a copy of which is on file in the office of the Planning Commission of the County of San Diego or at such locations within said Lot 90 as the Planning Commission may approve. Construction of the said recreational facilities shall be commenced no later than the time of commencement of construction of the first dwelling (except model homes) in Park Del Mar and shall be diligently prosecuted to completion. Said facilities shall be completed prior to the final inspection (pursuant to any building permit) and occupancy of any dwelling within Park Del Mar.

9. In addition to the improvements specified above in paragraph 8 said Lot 90 shall be improved with a parking area as shown on said plot plan designated "Approved Plot Plan of Park Del Mar" dated April 27, 1962. Said parking area shall be surfaced with a minimum of two inches of asphalt plant mix over a decomposed granite base or with a material of equal or better quality approved by the County Building Inspector and shall otherwise be improved to conform to the requirements of Section 472 of The Zoning Ordinance of the County of San Diego.
10. Walks shall be construction at locations on the landscape plan designated "Approved Landscape Plan of Park Del Mar" dated April 27, 1962, on file in the office of said Planning Commission or at such other locations as the Commission may approve. All walks shall be not less than four feet in width except short connecting feeder walks to single family dwellings which may be not less than three feet in width. Walks within County road right of way shall be improved in accordance with specifications approved by the County Supervisor and Road Commissioner. Other walks shall be improved with a minimum of two inches of asphalt plant mix or with a material of equal or better quality approved by the County Building Inspector.
11. Lots 1 to 59 and 61 to 85, inclusive, and Lots 88,89 and 90 shall be planted and maintained with lawn, scattered shade trees, flower beds and shrubbery. Planted areas shall have installed therein a permanent-type sprinkler system to irrigate and water the trees. Three planting shall be in accordance with said Approved Landscape Plan of Park Del Mar.
12. The improvements specified in paragraphs 9,10 and 11, above, shall be completed in accordance with the following:
 - a. Lot 90 – Prior to the final inspection (pursuant to any building permit) and occupancy of any dwelling within Park Del Mar.
 - b. Lots 2, 88 and 89 – Prior to the final inspection (pursuant to any building permit) and occupancy of any dwellings in excess of the first 40 dwellings constructed pursuant to this use permit.
 - c. Lots 1, 3 to 59, inclusive, and 62 to 85, inclusive – Prior to the final inspection (pursuant to any building permit) and occupancy of any dwelling on the lot on which said improvements are located.
13. The recreational facilities specified in paragraph 8 and the other improvements specified in paragraphs 9, 10 and 11 shall be maintained in a neat, clean condition and in a state of good repair.
14. a. The Permittee and all persons, firms or corporations owning Lots 2 and 90 at the time of the recording of the final map of Park Del Mar and their heirs, administrators, executors, successors and assigns, shall operate, maintain and repair the recreational facilities and improvements specified above in paragraphs 8, 9, 10 and 11 primarily for the benefit of the residents of Park Del mar and shall continue to operate, maintain and repair such facilities and improvements until such time as the operation and maintenance

of said recreational facilities and improvements is assumed by some public agency, district, corporation or legal entity approved by the County Planning Commission.

b. The maintenance and operation of said recreational facilities and improvements shall be assured by the granting of an undivided interest in said Lots 2 and 90 (including the recreational facilities and improvements) to the purchasers of each of the other individual lots in said Park Del Mar (for the purposes of this subsection "b", only, the term Park Del Mar includes, but is not limited to, any future re-subdivision of said Park Del Mar), the inclusion in the deeds conveying said individual lots of provision, such as covenants running with the land, requiring the owners, their heirs, administrators, successors and assigns, to participate in the cost of such maintenance and operation, and the creation of a legal entity with the right to assess all owners of Lots in said Park Del Mar for, and enforce the participation of each such owner in the costs of the maintenance and operation of said facilities and improvements, or be assured by some other device creating a legal entity capable of maintaining and operating said recreational facilities and improvements and providing for the participation by the owners of all lots within said Park Del Mar in the cost and maintenance and operation and the enforcement of such participation. Prior to the final inspection and occupancy of any dwelling in Park Del Mar, the Permittee shall make provisions to assure the continued maintenance and operation of said recreational facilities and improvements as above specified and obtain the County Planning Commission's approval of such provision.

15. On lots 1 and ___ as shown on said conditionally approved tentative Map No. 2451 and said approved Plot Plan of Park Del Mar, the area per parking space plus the area used for driveways shall total not less than 300 square feet per parking space.
16. The terms and conditions of this special use permit shall be binding upon the Permittee, all persons, firms and corporations having an interest in the above described property designated Park Del Mar and the heirs, executors, administrators, successors and assigns to each of them, including municipal corporations, public agencies and districts.
17. At the same time the final map of Park Del Mar is recorded there shall also be recorded a document, signed by all persons, firms and corporations having an interest in the property shown on the final map, whereby said persons, firms and corporations accept the terms and conditions of this special use permit and agree with the County of San Diego to comply therewith. Said document shall be in a form satisfactory to Council Counsel of the County of San Diego.
18. The conditions and restrictions specified in this permit, other than the requirement of the recording of a final map in accordance with the conditionally approved tentative map of Park Del Mar dated April 27, 1962, shall not be applicable to Lots 86 and 87 as shown on said conditionally approved tentative map and final map of Park Del Mar.
19. A building permit for the construction of a building on Lot 1 as shown on said conditionally approved tentative Map No. 2451 and said Approved Plot Plan of Park Del Mar dated April 27, 1962, may be issued by the County of San Diego, provided,

however, that no such building shall be given final inspection pursuant to any building permit or occupied until a final map of re-subdivision of said Lot 1 has been approved by the Board of Supervisors and recorded.

20. In the event the Permittee constructs the recreational facilities and improves Lots 2 and 90 as required by this permit and constructs dwellings on some or all of the lots in Park Del mar, notwithstanding the fact that Permittee is no longer the owner of said Lots 2 and 90 or any or all of the lots in said Park Del Mar other than Lots 1 and 60, Permittee may apply to the County Planning Commission for modification of this special use permit insofar as it applies to Lots 1 and 60, Permittee may apply to the County Planning Commission for modification of this special use permit insofar as it applies to Lots 1 and 60. Any such modification shall be applied for, considered and granted or denied in accordance with the provisions of The Zoning Ordinance applicable to special use permits.
21. This permit shall terminate and become void and of no further effect one year from the effective date hereof, unless prior to such termination date, construction of the recreational facilities on Lot 90 and of single family dwellings (other than model homes) on at least 10 lots shall be commenced or unless prior to said termination date an extension of time is granted by the Planning Commission or the Board of Supervisors.
22. By accepting this special use permit Applicant agrees to, and does, waive any and all rights heretofore granted to Applicant by that certain Special Use Permit No. 62-77, granted by the Board of Supervisors of the County of San Diego, it being understood that this permit incorporates the provisions of said Permit No. 62-77 except insofar as specifically modified hereby, and it being intended that all of Applicant's rights in the premises shall be set forth in this Permit rather than in said Permit No. 62-77.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Community Development Department - Tiffany Wade, Associate Planner
SUBJECT: **Public Hearing: DRP/SDP for a Replacement Two-Story Single-Family Residence at 448 Marview (Case #: DRP22-021, SDP22-019; Applicant: Todd Johansen; APN: 263-182-07-00; Resolution No. 2025-054**

BACKGROUND:

The Applicant, Todd Johansen, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish a single-story, single-family residence and construct a replacement two-story, single-family residence with an attached garage and perform associated site improvements. The 32,382 square-foot lot is located at 448 Marview Drive and is within the Low Residential (LR) Zone, the Scaled Residential Overlay Zone (SROZ), Hillside Overlay Zone (HOZ), and is adjacent to Environmentally Sensitive Habitat Area (ESHA). The Applicant proposes to construct a 5,464 square-foot residence with an attached 545 square-foot garage. The proposed development includes grading in the amount of 1,080 cubic yards (CY) aggregate. The maximum height of the proposed residence would be 25 feet above the proposed grade (or 314.66 feet above Mean Sea Level (MSL)).

An application for a DRP shall be required for any structure or site development which meets the criteria listed in SBMC Section 17.68.040(B)(1)(a-n). The project meets the following criteria for the requirement of a DRP:

- (d) Grading in excess of 100 cubic yards;
- (f) Development on a property located in the HOZ;
- (n.i) Construction in excess of 60 percent of the maximum allowable floor area; and
- (n.ii) Construction of a second story that exceeds 35 percent of the floor area of the first floor.

The project requires a SDP because the proposed development exceeds 16 feet in height above the existing grade. The issue before the Council is whether to approve, approve

CITY COUNCIL ACTION: _____ _____

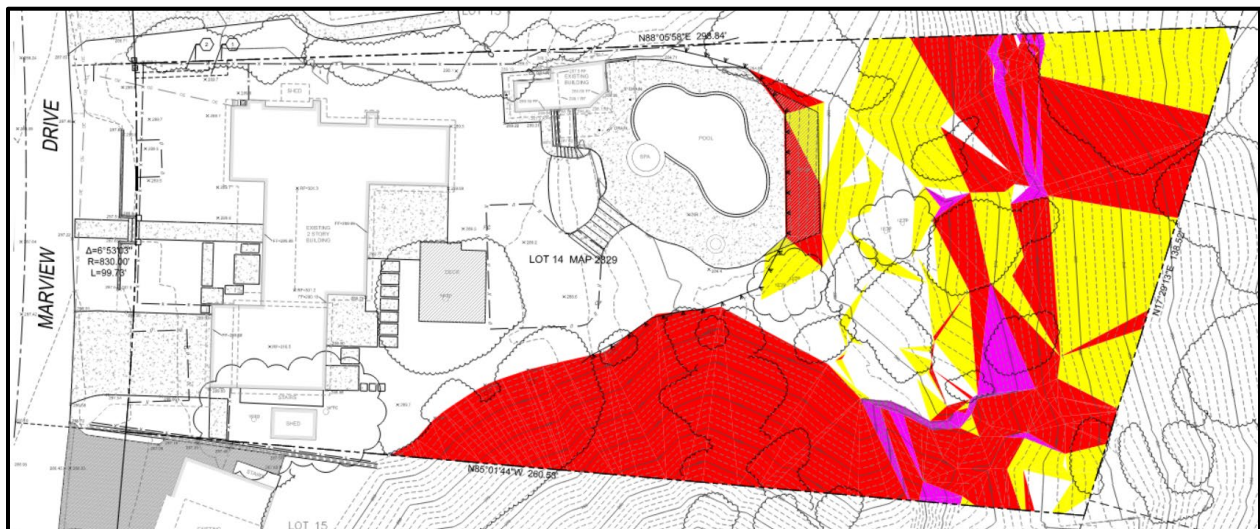
with conditions, or deny the Applicant's request as contained in Resolution 2025-054 (Attachment 1). The project plans are included in Attachment 2.

DISCUSSION:

The subject property is located on the east side of Marview Drive. The lot is irregular in shape with 100 feet of frontage along Marview Drive, a northern property line of approximately 299 feet, a southern property line of approximately 261 feet, and an eastern property line of 139 feet.

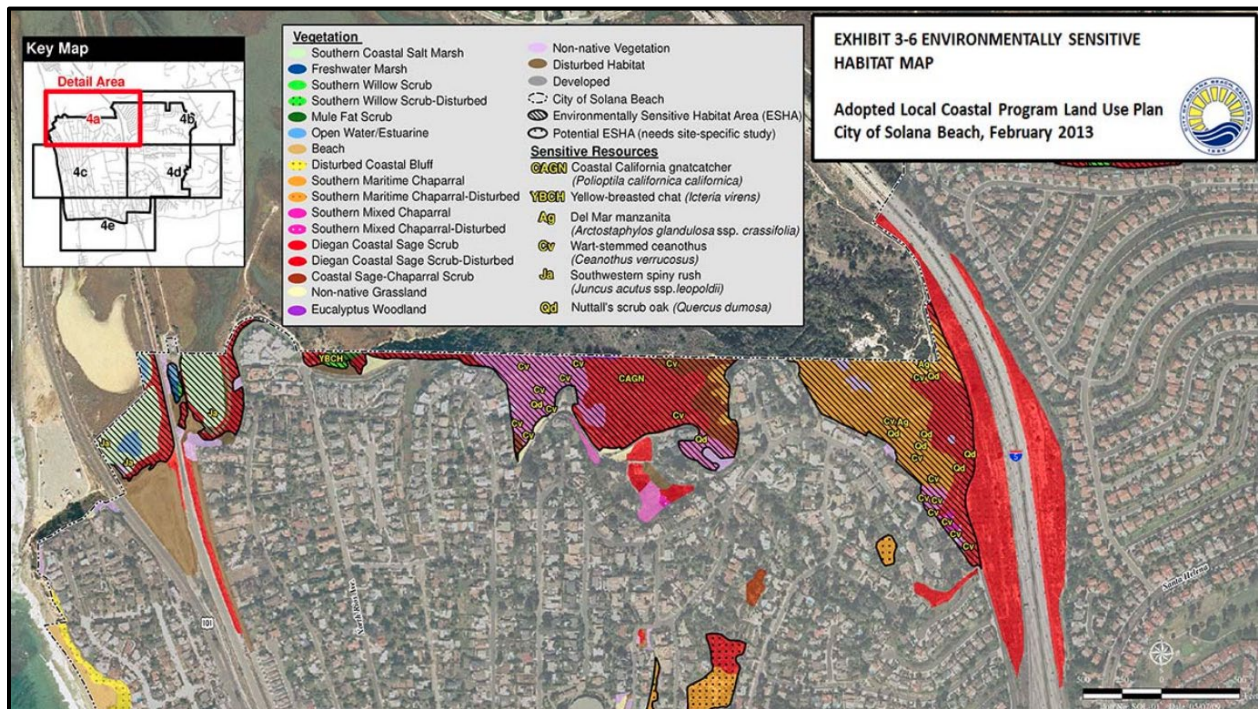
The surrounding properties are located within the Low Residential (LR) Zone and the Scaled Residential Overlay Zone (SROZ).

The subject property is also located within the HOZ. The topography slopes downward from Marview Drive to the east and south (adjacent single-family homes). The elevation at the front property line is approximately 289 feet above Mean Seal Level (MSL) and the rear property line is approximately 250 MSL, resulting in a change in elevation of approximately 39 feet. The Slope Analysis indicates areas with an inclination of less than 25 percent in white, from 25 to 40 percent in yellow, from 40 to 80 percent in red, and in excess of 80 percent in magenta. Additional analysis of the project's consistency with the HOZ is provided later in this report.



The City Council adopted the Local Coastal Program (LCP) Land Use Plan (LUP), which established policies for the protection of Environmentally Sensitive Habitat Areas (ESHA) and an ESHA Map. The ESHA Map (Exhibit 3-6, shown below) identifies portions of the building site as “Diegan Coastal Sage Scrub” (DCSS) and surrounding open space as “Southern Maritime Chaparral” (SMC) habitat areas. The site-specific analysis conducted by the Applicant's consultant, Adam H. Behle, Merkel & Associates, Inc., and peer-reviewed by the City's on-call environmental consultant, Harris and Associates, clarifies that the majority of the building site contains “Non-native Vegetation” (NNV) with pockets

of disturbed native vegetation (i.e., southern maritime chaparral (SMC) and Diegan coastal sage scrub (DCSS)).



The proposed project was evaluated and found to be consistent with the applicable LUP policies that protect ESHA. Additional analysis of the project's consistency with the LUP is provided later in this report.

The Applicant is requesting approval of a DRP and SDP to construct a new two-story, single-family residence with an attached two-car garage. The property is currently developed with a one-story, single-family residence and a detached shed, both of which would be demolished should the proposed project receive approval. The finished floor of the first floor would be built approximately three (3) feet above the elevation of Marview Drive. Associated site improvements would include grading, drainage, hardscape and landscaping. The project plans are included in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant's proposed design.

Table 1				
LOT INFORMATION				
Property Address:	448 Marview Drive	Zoning Designation:	LR (3 du/ac)	
Lot Size (Net):	32,382 ft ²	# of Units Allowed:	1 SFR, 1 ADU, 1 JADU	
Max. Allowable Floor Area:	5,694 ft ²	# of Units Requested:	1 SFR	
Proposed Floor Area:	5,464 ft ²	Setbacks:		
Below Max. Floor Area by:	230 ft ²	Required	Proposed	
Max. Allowable Height:	25 ft.		First Floor	Second Floor
Max. Proposed Height:	25 ft.			
Highest Point/Ridge:	314.66 MSL			
Overlay Zone(s):	SROZ, HOZ, ESHA, Coastal Zone	Front (W)	20 ft.*	20.83 ft. 49.75 ft. to FA** 1.5 in. to deck
		Interior Side (N)	5 ft.	8.00 ft. 8.00 ft.
		Interior Side (S)	5 ft.	6.83 ft. 26.5 ft to FA 6.77 ft. to deck
		Rear (E)	25 ft.	158.33 ft. 172 ft. to FA 166.83 ft. to deck
* Per SBMC 17.20.030D where any lot has a depth of less than 100 feet or fronts on a public right-of-way 55 feet or greater in width, the minimum required front yard shall be reduced to 20 feet. ** FA = interior livable floor area				
PROPOSED PROJECT INFORMATION				
Floor Area Breakdown:		Requested Permits:		
First Floor	3,405 ft ²	DRP: grading in excess of 100 cubic yards; development in the HOZ; construction in excess of 60% of the maximum allowable floor area; and construction of a second story that exceeds 35% of the first floor. SDP: a new structure that exceeds 16 feet in height from the existing grade.		
Second Floor	1,512 ft ²			
Covered and Enclosed Exterior Area	212 ft ²			
Garage	545 ft ²			
Detached Storage/Office	190 ft ²			
Subtotal	5,864 ft ²			
Off-Street Parking Exemption	- 400 ft ²			
Total Floor Area:	5,464 ft ²			
Proposed Grading: 1,080 CY of Aggregate Grading (100 CY Cut; 240 CY Fill; 600 CY Remedial; 140 CY Import)				
Proposed Parking: 2-Car Garage		Existing Development:		
Proposed Fences and Walls: Yes		Single-Family Residence and Shed		
Proposed Accessory Dwelling Unit: No				
Proposed Accessory Structure: Storage/Office				

Staff has prepared draft findings for approval of the DRP in the attached Resolution 2025-054 for the City Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and recommended conditions of approval from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval (Attachment 1). The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-054.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development includes grading in excess of 100 cubic yards; development in the HOZ; construction of a residence in excess of 60 percent of the maximum allowable floor area for the property; and construction of a second story that exceeds 35 percent of the first floor. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-054 provides full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Low

Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three (3) dwelling units per acre. The lot is 32,382 square feet or 0.74 acres. Therefore, 0.74 acres X 3 dwelling units per acre = 2.22 units. Per SBMC 17.20.020-B, in the LR Zone, no lot shall be occupied by more than one principal dwelling unit. The proposed project includes one (1) dwelling unit. Therefore, the project is consistent with the density and use intended in the General Plan.

The proposed development could also be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is located in the SROZ, HOZ, ESHA, and the Coastal Zone.

Scaled Residential Overlay Zone (SROZ):

The property is also located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

Hillside Overlay Zone (HOZ):

The subject property is located in the HOZ. The purpose of the HOZ is to restrict the grading and development of natural slopes with an inclination of 25 percent or greater in order to preserve natural topography and scenic qualities of the city, protect native habitat and watersheds, and reduce the potential for environmental hazards.

As designed the proposed development would be located in the same general location as the existing . No grading or development is proposed within the sloped hillside areas beyond the top of slope.

Local Coastal Plan/Land Use Plan Consistency:

The City Council adopted an LCP/LUP on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered by the Coastal Commission to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the

beach and shoreline for residents and visitors alike. The LUP includes regulations that prevent degradation of ESHA from new development.

As previously mentioned, there is mapped potential ESHA on the rear slope of the subject property. The Applicant's representative and biological resources consultant, Adam H. Behle, Merkel & Associates, Inc., an Initial ESHA Analysis (Attachment 3), which concluded that the native habitats on site were not designated as ESHA due to their isolation, fragmentation, proximity to urban development, and continued degradation from surrounding non-native vegetation. The analysis was peer-reviewed by the City's environmental and biological consultants, Emily Mastrelli and Kelsea Loescher with Harris and Associates, and was found to be complete and consistent with the provisions of the LUP (Attachment 4). Harris and Associates concluded that the proposed development is consistent with the Coastal Act and Chapter 3 of the LUP, in that the proposed development footprint would not directly impact ESHA as there is no ESHA present on or adjacent to the site, with the nearest ESHA location less than 0.25 miles to the north.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is "d", which requires 25-foot front and rear yard setbacks and 5-foot interior side yard setbacks. Pursuant to SBMC Section 17.20.030(D)(1)(b), lots that front on a "public right-of-way 55 feet or greater in width, the minimum required front yard shall be reduced to 20 feet." The public right-of-way of Marview Drive is 60 feet wide, therefore, the required front yard setback would be reduced to 20 feet. As designed, the project meets all required setbacks.

Maximum Floor Area Ratio:

The property is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for the 32,382 square-foot lot, pursuant to the provisions of the SROZ regulations, is as follows:

0.500 X 6,000 ft ²	3,000 ft ²
0.175 X 9,000 ft ²	1,575 ft ²
0.100 X 5,000 ft ²	500 ft ²
0.050 X 12,382 ft ²	619 ft ²

Total Allowable Floor Area: 5,694 ft²

The Applicant is proposing to demolish all existing structures and construct a replacement 5,129 square-foot two-story, single-family residence with a 545-square-foot two-car garage and a 190 square-foot detached office. The project is afforded a floor area exemption for off-street parking. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 545 square-foot garage would accommodate two (2) unobstructed parking spaces; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable exemption, the total proposed floor area would be 5,464 square feet, which is 230 square feet below the maximum allowable for the property. The proposed floor area (5,464 square feet) is 96% of the allowable floor area (5,694 square feet).

Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The maximum height of the proposed residence would be 25 feet above the proposed grade with a maximum elevation of 314.66 MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces for a single-family residence. Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car garage accessed by Marview Drive.

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

The Applicant is proposing to remove the existing fencing and walls and construct new perimeter fencing to enclose the property and meet pool/spa safety requirements. The proposed project includes a new six-foot tall solid wood fence along either side property lines, terminating at the top of the slope. A 42-inch-high open vertical post wood fence is proposed along the top of the slope adjacent to the bocci court and gas fire pit. An attached 10-foot-tall semi-open wood screen is proposed adjacent to the front yard

setback to provide privacy for the residential courtyard. The screen is proposed to be located within the buildable area, therefore the fence and wall height regulations set forth in SBMC Section 17.20.040(O) do not apply. Due to the location of the proposed screen within the buildable area, development regulations for attached accessory structures greater than 42 inches in height (SBMC 17.20.020(C)(2)) would apply. The proposed attached screen is found to be consistent with those development regulations.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape Water Efficiency:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 and SBMC Section 17.68.040(F) are listed below with further discussion as to how they relate to the proposed Project:

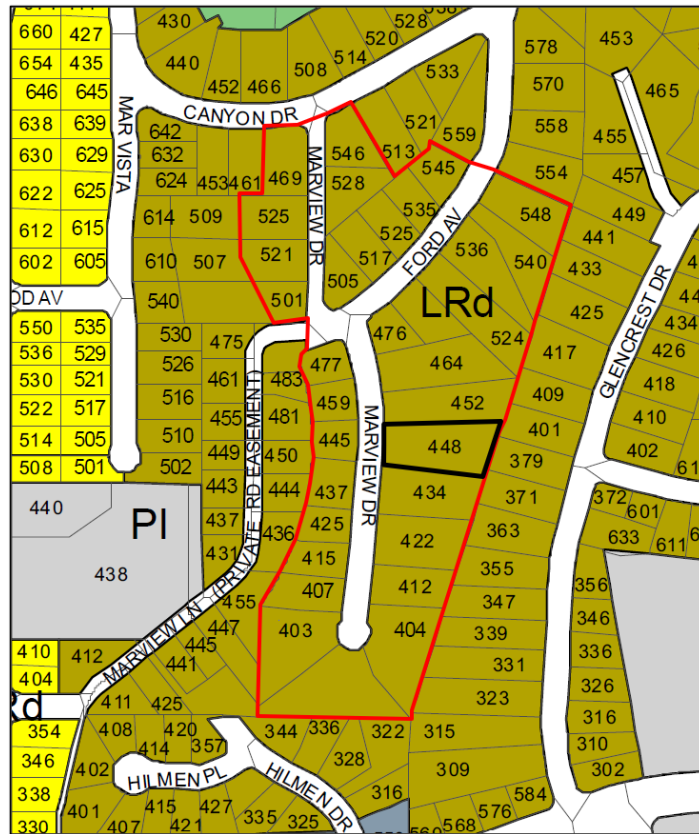
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The subject property is located within the Low Residential (LR) Zone. Surrounding properties are also located within the LR Zone and are developed with one- and two-story single-family residences that include a similar development pattern.

Neighborhood Comparison:

Staff compared the proposed project to 32 other properties within the surrounding area. This area includes properties along both sides of Marview Drive, Ford Avenue and Canyon Drive as shown on the following map:



The properties evaluated in this comparison are located in the LR Zone and the SROZ. The existing homes range in size from 1,488 square feet to 5,358 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garages and covered exterior areas as follows:

Project Gross Building Area:	5,864 ft ²
Delete Garage:	- 545 ft ²
Delete Covered Exterior Area:	- 212 ft ²
Project Area for Comparison to Assessor's Data:	5,107 ft ²

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (SanGIS)	Existing ft ² (Assessor)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	477 Marview Dr	12,100	3,341		4,068	LR
2	459 Marview Dr	10,900	4,489		3,858	LR
3	445 Marview Dr	11,100	3,932		3,893	LR
4	437 Marview Dr	12,000	2,223	4,074	4,431	LR
5	425 Marview Dr	8,700	2,579		3,473	LR
6	415 Marview Dr	7,800	2,548		3,315	LR
7	407 Marview Dr	14,629	3,185		4,510	LR
8	403 Marview Dr	33,961	3,509		5,773	LR
9	400 Marview Dr	48,466	4,800		6,498	LR
10	404 Marview Dr	30,529	4,800		5,601	LR
11	412 Marview Dr	18,081	3,068		4,883	LR
12	422 Marview Dr	25,944	3,084		5,372	LR
13	434 Marview Dr	26,889	2,130		5,419	LR
14	448 Marview Dr	32,670	2,067	5,107	5,709	LR
15	452 Marview Dr	28,314	2,633		5,491	LR
16	464 Marview Dr	28,314	1,488		5,491	LR
17	476 Marview Dr	9,700	2,124	3,564	3,648	LR
18	516 Ford Ave	13,919	Vacant	3,863	4,386	LR
19	524 Ford Ave	28,750	3,501		5,513	LR
20	536 Ford Ave	23,719	2,311		5,261	LR
21	540 Ford Ave	20,165	2,772		5,083	LR
22	548 Ford Ave	21,902	3,573		5,170	LR
23	545 Ford Ave	11,908	1,934		4,034	LR
24	535 Ford Ave	11,275	3,211		3,923	LR
25	525 Ford Ave	11,854	1,612	3,896	4,025	LR
26	517 Ford Ave	13,872	2,110		4,203	LR
27	505 Ford Ave	12,797	4,550		4,189	LR
28	528 Marview Dr	15,820	2,180		4,657	LR
29	546 Marview Dr	15,029	1,606		4,578	LR
30	469 Canyon Dr	17,454	3,912		4,820	LR
31	525 Marview Dr	16,061	2,186		4,681	LR
32	521 Marview Dr	14,200	5,358		4,435	LR
33	501 Marview Dr	10,600	3,083		3,805	LR

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The proposed floor area is

consistent with nearby residential development and the proposed project could be found to be compatible with and complimentary to nearby existing development.

Building and Structure Placement:

The proposed two-story residence would be located towards the western portion of the buildable area of the lot established by the required setbacks for the zone and the presence of steep slopes on the eastern half of the property. The LR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. Per SBMC 17.20.030D, the front yard setback is reduced to 20 feet when the adjacent right of way is 55 feet or greater. Marview Drive is 60 feet in width; therefore, the required setbacks for the subject property are a 20-foot front yard setback, 25-foot rear yard setback and 5-foot side yard setbacks. The floor area of the proposed first-story is set back 20.83 feet from the front property line, 158.33 feet from the rear property line, 6.83 feet from the north side property line and 8 feet from the south side property lines. The floor area of the proposed second-story is setback 49.75 feet from the front property line, 172 feet from the rear property line, 8 feet from the north side property line, and 26.5 feet from the south property line. The planter adjacent to the second story deck located above the garage is 1.5 inches from the west property line, and the covered second-story deck is 10.58 feet from the south property line.

The 3,405 square-foot first floor consists of a kitchen, pantry, dining room, living room, four (4) bedrooms, four (4) bathrooms, powder room, mud room, media room, and a laundry room. West of the residence, beyond the living and dining areas, is an exterior courtyard. A portion of the exterior courtyard is covered and enclosed and counts towards the floor area total. There are additional covered and enclosed exterior areas located around the perimeter of the first floor that are considered floor area. A total of 212 square feet of covered and enclosed exterior area is counted towards the floor area total. The 1,512 square-foot second floor includes a primary suite, office, powder room and reading nook. There are two (2) decks on the second floor; one east of the reading room (284 square feet), and one south of the office (763 square feet). A portion of the southern deck is covered; however, the square footage is not considered floor area because the deck is considered unenclosed as it is not bound by full-sized walls. The proposed 545 square foot two-car garage is located towards the southwest corner of the property, beneath the uncovered portion of the southern deck. A new driveway would be located in the same location as the existing driveway that provides access from Marview Drive to the garage. A detached storage and office building, totaling 190 square feet, is proposed east of the residence, and north of the pool and spa. The structure is 14 feet 9 inches from the easternmost exterior surface of the proposed residence and 130 feet 9 inches from the rear property line.

Landscape:

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial

conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the attached 545 square-foot main level two-car garage. The garage would be accessed by a driveway at the southwest corner of the property frontage. Pedestrian access to the property would be taken from a walkway from Marview Drive at the northeast corner of the lot. The trash enclosure would be located along the southern side yard.

Grading:

The project includes grading in the amounts of approximately: 100 cubic yards of cut, 240 cubic yards of fill; 600 cubic yards of remedial grading; and 140 cubic yards of import. The project includes grading in the amount of 1,080 cubic yards aggregate.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of a new two-story, single-family residence and an attached two-car garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite, and the Story Pole Height Certification was issued by a licensed land surveyor on November 17, 2023, which showed the highest story pole certified at 313.8 MSL and 24.6 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on January 22, 2024. The City did not receive any applications for View Assessment. The Applicant, however, received communication from a neighbor with regard to massing along the northern boundary, which resulted in a redesign of the project. The project was revised, and additional story poles were erected onsite, to illustrate the changes made to address the neighbor's concerns. The latest Story Pole Height Certification was issued by a licensed land surveyor on March 3, 2025, which showed the highest story pole certified at 314.66 MSL and 25 feet above the proposed grade (Attachment 4). Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on April 28, 2025. The City did not receive any applications for View Assessment.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 25 feet above the proposed grade or 314.66 feet above MSL, which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary findings to approve the project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations, and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-054 for the Council's consideration based upon the information in the report. The applicable SBMC sections are provided in the italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

Property Frontage and Public Right-of-Way Improvements:

The existing property frontage has nonstandard improvements. If approved, the Applicant will be required to construct a 10-foot graded D.G. pathway with the City standard 9-inch

concrete sloping curb along the entire property frontage. Since Marview Drive already has a 60-foot-wide right of way, no dedication is required.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on May 8, 2025. As of the date of preparation of this Staff Report, Staff has not received any official correspondence. The Applicant has provided an explanation of the project in a letter to the City Council (Attachment 6).

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-054 for the Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Department are incorporated in the Resolution of Approval.

Should the Council determine that the findings can be made to approve the project; the SDP will be approved concurrently with the DRP. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2025-054.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP cannot be made.

CITY STAFF RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-054 conditionally approving a DRP and SDP for a new two-story, single-family residence and an attached two-car garage and perform associated site improvements at 448 Marview Drive, Solana Beach.


Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-054 – DRP/SDP
2. Project Plans Dated May 14, 2025
3. ESHA Analysis
4. ESHA Analysis Peer Review
5. Story Pole Height Certification, March 3, 2025
6. Applicant Letter to Council

RESOLUTION 2025-054

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH A SINGLE-FAMILY RESIDENCE, CONSTRUCT A REPLACEMENT TWO-STORY SINGLE-FAMILY RESIDENCE WITH A TWO-CAR GARAGE, AND PERFORM ASSOCIATED SITE IMPROVEMETS AT 448 MARVIEW DRIVE, SOLANA BEACH, APN: 263-182-07-00

APPLICANT: TODD JOHANSEN
APPLICATION: DRP22-021/SDP22-019

WHEREAS, Todd Johansen (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on May 21, 2025, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to demolish a single-story, single-family residence and construct a replacement 5,464 square-foot residence with an attached 545 square-foot garage and perform associated site improvements at 448 Marview Drive is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project is found consistent with the General Plan, which designates the property as Low Density Residential and is intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays: The property is located in the Scaled Residential Overlay Zone (SROZ), which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The subject property is located in the Hillside Overlay Zone (HOZ). The purpose of the HOZ is to restrict the grading and development of natural slopes with an inclination of 25 percent or greater in order to preserve natural topography and scenic qualities of the city, protect native habitat and watersheds, and reduce the potential for environmental hazards.

As designed the proposed development would be located in the same general location as the existing . No grading or development is proposed within the sloped hillside areas beyond the top of slope.

The proposed Project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Local Coastal Plan/Land Use Plan Consistency: The Solana Beach City Council adopted an LCP/LUP on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered by the Coastal Commission to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LUP includes regulations that prevent degradation of ESHA from new development.

As previously mentioned, there is mapped potential ESHA on the rear slope of the subject property. The Applicant's representative and biological resources consultant, Adam H Behle, Merkel & Associates, Inc., completed an Initial ESHA Analysis (Attachment 3), which concluded that the native habitats on site were not designated as ESHA due to their isolation, fragmentation, proximity to urban development, and continued degradation from surrounding non-native vegetation. The analysis was peer-reviewed by the City's environmental and biological consultants, Emily Mastrelli and Kelsea Loescher with Harris and Associates, and was found to be complete and consistent with the provisions of the LUP (Attachment 4). Harris and Associates concluded that the proposed development is consistent with the Coastal Act and Chapter 3 of the LUP, in that the proposed development footprint would not directly impact ESHA as there is no ESHA present on or adjacent to the site, with the nearest ESHA location less than 0.25 miles to the north.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is "d", which requires 25-foot front and rear yard setbacks and 5-foot interior side yard setbacks. Pursuant to SBMC Section 17.20.030(D)(1)(b), lots that front on a "public right-of-way 55 feet or greater in width, the minimum required front yard shall be reduced to 20 feet". The public right-of-way of Marview Drive is 60 feet wide; therefore, the required front yard setback would be reduced to 20 feet. As designed, the project meets all required setbacks.

Maximum Floor Area Ratio:

The property is located within the boundaries of the SROZ, which specifies a tiered calculation for maximum allowable floor area. The maximum allowable floor area calculation for the 32,382 square-foot lot, pursuant to the provisions of the SROZ regulations, is as follows:

0.500 X 6,000 ft ²	3,000 ft ²
0.175 X 9,000 ft ²	1,575 ft ²
0.100 X 5,000 ft ²	500 ft ²
0.050 X 12,382 ft ²	619 ft ²
Total Allowable Floor Area:	5,694 ft ²

The Applicant is proposing to demolish all existing structures and construct a replacement 5,129 square-foot, two-story, single-family residence with a 545-square-foot two-car garage and a 190 square-foot detached office. The project is afforded a floor area exemption for off-street parking. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 545 square-foot garage would accommodate two (2) unobstructed parking spaces; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable exemption, the total proposed floor area would be 5,464 square feet, which is 230 square feet below the maximum allowable for the property. The proposed floor area (5,464 square feet) is 96% of the allowable floor area (5,694 square feet).

Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The maximum height of the proposed residence would be 25 feet above the proposed grade with a maximum elevation of 314.66 MSL.

Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces for a single-family residence. Two unobstructed 9-foot by 19-foot parking spaces would be accommodated within the proposed two-car garage accessed by Marview Drive.

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

The Applicant is proposing to remove the existing fencing and walls and construct new perimeter fencing to enclose the property and meet pool/spa safety requirements. The proposed project includes a new six-

foot tall solid wood fence along either side property lines, terminating at the top of the slope. A 42-inch-high open vertical post wood fence is proposed along the top of the slope adjacent to the bocci court and gas fire pit. An attached 10-foot-tall semi-open wood screen is proposed adjacent to the front yard setback to provide privacy for the residential courtyard. The screen is proposed to be located within the buildable area, therefore the fence and wall height regulations set forth in SBMC Section 17.20.040(O) do not apply. Due to the location of the proposed screen within the buildable area, development regulations for attached accessory structures greater than 42 inches in height (SBMC 17.20.020(C)(2)) would apply. The proposed attached screen is found to be consistent with those development regulations.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects,*

as well as protection of the property from adverse surrounding influences.

The property is located within the LR Zone. Surrounding properties are also located within the LR Zone and are developed with a mixture of one- and two-story single-family residences. The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The maximum proposed floor area would be 230 square feet below the maximum allowable and the square footage of the project would fall within the range of adjacent residential development. The project is found to be to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed two-story residence would be located towards the western portion of the buildable area of the lot established by the required setbacks for the zone and the presence of steep slopes on the eastern half of the property. The LR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. Per SBMC 17.20.030D the front yard setback is reduced to 20 feet when the adjacent right of way is 55 feet or greater. Marview Drive is 60 feet in width; therefore, the required setbacks for the subject property are a 20-foot front yard setback, 25-foot rear yard setback and 5-foot side yard setbacks. The floor area of the proposed first-story is set back 20.83 feet from the front property line, 158.33 feet from the rear property line, 6.83 feet from the north side property line and 8 feet from the south side property lines. The floor area of the proposed second-story is setback 49.75 feet from the front property line, 172 feet from the rear property line, 8 feet from the north side property line, and 26.5 feet from the south property line. The planter adjacent to the second story deck located above the garage is 1.5 inches from the west property line, and the covered second-story deck is 10.58 feet from the south property line.

The 3,405 square-foot first floor consists of a kitchen, pantry, dining room, living room, four (4) bedrooms, four (4) bathrooms, powder room, mud room, media room, and a laundry room. West of the residence, beyond the living and dining areas, is an exterior courtyard. A portion of the exterior courtyard is covered and enclosed and counts towards the floor area total. There are

additional covered and enclosed exterior areas located around the perimeter of the first floor that are considered floor area. A total of 212 square feet of covered and enclosed exterior area is counted towards the floor area total. The 1,512 square-foot second floor includes a primary suite, office, powder room and reading nook. There are two (2) decks on the second floor; one east of the reading room (284 square feet), and one south of the office (763 square feet). A portion of the southern deck is covered; however, the square footage is not considered floor area because the deck is considered unenclosed as it is not bound by full-sized walls. The proposed 545 square foot two-car garage is located towards the southwest corner of the property, beneath the uncovered portion of the southern deck. A new driveway would be located in the same location as the existing driveway that provides access from Marview Drive to the garage. A detached storage and office building, totaling 190 square feet, is proposed east of the residence, and north of the pool and spa. The structure is 14 feet 9 inches from the easternmost exterior surface of the proposed residence and 130 feet 9 inches feet from the rear property line.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the conceptual planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and the same location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone.

A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces would be located within the attached 545 square-foot main level two-car garage. The garage would be accessed by a driveway at the southwest corner of the property frontage. Pedestrian access to the property would be taken from a walkway from Marview Drive at the northeast corner of the property. The trash enclosure would be located along the southern side yard.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project includes grading in the amounts of approximately: 100 cubic yards of cut, 240 cubic yards of fill; 600 cubic yards of remedial grading; and 140 cubic yards of import. The project includes grading in the amount of 1,080 cubic yards aggregate.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of a new two-story single-family residence and an attached two-car garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite, and the Story Pole Height Certification was issued by a licensed land surveyor on November 17, 2023, which showed the highest story pole certified at 313.8 MSL and 24.6 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on January 22, 2024. The City did not receive any applications for View Assessment. The Applicant, however, received communication from a neighbor with regard to massing along the northern boundary, which resulted in a redesign of the project. The project was revised, and additional story poles were erected onsite, to illustrate the changes made to address the neighbor's concerns. The latest Story Pole Height Certification was issued by a licensed land surveyor on March 3, 2025, which showed the highest story pole certified at 314.66 MSL and 25 feet above the proposed grade (Attachment 4). Notices to apply for View Assessment were mailed to

property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on April 28, 2025. The City did not receive any applications for View Assessment.

A height certification prepared by a licensed land surveyor is required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 25.0 feet above the proposed grade (or 314.66 feet above MSL).

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building, grading, and landscape construction plans must be in substantial conformance with the project plans presented to the City Council on May 21, 2025, and located in the project file with a submittal date of May 14, 2025.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum height of the proposed addition will not exceed 25.0 feet above the proposed grade (or 314.66 feet above MSL) in conformance with the plans as approved by the City Council on May 21, 2025.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on May 21, 2025, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the

grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.

- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.

B. Fire Department Conditions:

- I. Sprinklers will be required in all spaces including the attic, closets, bathrooms, etc.
- II. Patios or outdoor covers over 10 feet or greater in depth, will be required to have sprinklers.
- III. An unobstructed 3-foot walkable pathway around all portions of the residence.
- IV. GRADE: The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent) per the Solana Beach Municipal Code Title 15

Building and Construction Chapter 15.32 Fire Code Section 15.32.170
Section 503 Section 503.2.7 and 503.2.8.

- V. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.200 Section 503.6.
 - VI. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2022 California Fire Code Chapter 5 Section 505.1.
 - VII. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL).
 - VIII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2022 California Building Code Chapter 15 Section 1505.
 - IX. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the 2022 California Fire Code Chapter 12 Section 1205
- C. Engineering Department Conditions:
- I. Per Solana Beach Municipal Code Section 11.04, the Applicant is required to construct all public improvements along the street

frontage. In this instance, this will include constructing a low profile mountable 9" x 9" x 12" concrete curb along the frontage of Marview Drive and install a 10' wide stabilized, compacted, decomposed granite (D.G.) at 2% maximum from the property line down toward the curb to the satisfaction of the City Engineer.

- II. The Applicant is required to obtain an Encroachment Permit in accordance with Solana Beach Municipal Code (SBMC) Section 11.20 for any work performed in the public right of way. This includes, but is not limited to, the concrete driveway apron, concrete spillway, sloping curb, decomposed granite (DG) surface, concrete swales across DG surface and mailbox.
- III. An Encroachment Maintenance Removal Agreement (EMRA) shall be recorded against this property for all improvements in the public right of way including, but not limited to, the 10-foot wide DG path, landscaping and irrigation.
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- VI. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the SBMC. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
 - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The Applicant shall obtain a soils report prepared by a registered soils/geotechnical engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. The Applicant shall provide a drainage report prepared by a registered civil engineer. This report shall address the design for a detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below the rate of runoff for the pre-existing condition. All recommendations of this drainage report shall be incorporated into the Preliminary Grading Plan. A detention basin

easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.

- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a registered civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development Department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicant shall obtain haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- i. The Applicant shall submit certification from the Engineer of Record and the soils engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the soils engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Construction Best Management Practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all

times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.

- k. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post-Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increased cross lot drainage shall be allowed.
- n. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demolition permit is required for removing existing structures before grading, the Applicant shall obtain the demolition permit separately in order to certify the grading prior to issuance of the Building Permit.

VII. City Council Conditions:

To be completed after council hearing.

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a special meeting of the City Council of the City of Solana Beach, California, held on the 21st day of May 2025, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

CONDITIONS OF APPROVAL		GENERAL CONTRACTOR NOTES		CAL GREEN MANDATORY MEASURES				ALEC PETROS STUDIO	
		<div><div>1. ALL CONSTRUCTION SHALL CONFORM TO THE GOVERNING CITY AND/OR COUNTY MUNICIPAL CODE AND OTHER GOVERNING CODES, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.</div><div>2. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</div><div>3. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE ONLY BY OWNER APPROVED ADDENDA OR CHANGE ORDER.</div><div>4. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.</div><div>5. DIMENSIONS ARE TO THE FACE OF STUD OR CONCRETE IN PLAN UNLESS OTHERWISE NOTED OR INDICATED.</div><div>6. DIMENSIONS ARE TO TOP OF FLOOR OR TOP OF SUBFLOOR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED OR INDICATED.</div><div>7. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA PRIOR TO EXCAVATION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF EXISTING UTILITIES AND PAVEMENT WITHIN THE AREA OF THE WORK WHETHER INDICATED ON THE DRAWINGS OR NOT, UNLESS OTHERWISE NOTED. ALL UTILITIES TO BE UNDERGROUND PER UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.</div><div>8. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE. THIS IS THE CONTRACTOR'S RESPONSIBILITY.</div><div>9. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND SITE WORK AT ALL TIMES.</div><div>10. THE ARCHITECT DOES NOT ASSUME ANY OF THE RESPONSIBILITY FOR METHODS OR APPLIANCES USED BY THE CONTRACTOR, NOR SAFETY OF THE JOB IN COMPLIANCE WITH THE LAWS AND REGULATIONS.</div><div>11. ALL MATERIALS, APPLIANCES, AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.</div><div>12. VERIFY BOTH EXISTING AND FINISH GRADE WITH THE SITE PLAN, SURVEY AND CIVIL DRAWINGS, IF AVAILABLE.</div><div>13. VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS BEFORE THE ORDERING OR INSTALLATION OF ANY ITEM OR WORK.</div><div>14. COORDINATE ALL DETAILS WITH THE SHEAR WALLS AND ENCASE STRUCTURAL POSTS AS REQUIRED BY THE STRUCTURAL DRAWINGS.</div><div>15. WINDOW SIZES AND DOOR HEAD HEIGHTS ARE FRAME DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENINGS SIZES AND ACTUAL UNIT SIZES. VERIFY OPENING PRIOR TO ORDERING.</div><div>16. ALL NEW GLAZING WILL BE INSTALLED W/ CERTIFYING LABEL ATTACHED SHOWING THE "U" VALUE.</div><div>17. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED ON THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.</div><div>18. ALL CHANGES IN FLOOR MATERIALS ALIGN W/ DOOR JAMB OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.</div><div>19. DOORS, WINDOWS, KEYING, LIGHTING, LOCK DEVICES, EXIT DEVICES, AND NUMBERING SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES.</div><div>20. PROVIDE WOOD BACKING FOR HOOKS, HANDRAILS, CABINETS, EQUIPMENT, SHELVES, TOWEL BARS ETC.</div><div>21. INSTALL INSULATION BETWEEN STUDS AND JOISTS AT ALL OPEN CAVITIES AT WALLS, CEILINGS AND FLOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACE. VENTILATE AS REQUIRED.</div><div>22. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS.</div><div>23. CONTRACTOR TO PERFORM A HAZARDOUS MATERIALS SURVEY PRIOR TO DEMOLITION.</div><div>24. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.</div><div>25. STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.</div><div>26. HOSE BIBS AND SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES.</div><div>27. ALL BUILDING WATERPROOFING (INTERIOR & EXTERIOR) INCLUDING FOUNDATIONS & SLAB ON GRADE & WINDOW & DOOR INSTALLATIONS ARE ASSUMED TO BE DESIGN BUILT BY GENERAL CONTRACTOR. DETAILS ARE PROVIDED FOR DESIGN INTENT ONLY. ARCHITECT IS NEITHER LIABLE NOR RESPONSIBLE.</div><div>28. A CERTIFICATE OF COMPLIANCE WITH ENERGY STANDARDS OF THE STATE OF CALIFORNIA (TITLE 24) SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT OF THE GOVERNMENT ENTITY IN WHOSE JURISDICTION THIS PROJECT FALLS AT THE TIME OF FINAL INSPECTION BY THE BUILDING OFFICIAL.</div><div>29. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENCY STANDARD IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF-1R, CF-2R, AND CF-3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.</div><div>30. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.</div></div>		<div><div>1. CONSTRUCTION AND DEMOLITION DEBRIS. GENERAL CONTRACTOR TO TRANSPORT 100% OF MIXED DEBRIS BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.</div><div>2. RECYCLING BY OCCUPANTS. PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.</div><div>3. VERIFY IF LOCAL AUTHORITIES REQUIRE COMPLIANCE BEYOND MANDATORY MEASURES.</div><div>4. COMPLY WITH CALIFORNIA ENERGY COMMISSION REQUIREMENTS.</div><div>5. COMPLY WITH REQUIREMENTS FOR BOTH INDOOR AND OUTDOOR WATER USE.<div>A. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES OR FLOW RESTRICTOR, OR DEMONSTRATE 20% REDUCTION IN BASELINE WATER USE PER CALGREEN SECTION 4.303.1.</div><div>B. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS (IF ANY) SHALL BE WEATHER-BASED PER CALGREEN SECTION 4.304.1.</div><div>C. A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE IRRIGATION, AND WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN SHALL BE PROVIDED THAT REDUCES THE USE OF POTABLE WATER SO IT DOES NOT EXCEED 65% OF ETO TIMES THE LANDSCAPE AREA PER CALGREEN SECTION 4.304.4.</div></div></div> <div>4. MATERIAL CONSERVATION AND RESOURCE EFFICIENCY.<div>A. SEAL OPENINGS AND PENETRATIONS IN BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE.</div><div>B. CEMENT USE IN FOUNDATION MIX DESIGN IS REDUCED BY NOT LESS THAN A 20 PERCENT PER CALGREEN SECTION 4.403.2.</div><div>C. POST CONSUMER OR PRE CONSUMER RECYCLED CONTENT VALUE (RCV) MATERIALS ARE USED FOR A MINIMUM OF 10 PERCENT OF THE TOTAL VALUE, BASED ON THE TOTAL ESTIMATED COST OF MATERIALS ON THE PROJECT PER CALGREEN SECTION 4.405.3.</div><div>D. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS PER CALGREEN SECTION 4.406.1.</div><div>E. CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN AS DEFINED BY CALGREEN. CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH AT LEAST A 65 PERCENT REDUCTION PER CALGREEN SECTION 4.408.1.</div><div>F. PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER AT THE TIME OF FINAL INSPECTION AS REQUIRED PER CALGREEN SECTION 4.410.1.</div></div>					

FIRE STANDARD CONDITIONS		GREEN BUILDING NOTES	
<div><div>1. GRADE. THE GRADIENT FOR A FIRE APPARATUS ACCESS ROADWAY SHALL NOT EXCEED 20%. GRADES EXCEEDING 15% (INCLINE OR DECLINE) SHALL NOT BE PERMITTED WITHOUT MITIGATION. MINIMAL MITIGATION SHALL BE A SURFACE OF PORTLAND CEMENT CONCRETE, WITH A DEEP BROOM FINISH PERPENDICULAR TO THE ENTIRE DIRECTION OF TRAVEL. ADDITIONAL MITIGATION MEASURES MAY BE REQUIRED WHERE DEEMED APPROPRIATE. THE ANGLE OF DEPARTURE AND ANGLE OF APPROACH OF A FIRE ACCESS ROADWAY SHALL NOT EXCEED SEVEN DEGREES (12 PERCENT) PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.170 SECTION 503 SECTION 503.2.7 AND 503.2.8.</div><div>2. GATES. ALL GATES OR OTHER STRUCTURES OR DEVICES, WHICH COULD OBSTRUCT FIRE ACCESS ROADWAYS OR OTHERWISE HINDER EMERGENCY OPERATIONS, ARE PROHIBITED UNLESS THEY MEET STANDARDS APPROVED BY THE FIRE DEPARTMENT. AN APPROVED EMERGENCY KEY-OPERATED SWITCH AND/OR AN APPROVED EMERGENCY TRAFFIC CONTROL-ACTIVATING STROBE LIGHT SENSOR SHALL BE INSTALLED PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.200 SECTION 503.6.</div><div>3. ADDRESS NUMBERS. STREET NUMBERS. APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/4" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 5 SECTION 505.1.</div><div>4. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AS DEFERRED SUBMITTAL AND APPROVED BY THE SOLANA BEACH FIRE DEPARTMENT PRIOR TO INSTALLATION PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.230 SECTION 903.2 (NEW) OR SECTION 903.2.01 (ADDITIONS, REMODELS) OR SECTION 903.2.02 (NEW COMMERCIAL).</div><div>5. CLASS "A" ROOF. ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2022 CALIFORNIA BUILDING CODE CHAPTER 15 SECTION 1505.</div><div>6. SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS). SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS AND PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 12 SECTION 1205.</div><div>7. ALL OUTDOOR FIRE APPLIANCES (FIREPLACE, BBQ, AND FIRE PIT) SHALL MEET THE REQUIREMENTS OF THE SOLANA BEACH RECREATIONAL FIRE POLICY</div></div>		<div><div>1. STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION. NOTE ON THE PLANS. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC SECTION 4.106.2.</div><div>2. SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.) CGC SECTION 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.</div><div>3. LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. CGC SECTION 4.304.1.</div><div>4. A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC SECTION 4.408.1.</div><div>5. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN. PER CGC SECTION 4.408.2.</div><div>6. THAT THE BUILDER IS TO PROVIDE AN OPERATION MANUAL CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC SECTION 4.410.1.</div><div>7. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC SECTION 4.504.1.</div><div>8. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC SECTION 4.504.2.</div><div>9. CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. CGC SECTION 4.505.2.1.</div><div>10. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC SECTION 4.505.3.</div><div>11. PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3</div></div>	

JOHANSEN RESIDENCE	
408 MARVIEW DRIVE SOLANA BEACH, CA 92075	
MARK DATE DESCRIPTION	
DRP22-01, SDP22-019	
JOHANSEN	
AP	07.23.2024
GENERAL NOTES	
1/4" = 1'-0"	
A0.1	

5. RESIDENTIAL PROJECTS ENVIRONMENTAL QUALITY.

A. FIREPLACES. COMPLY WITH REQUIREMENT THAT GAS FIREPLACES (IF ANY) SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE AND WOODSTOVES OR PELLET STOVES (IF ANY) COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS, PER CALGREEN SECTION 4.503.1.

B. MECHANICAL EQUIPMENT POLLUTION CONTROL. COVER DUCT AND RELATED AIR DISTRIBUTION COMPONENT OPENINGS TO PREVENT DUST AND DEBRIS ACCUMULATION PER CALGREEN 4.504.1.

C. FINISH MATERIAL POLLUTION CONTROL. COMPLY WITH CALGREEN REQUIREMENTS FOR VOLATILE ORGANIC COMPOUND (VOC) EMISSIONS, INCLUDING:

1. ADHESIVES, SEALANTS AND CAULKS PER CALGREEN SECTION 4.504.2.1.

2. PAINTS, STAINS AND OTHER COATINGS PER CALGREEN SECTION 4.504.2.2.

3. AEROSOL PAINTS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS PER CALGREEN SECTION 4.504.2.3. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED PER CALGREEN SECTION 4.504.2.4.

4. CARPET SYSTEMS INCLUDING CARPET, CARPET CUSHION, AND ADHESIVES SHALL BE COMPLIANT WITH LOW VOC LIMITS PER CALGREEN SECTION 4.504.3.

5. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS PER CALGREEN SECTION 4.504.5.

6. 90% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS ESTABLISHED IN CALGREEN SECTION 4.504.2.

7. INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE VOC-EMISSION LIMITS ESTABLISHED IN SECTION A4.504.3.

D. INTERIOR MOISTURE CONTROL.

1. COMPLY WITH CALGREEN REQUIREMENTS FOR VAPOR RETARDER AT CONCRETE SLAB ON GRADE FOUNDATIONS AND CAPILLARY BREAK PER CALGREEN SECTION 4.505.2.

2. MOISTURE CONTENT OF BUILDING MATERIALS. GENERAL CONTRACTOR TO VERIFY WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE AND TEST PER CALGREEN 4.505.3. MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING (CALGREEN 4.505.3):

A. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.

B. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.

C. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

E. HUMIDITY CONTROLLED EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM UNLESS OTHERWISE A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM PER CALGREEN SECTION 4.505.2.

F. ENVIRONMENTAL COMFORT. COMPLY WITH CALGREEN REQUIREMENTS FOR WHOLE HOUSE EXHAUST FAN LOUVERS TO BE INSULATED OR HAVE COVERS WHICH CLOSE WHEN FAN IS OFF. COMPLY WITH HEATING AND AIR CONDITIONING SYSTEM DESIGN REQUIREMENTS PER CALGREEN SECTION 4.507.1.

G. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION PER CALGREEN SECTION 4.504.1.

H. DUCT SYSTEM SIZE/DESIGN AND EQUIPMENT SELECTION PER CALGREEN SECTION 4.507.2.

1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA MANUAL J-2011 OR EQUIVALENT.

2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.

3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

I. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED PER CALGREEN SECTION 4.702.1.

J. THE CALGREEN SPECIAL INSPECTOR FOR THIS PROJECT IS LISTED BY THE AUTHORITY HAVING JURISDICTION AS AN APPROVED CALGREEN SPECIAL INSPECTOR AND IS QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE. THEY INSPECT AND VERIFY PER CALGREEN SECTION 702.2.

6. CONTRACTOR TO IDENTIFY ONE PERSON ON CONTRACTOR'S STAFF TO BE RESPONSIBLE FOR CALGREEN ISSUES, COMPLIANCE AND COORDINATION.

7. VERIFICATION OF COMPLIANCE WITH CALGREEN-TIER 1 MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. IMPLEMENTATION VERIFICATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER IMPLEMENTATION OF ALL REQUIRED MEASURES AND PRIOR TO FINAL INSPECTION APPROVAL PER CALGREEN SECTION 703.1.

8. CAPILLARY BREAK FOR CONCRETE SLAB ON GRADE: CONCRETE SLAB ON GRADE FOUNDATIONS. REQUIRED TO HAVE A VAPOR RETARDER MUST ALSO HAVE A CAPILLARY BREAK. INCLUDING AT LEAST ONE OF THE FOLLOWING (CALGREEN 4.505.2.)

A. A 4-INCH (101.6 MM) THICK BASE OF 1/2-INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED FOR ADDITIONAL INFORMATION. SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.

B. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

TOPOGRAPHIC SURVEY MAP -- 448 MARVIEW DR.

SHEET 1 OF 2

PLSA JOB # 3103

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON 05/08/2019

GARY D. MELLOM
GARY D. MELLOM, PLS 8537

UPDATED 8/29/2022
05/20/2019
DATE



SHEET INDEX

SHEET 1 OF 2 - PROCEDURE OF SURVEY
SHEET 2 OF 2 - TOPOGRAPHIC SURVEY/EASEMENTS OF RECORD

REFERENCES

R1 - INDICATES RECORD DATA PER CR 27313
R2 - INDICATES RECORD DATA PER MAP 2829
R3 - INDICATES RECORD DATA PER CR 24044
R4 - INDICATES RECORD DATA PER ROS 9718

FOUND MONUMENTS

- 1 FOUND 1/2" REBAR & CAP LS 5406 PER R1
- 2 FOUND 3/4" IRON PIPE & DISK, RE 1534 PER R2
- 3 FOUND 3/4" IRON PIPE & DISK RCE 6404 PER R3, SEE R1
- 4 FOUND 3/4" IRON PIPE & DISK RE 1534 PER R3, SEE R1
- 5 FOUND 1 5" IRON PIPE & DISK, ILLEGIBLE, PER R2, R3, R4

PROJECT INFORMATION

CLIENT: TIM GLEESON
ADDRESS: 448 MARVIEW DR., SOLANA BEACH, CA 92075
APN: 263-182-07

ABBREVIATED LEGAL DESCRIPTION

LOT 14 IN BLOCK "L" OF MARVIEW HEIGHTS UNIT NO. 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 27, 1951

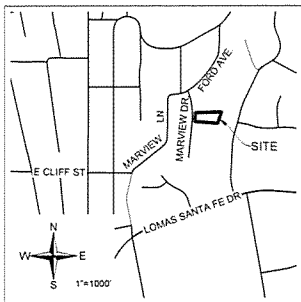
SURVEY NOTES

1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. BASIS OF BEARING FOR THIS SURVEY IS THE CCS 83, ZONE 6, EPOCH 1991.35, GRID BEARING BETWEEN STATION "SOLB-1" AND "SOLB-5", (BOTH HAVING A CALIFORNIA COORDINATE VALUE OF FIRST ORDER OR BETTER), AS SAID STATION ARE PUBLISHED IN THE CITY OF SOLANA BEACH GEODETIC CONTROL NETWORK SURVEY, ROS 18971, I.E. N 71°10'34" W.
3. THE PROJECT BENCHMARK IS THE CITY OF SOLANA BEACH SURVEY CONTROL STATION 2001 NAMED "SOLB-1", 2.5" BRASS DISC PER ROS 18971, ELEV. 71.45, NAVD 88 DATUM.
4. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
5. NO TITLE COMMITMENT PROVIDED.
6. AERIAL MAPPING FLOWN MAY 7, 2019, PROVIDED BY PLSA.

LEGEND

- FOUND MONUMENT AS INDICATED
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- - - ADJOINING PROPERTY LINE
- - - TIE LINE / REFERENCE LINE
- - - EASEMENT LINE

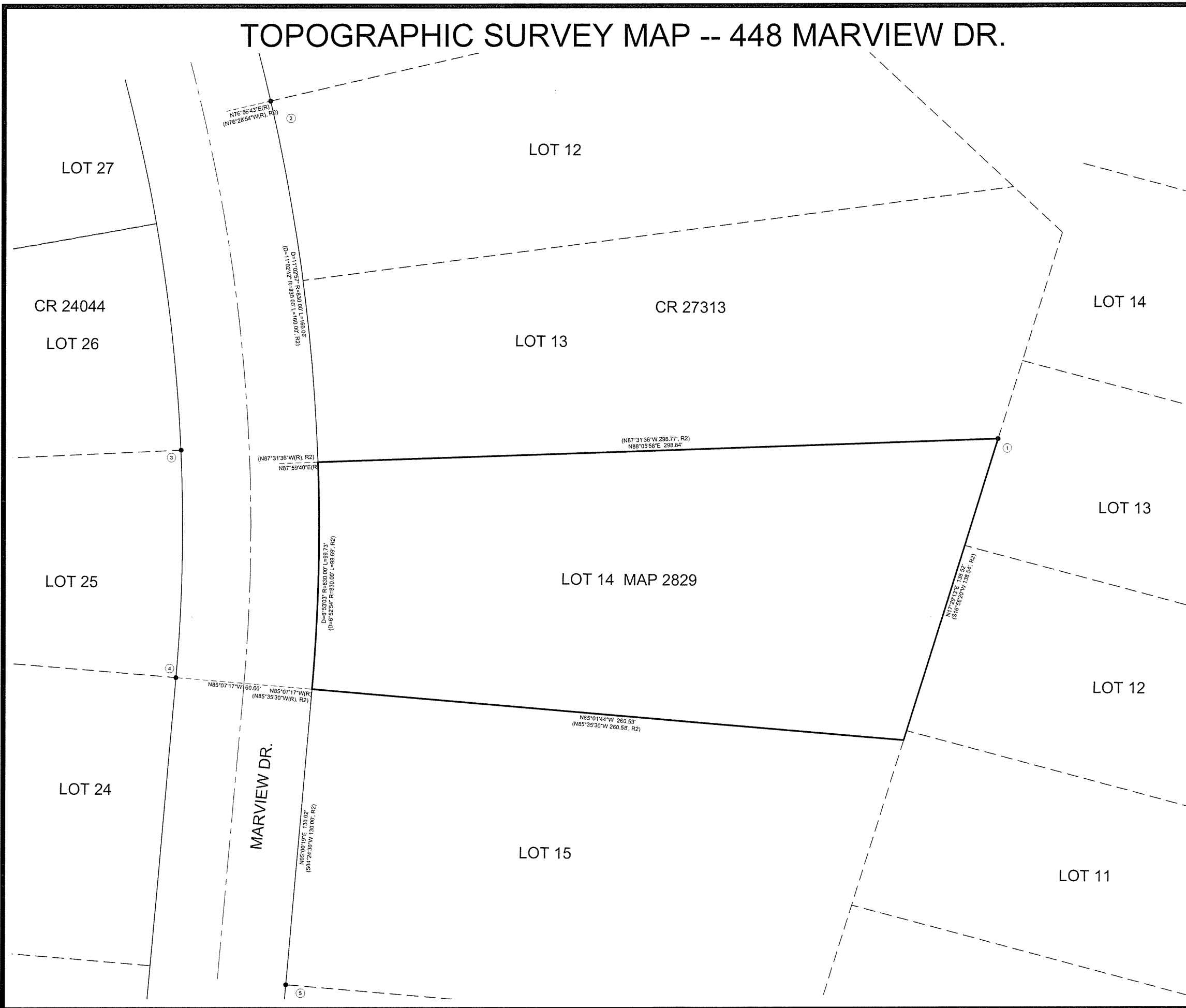
VICINITY MAP



SCALE: 1" = 20'
0 20 40 60

PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

REVISION #1
UPDATED TOPO AROUND REAR
BUILDING ON AUGUST 23, 2022



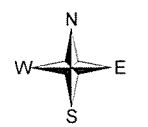
TOPOGRAPHIC SURVEY MAP -- 448 MARVIEW DR.

SHEET 2 OF 2
PLSA JOB # 3103



LEGEND

- | | | | |
|-------------------------------|-------------------------------|--------------------|------------------------|
| ● FOUND MONUMENT AS INDICATED | --- BUILDING OVERHANG | E METER - ELECTRIC | 6 TD TREE - DECIDUOUS |
| --- PROPERTY LINE | --- INDEX CONTOUR LINE | G METER - GAS | 6 TP TREE - PALM |
| --- RIGHT-OF-WAY LINE | --- INTERMEDIATE CONTOUR LINE | □ UTILITY POLE | 6 TC TREE - CONIFEROUS |
| --- CENTER LINE | --- SPOT ELEVATION | ⊕ GUY ANCHOR | --- VEGETATION |
| --- ADJOINING PROPERTY LINE | CONCRETE | □ VAULT | FF FINISH FLOOR |
| --- TIE LINE / REFERENCE LINE | ASPHALT | □ UTILITY BOX | RF ROOF |
| --- EASEMENT LINE | BRICK | ⊕ FIRE HYDRANT | |
| --- OE POWER - OVERHEAD | DECK | ⊕ VALVE - GAS | |
| --- X FENCE | METER - WATER | ⊕ VALVE - WATER | |
| --- WALL | | ⊕ MH - SANITARY | |
| --- BUILDING OUTLINE | | ⊕ MAILBOX | |



SCALE 1" = 10'
0 10 20 30

PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

SLOPE ANALYSIS
448 MARVIEW DRIVE

LEGAL DESCRIPTION
LOT 14 IN BLOCK "L" OF MARVIEW HEIGHTS UNIT NO. 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1951.

A.P.N.: 263-162-07-00
SITE ADDRESS: 448 MARVIEW DRIVE
SOLANA BEACH, CA 92075
OWNER/PERMITTEE: TODD P. JOHANSEN & KIMEYA A. JOHANSEN
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075
TOPOGRAPHIC SURVEY: PASCO LARET SUITER & ASSOCIATES
(858) 259-8212

EASEMENT

- 1 EXISTING EASEMENT FOR PUBLIC UTILITIES GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY RECORDED MARCH 13, 1952 AS BOOK 4402, PAGE 330, OF OFFICIAL RECORDS.
- 2 EXISTING EASEMENT FOR PUBLIC UTILITIES GRANTED TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY RECORDED MAY 13, 1952 AS BOOK 4466, PAGE 58, OF OFFICIAL RECORDS.



COLOR SCHEME SCHEDULE
SQUARE FOOTAGE

DESCRIPTION

17,837 SF		INDICATES AREA WITH
4,949 SF		INDICATES AREA WITH
8,808 SF		INDICATES AREA WITH
790 SF		INDICATES AREA WITH

SLOPE	<	25%		
40%	>	SLOPE	>	25%
80%	>	SLOPE	>	40%
SLOPE	>	80%		

GRAPHIC SCALE: 1" = 10'



PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

SLOPE ANALYSIS
JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075
PLSA JOB NO. 3103
SCALE 1"=10'
MARCH 19, 2024
SHEET 1 OF 1

GENERAL NOTES

1. APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
2. FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
3. IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
4. A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
5. ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
6. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

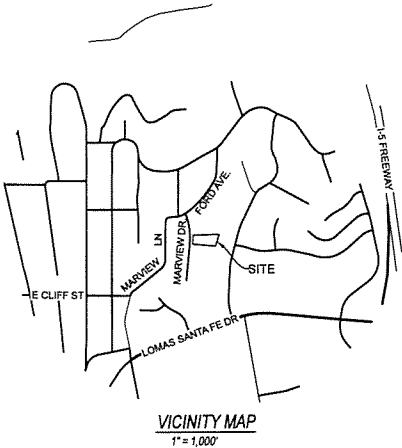
UNDERGROUND S.A. (800)-227-2600

7. A SOILS REPORT SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
8. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
9. THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
10. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
11. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL FACES.
12. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
13. SLOPE RATIOS: CUT 1:2, FILL 1:2
CUT: 100 CY, FILL: 240 CY, IMPORT: 140 CY
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS)
- ** THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
14. SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
15. ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
16. THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 858.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
17. FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
18. ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
19. UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. SBGR-XXX HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN". THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
20. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

EROSION CONTROL NOTES

1. STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
2. EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
3. EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:
- | NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE | | |
|--|---------------|----------------------|
| LBS/ACRE | % PURITY/ACRE | SEED SPECIES |
| 20 | 70% PLUS | ATRIPLEX GLAUCA |
| 50 | | PLANTAGE INSULARIS |
| 8 | | ENCELIS FARINOSA |
| 6 | SCARIFIED | LOTUS SCOPARIUS |
| 7 | 50% PLUS | EXCHSCHOLTZIA CALIF. |
| 91 | | |
4. THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
5. CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
6. SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
7. SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
8. THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
9. THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
10. THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
11. IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

PRELIMINARY GRADING PLAN
448 MARVIEW DRIVE
DRP22-021, SDP22-019



LEGAL DESCRIPTION

LOT 14 IN BLOCK "L" OF MARVIEW HEIGHTS UNIT NO. 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2823, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1951.

A.P.N.: 263-182-07-00

SITE ADDRESS: 448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

OWNER/PERMITTEE: TODD P. JOHANSEN & KIMEYA A. JOHANSEN
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

TOPOGRAPHIC SURVEY: PASCO LARET SUTTER & ASSOCIATES
(658) 259-8212

OWNER'S CERTIFICATE

I, _____, AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.


TODD P. JOHANSEN & KIMEYA A. JOHANSEN
JOHANSEN FAMILY TRUST DATED AUGUST 30, 2016
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

DATE

DECLARATION OF RESPONSIBLE CHARGE

I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION No. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

By: 
BRIAN ARDOLINO
RCE No. 71651 EXP 12/31/2025
PASCO LARET SUTTER & ASSOCIATES

7/18/24



WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

STANDARD SPECIFICATIONS



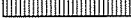
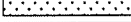

- (1) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
(2) CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
(3) STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

STANDARD DRAWINGS

- (1) SAN DIEGO REGIONAL STANDARD DRAWINGS
(2) STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

ITEM DESCRIPTION

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED SETBACKS	---
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---
PROPOSED ARCHITECTURAL WALL	---
EXISTING RETAINING WALL	---
PROPOSED ROOF DOWN SPOUT	
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	
PROPOSED GRASS PER LANDSCAPE ARCHITECT PLANS	
PROPOSED PERVIOUS PAVERS	

ABBREVIATIONS:

TOP OF WALL	TW
TOP OF WALL @ FINISHED GRADE	TW@FG
BOTTOM OF WALL @ FINISHED GRADE	BW@FG
TOP OF FOOTING	TF
GRADE BREAK	GB
CENTER LINE	CL
FLOWLINE	FL
PROPERTY LINE	PL
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED SURFACE	FS
FACE OF CURB	FC
PROPOSED ELEVATION	XXX.X
EXISTING ELEVATION	(XXX.X)
FINISHED FLOOR	FF
TOP OF GRADE	TG
INVERT ELEVATION	IE
TOP OF STEP	TS
BOTTOM OF STEP	BS
FRONT YARD SETBACK	FYSB
SIDE YARD SETBACK	SYSB
REAR YARD SETBACK	RYSB

EARTHWORK QUANTITIES:

SITE GRADING (OUTSIDE OF STRUCTURE):
CUT: 100 CY
FILL: 200 CY

RESIDENCE GRADING (BELOW STRUCTURE):
CUT: 0 CY
FILL: 40 CY
REMEDIAL: 600 CY

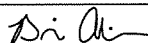
TOTAL GRADING (SITE, BUILDING & REMEDIAL): 940 CY
TOTAL IMPORT: 140 CY

* EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.

PASCO LARET SUTTER & ASSOCIATES

San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

COASTAL COMMISSION PERMIT NO. _____

ENGINEER OF WORK		CITY APPROVED CHANGES		APPD	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
JOO	By:  Date: 6/18/24					By: _____	By: _____	DESCRIPTION: 2.5" BRASS DISC PT. 2001 "SOLB-1"	PRELIMINARY GRADING PLAN FOR:	
Drawn By	Name: BRIAN ARDOLINO RCE No. 71651 Exp. 12/31/25					Review Engineer	_____, City Engineer R.C.E. _____	LOCATION: SE CORNER OF A DRAINAGE INLET ON A 5' SETBACK FROM THE EDGE OF THE PAVEMENT ON E. SIDE OF HWY 101	448 MARVIEW DRIVE	
								RECORD FROM: RGS NO. 18871		SHEET 1 OF 2
								ELEV: 71.45'		
								DATUM: NAVD-88		

PASCO LARET SUTTER & ASSOCIATES
119 BERDEEN DRIVE
CARLEIFF, CA 92007

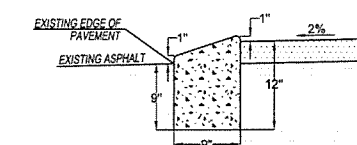
- ① APPROXIMATE LOCATION EXISTING SEWER LATERAL. CONTRACTOR TO VERIFY LOCATION, ELEVATION AND CONDITION.
- ② DEMOLISH EXISTING IMPROVEMENTS
- ③ PROTECT EXISTING TREE IN-PLACE
- ④ DEMOLISH EXISTING TREE
- ⑤ 8" BY 12" MOUNTABLE CURB. SEE DETAIL.
- ⑥ PERVIOUS PAVERS. SEE DETAIL.
- ⑦ STORM WATER BIOINFILTRATION BASIN
- ⑧ PROTECT EXISTING WATER METER AND SERVICE IN-PLACE.
- ⑨ PROPOSED CUSTOM PERVIOUS PAVERS
- ⑩ PROPOSED STORM DRAIN
- ⑪ PROTECT EXISTING POWER POLE & GUY WIRE IN-PLACE
- ⑫ PROPOSED MAIL BOX
- ⑬ PROPOSED 761 CF DETENTION BASIN
IE# 287.0, WEIR 288.0 (OVERFLOW), BOTTOM 285.0
- ⑭ PROPOSED PCC SPILLWAY
- ⑮ PROPOSED IRRIGATION
- ⑯ PROPOSED 20 LF 4" PERFORATED PVC LEVEL SPREADER WITH THREADED
END CAP. IE 284.5

1 EXISTING EASEMENT FOR PUBLIC UTILITIES GRANTED TO SAN DIEGO GAS
ELECTRIC COMPANY RECORDED MARCH 13, 1952 AS BOOK 4402, PAGE 330
OF OFFICIAL RECORDS.

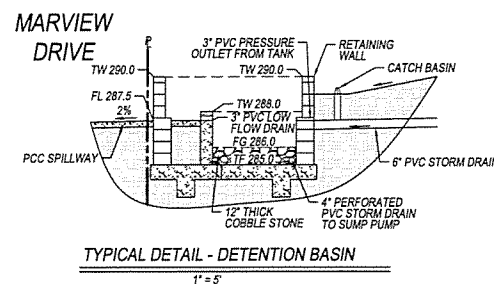
2 EXISTING EASEMENT FOR PUBLIC UTILITIES GRANTED TO THE PACIFIC
TELEPHONE AND TELEGRAPH COMPANY RECORDED MAY 13, 1952 AS BOOK
4466, PAGE 98, OF OFFICIAL RECORDS.

DRAINAGE BASIN AREAS		
SURFACE TYPE	EXISTING AREA (SF)	PROPOSED AREA (SF)
RESIDENCE AND ROOF	3,319	5,643
HARDSCAPE	3,621	2,492
TOTAL IMPERVIOUS	6,940	8,135
TOTAL PERVIOUS	25,443	24,248
TOTAL BASIN	32,383	32,383

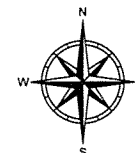
*INCREASE OF 1.165 SF IMPERVIOUS AREA



9"X9"X12" MOUNTABLE CURB


[illegible]

GRAPHIC SCALE: 1" = 10'



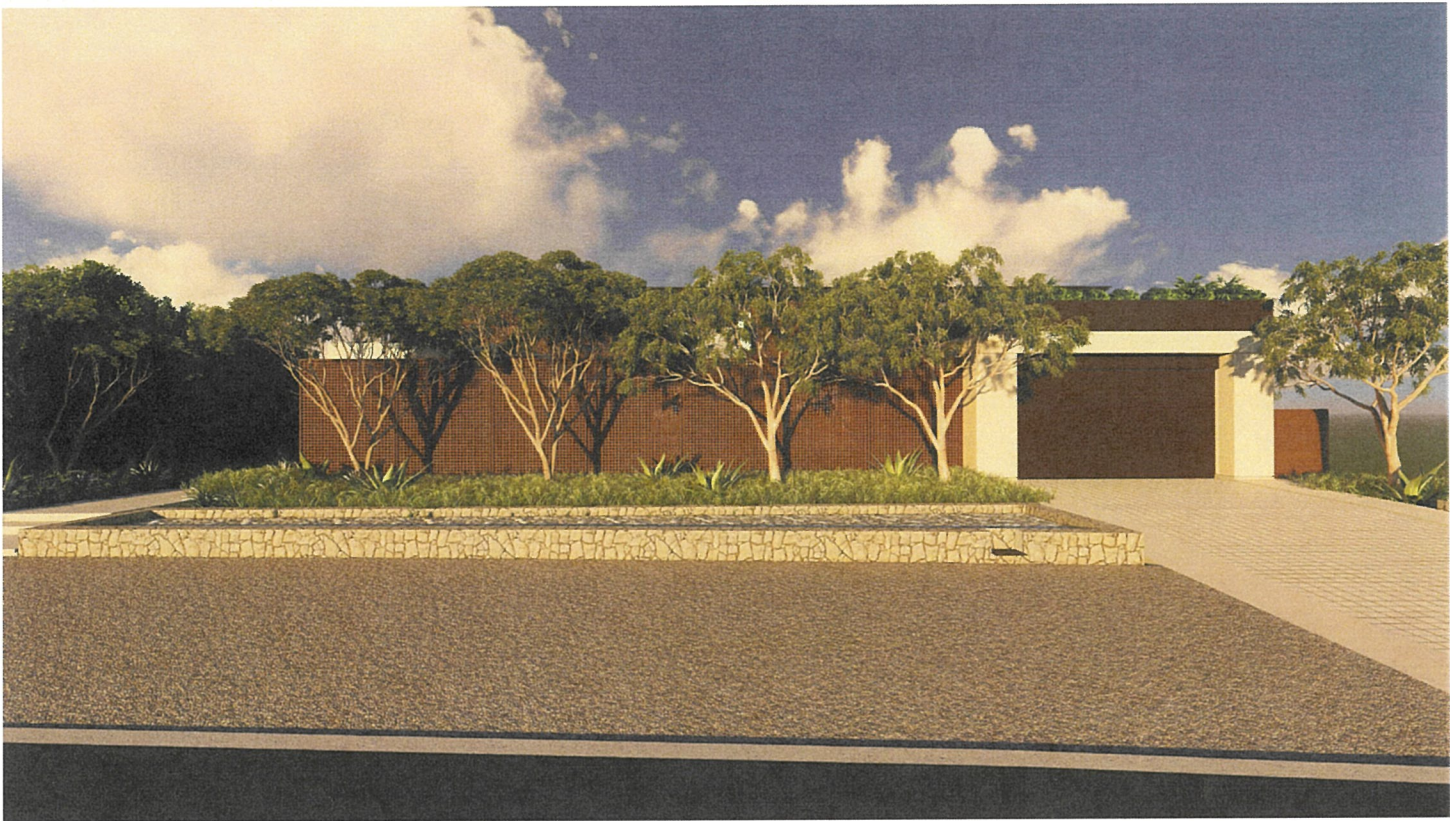
PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

COASTAL COMMISSION PERMIT NO. _____

	ENGINEER OF WORK	CITY APPROVED CHANGES	APPD DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
JOO Drawn By	By:  Name: BRIAN ARGOLINO Date: 6/18/24			By: _____ Review Engineer	By: _____ _____, City Engineer R.C.E.	DESCRIPTION: 2.5" BRASS DISC PT. 2001 "SOLB-1" LOCATION: SE CORNER OF A DRAINAGE INLET ON A 5' SETBACK FROM THE EDGE OF THE PAVEMENT ON E SIDE OF HWY 101 RECORD FROM: ROS NO. 18921	PRELIMINARY GRADING PLAN FOR: 448 MARVIEW DRIVE	SHEET 2 OF 3

115 ABERDEEN DRIVE
CARDIFF, CA 92007

7/23/2024 10:43:32 AM



PRELIMINARY RENDERING @ FRONT
SCALE 1/4" = 1'-0"



PRELIMINARY RENDERING @ REAR
SCALE 1/4" = 1'-0"

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007
WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE
COMMON LAW COPYRIGHT AND OTHER PROPERTY
RIGHT LAWS. DRAWINGS, IDEAS, AND DESIGNED
SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE
PROPERTY OF ALEC PETROS STUDIO INC. AND WILL
NOT BE REPRODUCED WITHOUT THE WRITTEN
CONSENT OF ALEC PETROS STUDIO INC. ALL
UNAUTHORIZED USE OF THESE PLANS OTHER THAN
FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL
BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK	DATE	DESCRIPTION
------	------	-------------

DRP22-01, SDP22-019

JOHANSEN

AP

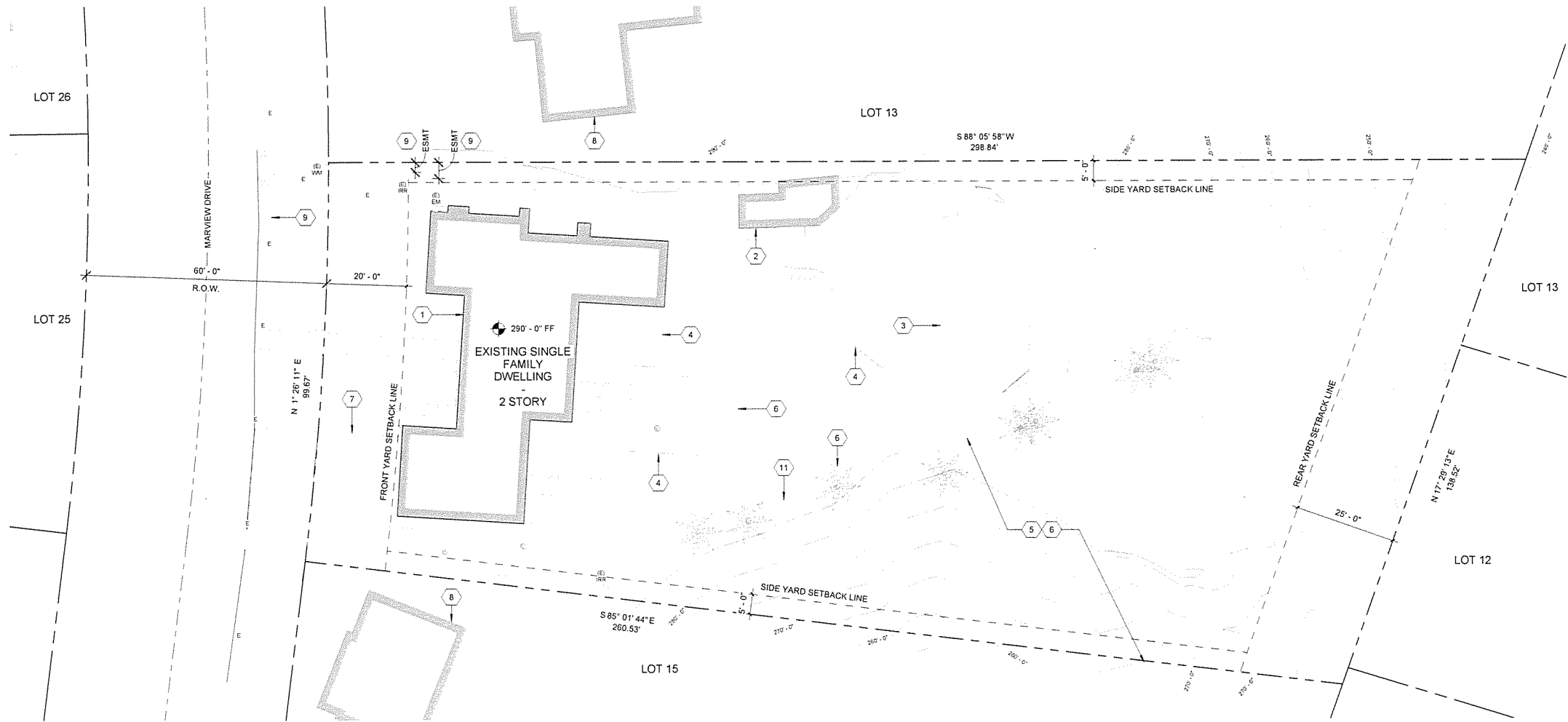
07.23.2024

PROPOSED
RENDERINGS

1/4" = 1'-0"

A0.2

5/5/2025 11:07:25 AM



1 EXISTING SITE PLAN
SCALE 1/16" = 1'-0"

SITE PLAN NOTES

- 1 ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED
- 2 CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS.

PLAN LEGEND

- PROPERTY LINE
----- SETBACK LINE
----- (E) EASEMENT, U.O.N.
----- OVERHEAD, U.O.N.
----- TOP OF SLOPE, U.O.N.
----- FIRE HOSE PULL
- AX X X BLDG ELEV X AX X BLDG SECT
X' - X" SURFACE ELEV X KEYNOTE
- ===== WALL, 2x4 FRAMING, U.O.N.
===== WALL, 2x6 FRAMING, U.O.N.
===== CAST-IN-PLACE CONCRETE, U.O.N.

KEYNOTES

- 1 (E) SINGLE FAMILY DWELLING TO BE DEMOLISHED
- 2 (E) DETACHED STRUCTURE TO BE DEMOLISHED
- 3 (E) POOL TO BE DEMOLISHED
- 4 (E) DECK TO BE DEMOLISHED
- 5 (E) TOPOGRAPHY TO REMAIN
- 6 (E) LANDSCAPE TO REMAIN
- 7 (E) HARDSCAPE SURFACE TO BE DEMOLISHED
- 8 (E) NEIGHBOR STRUCTURE
- 9 (E) POWER POLE & OVERHEAD LINES TO REMAIN
- 10 (E) EASEMENT FOR PUBLIC UTILITIES, SEE SURVEY
- 11 TOP OF SLOPE

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE
COMMON LAW COPYRIGHT AND OTHER PROPERTY
RIGHT LAWS. DRAWINGS, IDEAS AND DESIGNS
SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE
PROPERTY OF ALEC PETROS STUDIO INC. AND WILL
NOT BE REPRODUCED WITHOUT THE WRITTEN
CONSENT OF ALEC PETROS STUDIO INC. ALL
UNAUTHORIZED USE OF THESE PLANS OTHER THAN
FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL
BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

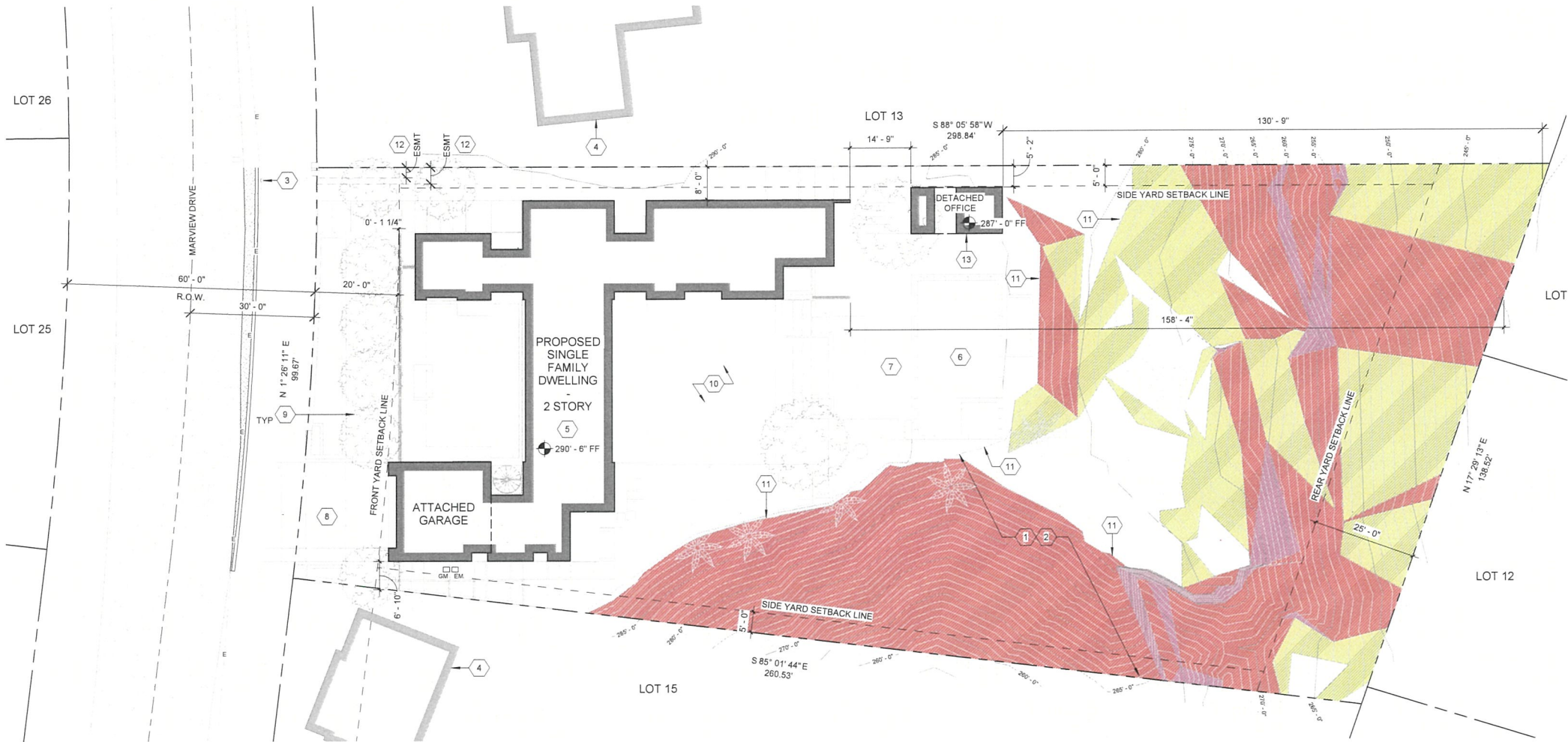
JOHANSEN

AP 07/23/2024

EXISTING SITE
PLAN

As indicated

A0.3



SITE PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS.

PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- (E) EASEMENT, U.O.N.
- OVERHEAD, U.O.N.
- TOP OF SLOPE, U.O.N.
- FIRE HOSE PULL
- BLDG ELEV
- BLDG SECT
- SURFACE ELEV
- KEYNOTE
- WALL, 2x4 FRAMING, U.O.N.
- WALL, 2x6 FRAMING, U.O.N.
- CAST-IN-PLACE CONCRETE, U.O.N.

KEYNOTES

- (E) TOPOGRAPHY TO REMAIN.
- (E) LANDSCAPE TO REMAIN.
- (E) POWER POLE & OVERHEAD LINES TO REMAIN.
- (E) NEIGHBOR STRUCTURE.
- PROPOSED SINGLE FAMILY DWELLING.
- PROPOSED POOL.
- PROPOSED POOL AREA.
- PROPOSED DRIVEWAY.
- PROPOSED LANDSCAPE, SEE LANDSCAPE.
- PROPOSED GRADE, SEE CIVIL.
- TOP OF SLOPE.
- (E) EASEMENT FOR PUBLIC UTILITIES, SEE SURVEY.
- PROPOSED DETACHED OFFICE.

SLOPE ANALYSIS

DESCRIPTION	SLOPE	AREA
AREA WITH	SLOPE < 25%	17,837 SF
AREA WITH	40% > SLOPE > 25%	4,949 SF
AREA WITH	80% > SLOPE > 40%	8,808 SF
AREA WITH	SLOPE > 80%	790 SF

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. DRAWINGS, IDEAS AND DESIGNED SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

AP 07.23.2024

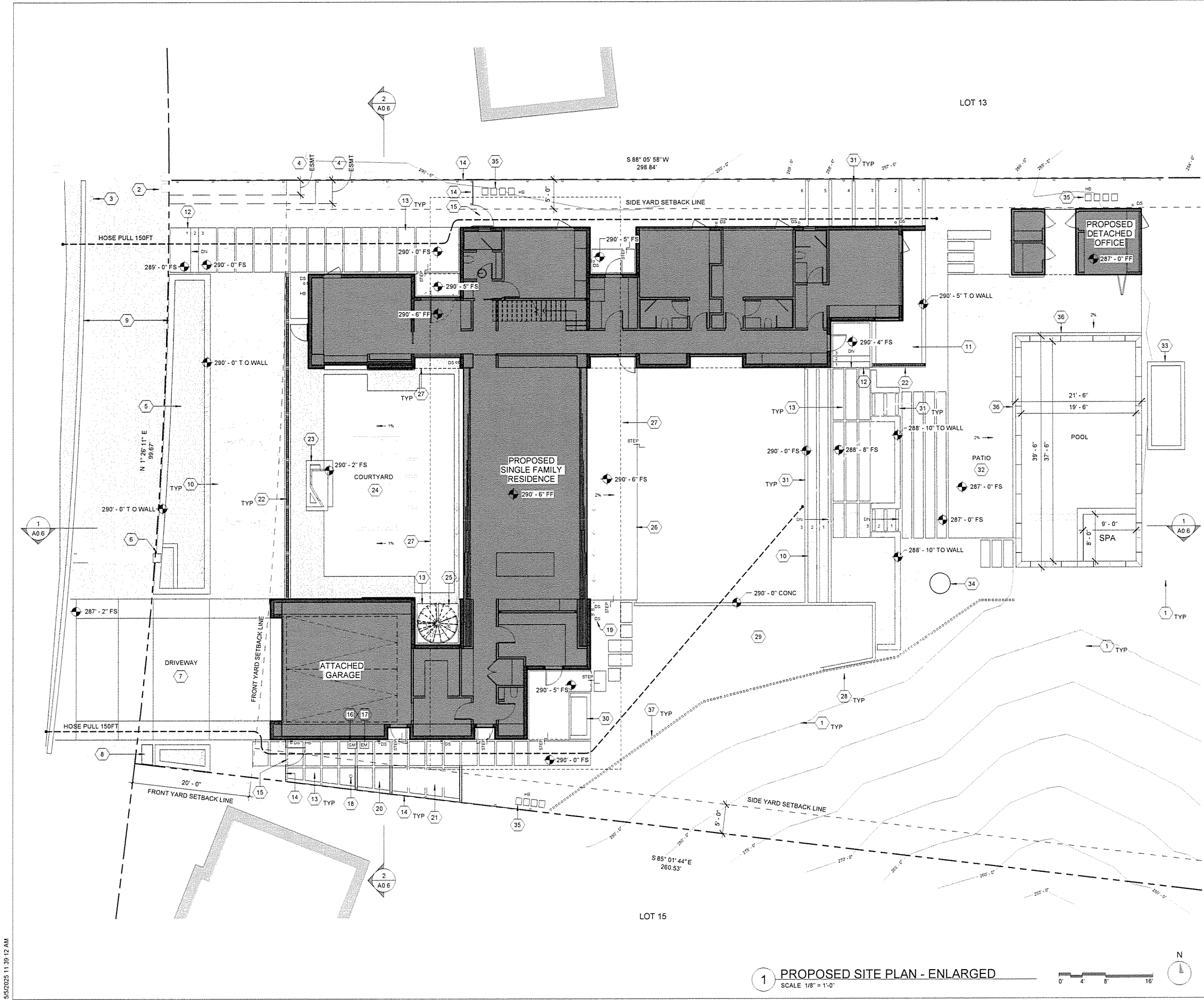
PROPOSED SITE PLAN

As indicated

A0.4

1 PROPOSED SITE PLAN
SCALE 1/16" = 1'-0"

5/5/2025 11:39:12 AM



1 PROPOSED SITE PLAN - ENLARGED
SCALE 1/8" = 1'-0"

SITE PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS

FIRE REQUIREMENT NOTES

1. SPRINKLERS WILL BE REQUIRED IN ALL SPACES INCLUDING THE ATTIC, CLOSETS, BATHROOMS, ETC
2. PATIOS OR OUTDOOR SPACES OVER 10FT OR GREATER IN DEPTH, WILL BE REQUIRED TO HAVE SPRINKLERS
3. AN UNOBSTRUCTED 3-FOOT WALKABLE PATHWAY AROUND ALL PORTIONS OF THE RESIDENCE
4. SEE FIRE STANDARD NOTES ON GENERAL NOTES SHEET A0.1

PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- (E) EASEMENT, U.O.N
- OVERHEAD, U.O.N
- TOP OF SLOPE, U.O.N
- FIRE HOSE PULL
- BLDG ELEV
- BLDG SECT
- SURFACE ELEV
- KEYNOTE
- WALL, 2x4 FRAMING, U.O.N
- WALL, 2x6 FRAMING, U.O.N
- CAST-IN-PLACE CONCRETE, U.O.N

KEYNOTES

1. (E) TREES TO REMAIN, PER LANDSCAPE. PROVIDE PROTECTION DURING CONSTRUCTION
2. (E) WATER METER, TO REMAIN, CONTRACTOR TO VERIFY SERVICE REQUIREMENTS W/ PROPOSED DEVELOPMENT
3. (E) POWER POLE & GUY WIRES TO REMAIN. PROVIDE PROTECTION DURING CONSTRUCTION
4. (E) PUBLIC UTILITIES EASEMENT, SEE SURVEY. PROVIDE PROTECTION DURING CONSTRUCTION
5. BIO-BASIN, PER CIVIL. POURED IN PLACE CONCRETE WALLS W/ COARSE ROCK BED AT VISIBLE SURFACE
6. BIO-BASIN SPILLWAY, PER CIVIL. RECTANGULAR STEEL CHANNEL LIP OVER POURED IN PLACE CONCRETE WALLS W/ CONCRETE SPLASH BLOCK BELOW
7. DRIVEWAY SURFACE, PERVIOUS PAVERS W/ POURED IN PLACE CONCRETE BOARDER. PROVIDE POURED IN PLACE CONCRETE APRON AT INTERSECTION OF PAVED PORTION OF R.O.W
8. MAILBOX W/ ADDRESS INDICATORS, PER FIRE DEPT REQUIREMENTS
9. PUBLIC RIGHT OF WAY IMPROVEMENTS W/ GRAVEL FINISH SURFACE, SEE CIVIL
10. TREES, PER LANDSCAPE
11. PLANTING, PER LANDSCAPE
12. POURED IN PLACE CONCRETE STEPS
13. POURED IN PLACE CONCRETE PAVERS
14. SOLID WOOD FENCE 6'-0" TALL MAX HEIGHT. FENCE SHALL COMPLY WITH CITY OF SOLANA BEACH MUNICIPAL CODE
15. SOLID WOOD GATE 6'-0" TALL MAX HEIGHT. FENCE SHALL COMPLY WITH CITY OF SOLANA BEACH MUNICIPAL CODE
16. GAS METER, SEE MEP
17. ELECTRIC METER, SEE MEP
18. OUTDOOR RINSE SHOWER (NO HOT WATER) W/ CURB AROUND 3X6 FOOTPRINT. ROUTE DRAIN TO BIO-BASIN
19. DOWNSPOUT FROM ROOF OR DECK ABOVE
20. SCREENED GROUND MOUNTED MECH EQUIPMENT, NOT VISIBLE FROM R.O.W
21. SCREENED TRASH ENCLOSURE AREA, NOT VISIBLE FROM R.O.W
22. SEMI-OPEN WOOD SCREEN
23. FREE STANDING OUTDOOR FIREPLACE, GAS LINE & WOOD BURNING, POURED IN PLACE CONCRETE
24. COURTYARD SURFACE, PERVIOUS PAVERS W/ CONCRETE BORDER. FINISH SURFACE TO SLOPE TO DRAIN
25. EXTERIOR METAL SPIRAL STAIR TO DECK
26. SLAB ON GRADE CONCRETE, SLOPE AWAY FROM STRUCTURE
27. LINE ON ROOF OR STRUCTURE ABOVE
28. TOP OF SLOPE
29. BOCCI COURT, SEE LANDSCAPE
30. BUILT-IN BBQ
31. POURED IN PLACE CONCRETE STEPS BUILT INTO GRADE W/ PLANTED TREADS, SEE LANDSCAPE
32. SLAB ON GRADE CONCRETE, SLOPE TO DRAIN
33. POOL EQUIPMENT VAULT BELOW GRADE W/ LID. SIZING PER POOL CONTRACTOR
34. GAS LINE FIRE PIT, PER LANDSCAPE
35. IRRIGATION, PER LANDSCAPE
36. LINEAR GRATE DRAIN, SEE CIVIL
37. OPEN VERTICAL POST WOOD FENCE 3'-6" TALL MAX. FENCE SHALL COMPLY WITH CITY OF SOLANA BEACH MUNICIPAL CODE

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE
COMMON LAW COPYRIGHT AND OTHER PROPERTY
RIGHT LAWS. DRAWINGS, IDEAS AND DESIGNS
SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE
PROPERTY OF ALEC PETROS STUDIO, INC. AND WILL
NOT BE REPRODUCED WITHOUT THE WRITTEN
CONSENT OF ALEC PETROS STUDIO, INC. ALL
UNAUTHORIZED USE OF THESE PLANS OTHER THAN
FOR THE SPECIFIC PROJECT AND LOCATIONS SHALL
BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

AP

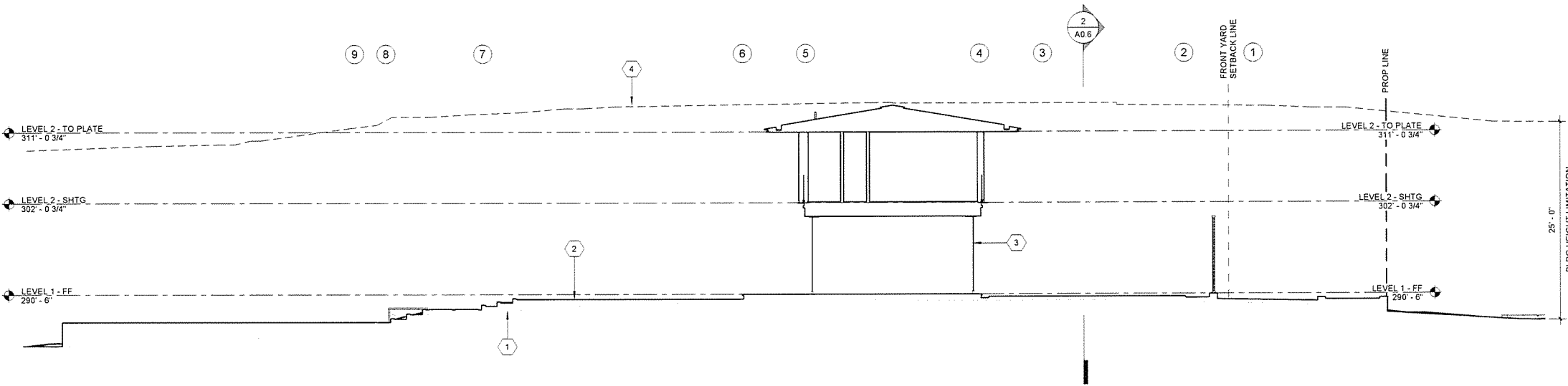
07.23.2024

PROPOSED SITE
PLAN ENLARGED

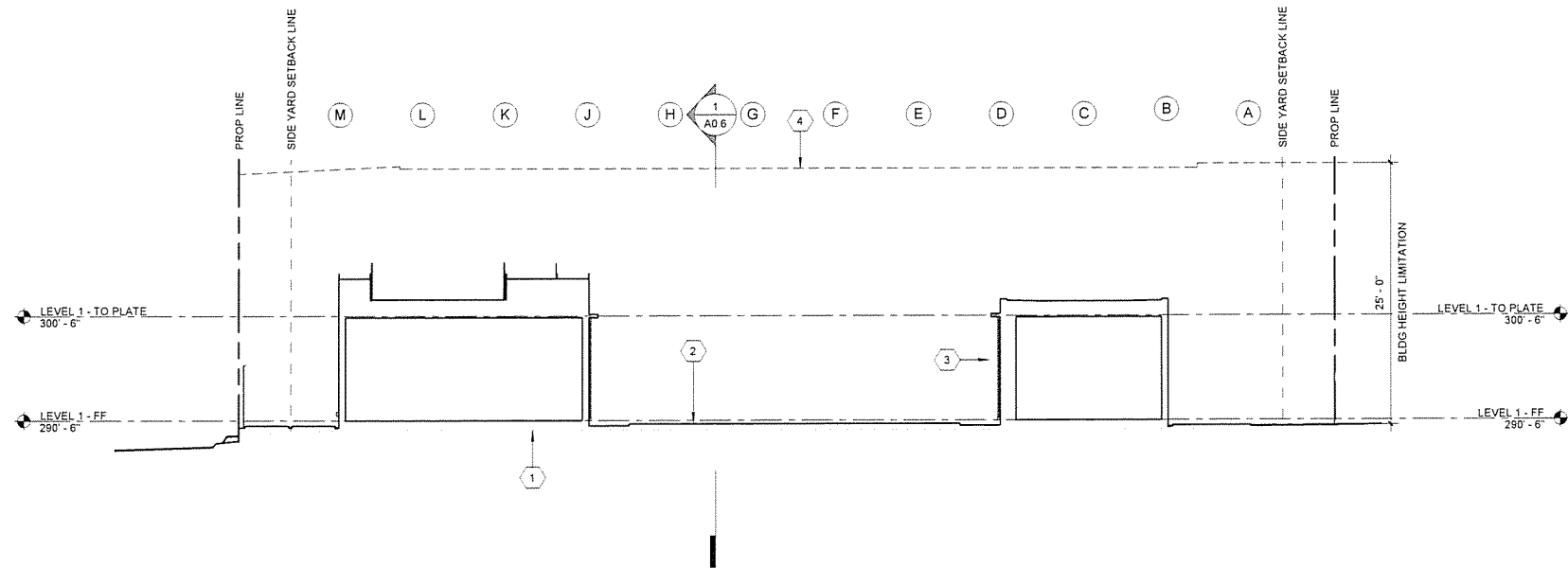
As indicated

A0.5

3/31/2025 11:11:17 AM



1 PROPOSED SITE SECTION - LONGDITUDINAL
SCALE 1/8" = 1'-0"



2 PROPOSED SITE SECTION - TRANSVERSE
SCALE 1/8" = 1'-0"

SITE PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.

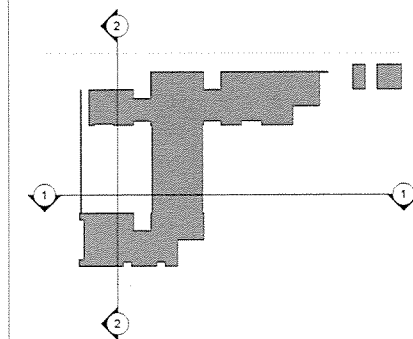
PLAN LEGEND

---	PROPERTY LINE	---	SETBACK LINE
---	S.B.M.C HEIGHT LIMIT	---	(E) GRADE, U.O.N
X	GRID LINE	X	WALL SECT
X	BLDG SECT	X	SURFACE ELEV
X	KEYNOTE		

KEYNOTES

- (E) GRADE
- PROPOSED GRADE
- PROPOSED BUILDING
- LINE OF (E) GRADE OR PROPOSED GRADE, WHICHEVER IS LOWER

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. DRAWINGS, IDEAS, AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO, INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO, INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

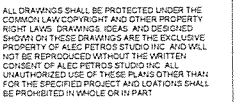
JOHANSEN

AP 07/23/2024

PROPOSED SITE SECTION

As indicated

A0.6



JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK	DATE	DESCRIPTION
------	------	-------------

DRP22-01, SDP22-019

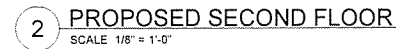
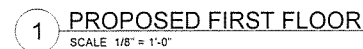
JOHANSEN

AP 07.23.2024

FLOOR AREA
DIAGRAM

As indicated





A0.7



GENERAL NOTES

1 ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

AREA LEGEND

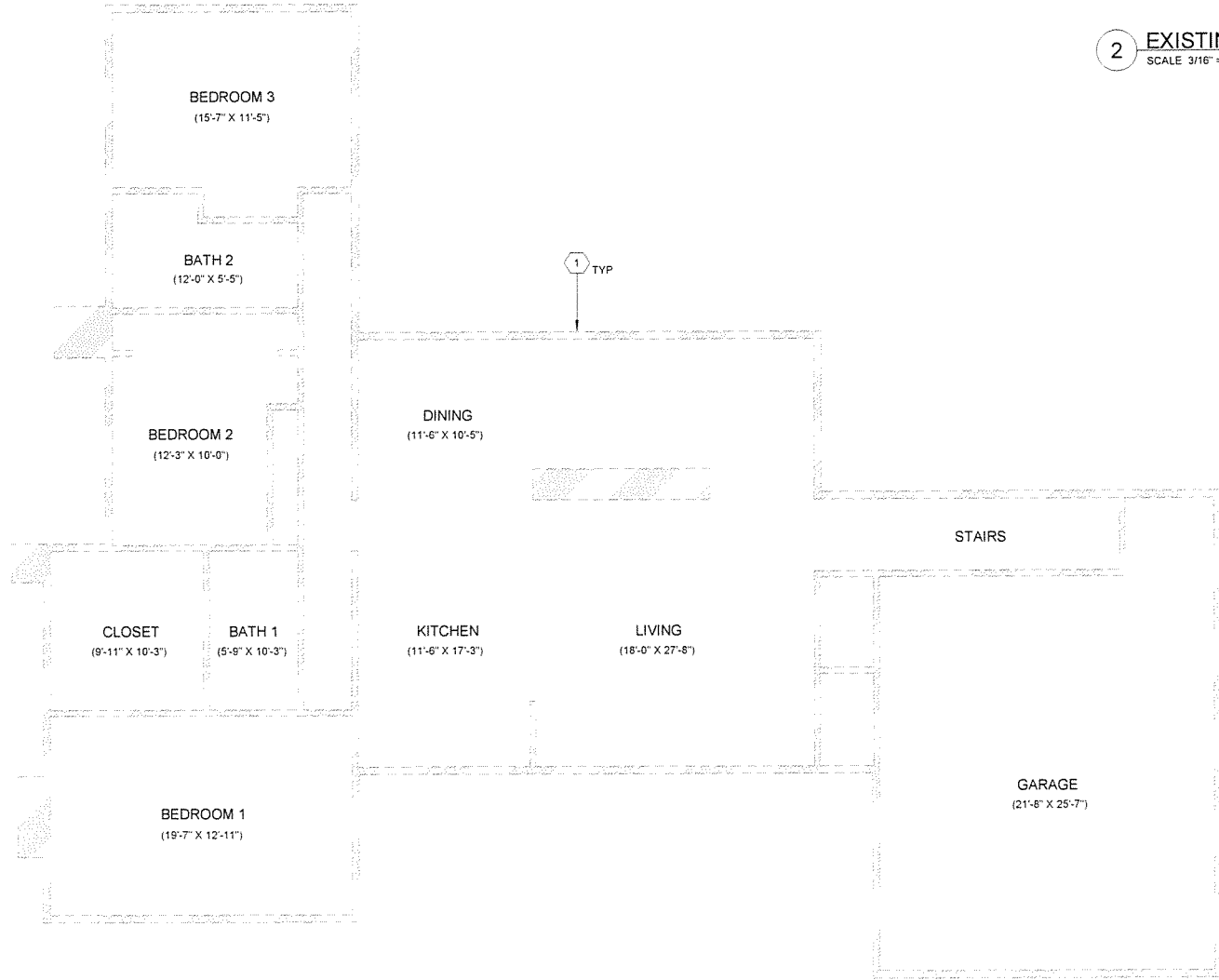
	ROOF OR FEATURE ABOVE
	LIVING AREA, INCLUDED IN F A R
	GARAGE AREA, INCLUDED IN F A R
	EXTERIOR AREA, INCLUDED IN F A R
	NON-FLOOR DECK AREA, EXCLUDED IN F A R

PROJECT AREAS

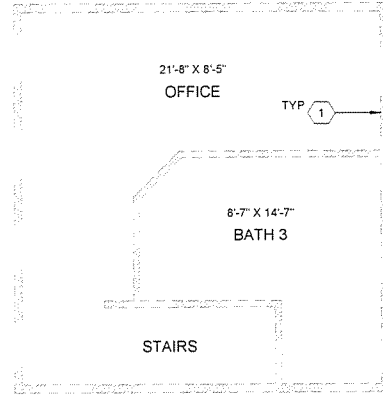
	EXISTING	DEMO	NEW	TOTAL
LOCATION	2,104 SF	2,104 SF	3,405 SF	3,405 SF
LIVING AREA (L1)	601 SF	601 SF	1,512 SF	1,512 SF
LIVING AREA (L2)	601 SF	601 SF	545 SF	545 SF
GARAGE AREA (L1)	0 SF	0 SF	190 SF	190 SF
STORAGE / OFFICE	0 SF	0 SF	212 SF	212 SF
EXTERIOR FLOOR AREA (L1)	0 SF	0 SF	0 SF	0 SF
EXTERIOR FLOOR AREA (L2)	0 SF	0 SF	0 SF	0 SF
FLOOR AREA SUB TOTAL	3,306 SF	3,306 SF	5,664 SF	5,664 SF
NON-FLOOR AREA DECK (L1)	0 SF	0 SF	0 SF	0 SF
NON-FLOOR AREA DECK (L2)	0 SF	0 SF	1,047 SF	1,047 SF
PARKING EXEMPTION				400 SF
PROPOSED FLOOR AREA				5,464 SF
MAX ALLOWABLE FLOOR AREA	5,694 SF			
PROPOSED FLOOR AREA	5,464 SF			
FLOOR AREA REMAINING	230 SF			

7/23/2024 10:43:50 AM

1 EXISTING/DEMO FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"



2 EXISTING/DEMO SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"



FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REQUIRED CLEARANCES PRIOR TO CONSTRUCTION.
3. ANY REQUIRED WALL CALCULATIONS REQUIRED SHALL BE REVIEWED AND CONFIRMED BY CONTRACTOR PRIOR TO DEMOLITION.
4. ALL EXISTING UTILITIES SHALL BE LOCATED AND CONFIRMED BY THE CONTRACTOR PRIOR TO DEMOLITION.

PLAN LEGEND

--- EXISTING WALLS TO BE DEMOLISHED

KEYNOTES

1. DEMO (E) WALL

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. IS PROHIBITED. UNAUTHORIZED USE OF THESE PLANS OR OTHER INFORMATION FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK	DATE	DESCRIPTION
------	------	-------------

DRP22-01, SDP22-019

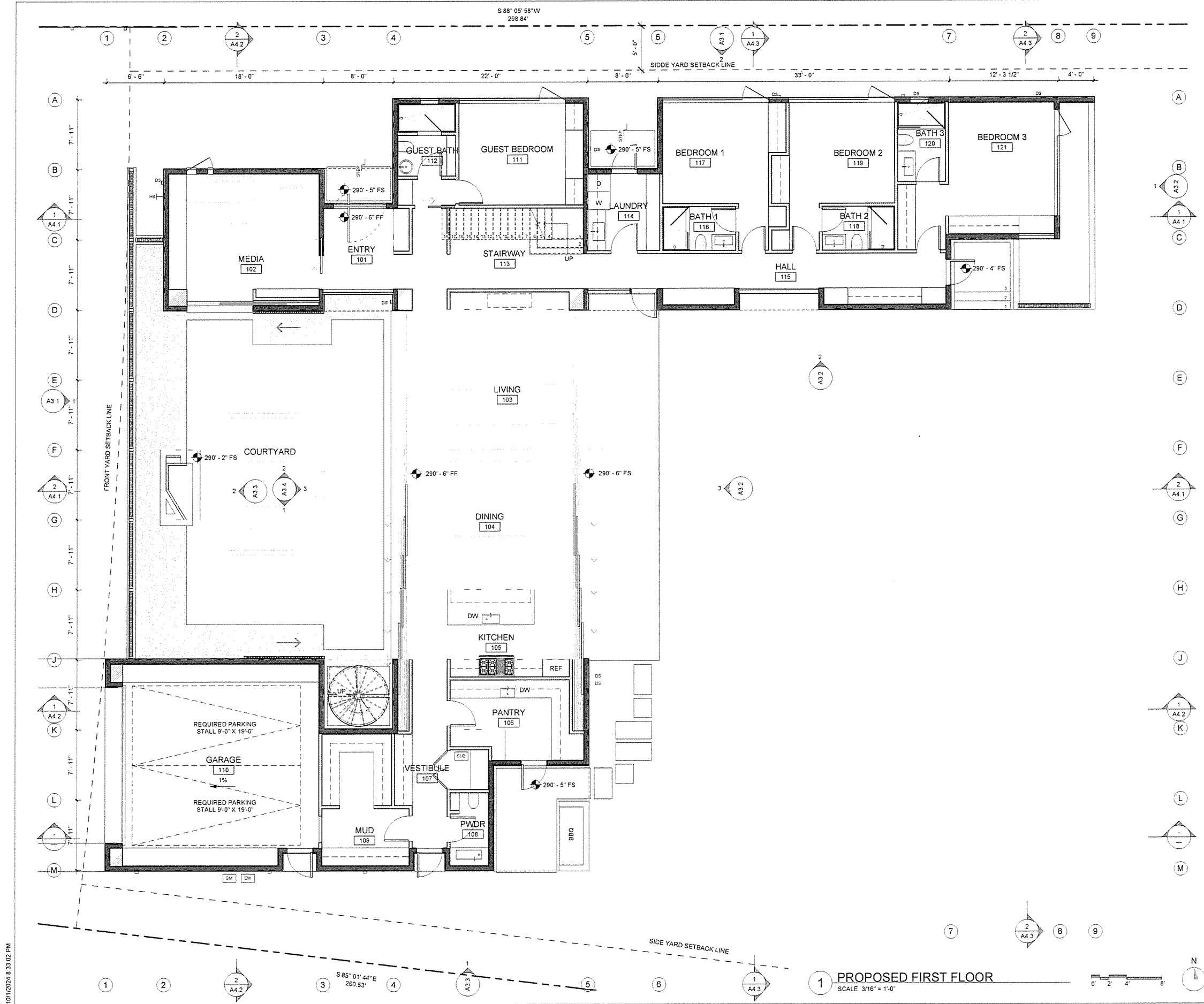
JOHANSEN

AP 07/23/2024

EXISTING FIRST
FLOOR PLAN

As indicated

A1.1



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED
- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REQUIRED CLEARANCES PRIOR TO CONSTRUCTION
- SEE ADDITIONAL NOTES FOR STAIRS, HANDRAILS AND GUARDRAILS ON SHEET A0.1, GENERAL NOTES
- CONTRACTOR TO CONFIRM ALL MEDICINE CABINETS AND WALL RECESSES W/ ARCHITECT PRIOR TO FRAMING
- PROVIDE FULL SOUND BATT-INSULATION ON ALL WALLS AND FLOORS, U.O.N. CONTRACTOR TO VERIFY REQ'D R-VALUES W/ TITLE 24 CALCULATIONS
- PROVIDE NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIV APPLIED TO THE INTERIOR SIDE OF THE GARAGE WALLS

PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- (E) EASEMENT
- OVERHEAD, U.O.N
- GRID LINE
- BLDG ELEV
- BLDG SECT
- SURFACE ELEV
- KEYNOTE
- WINDOW TAG
- DOOR TAG
- WALL, 2x4 FRAMING, U.O.N
- WALL, 2x6 FRAMING, U.O.N
- CAST-IN-PLACE CONCRETE, U.O.N
- HANDRAIL TO CODE
- GUARDRAIL TO CODE

KEYNOTES

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 851
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. DRAWINGS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO, INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO, INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIC PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DESIGN DEVELOPMENT

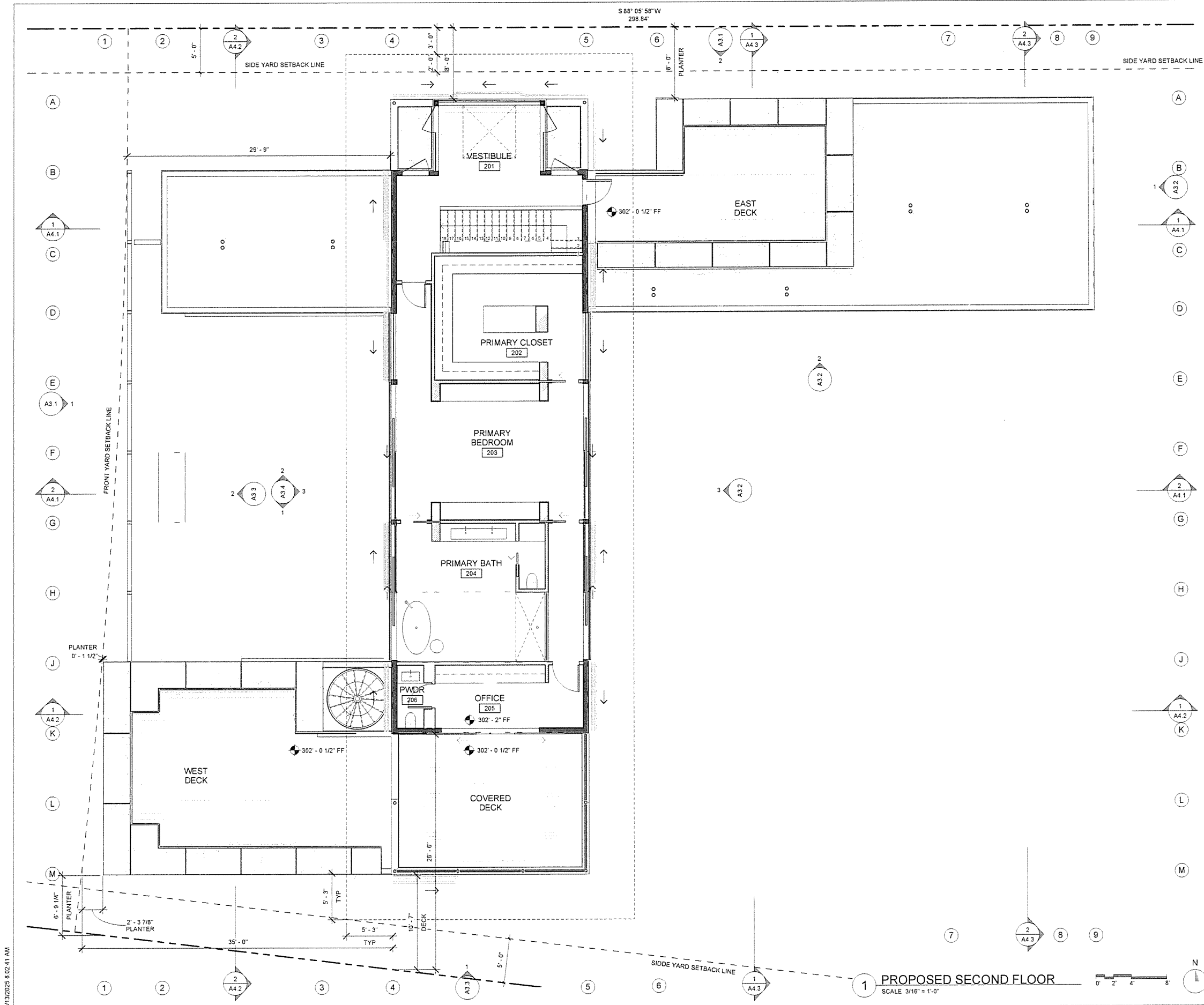
JOHANSEN

AP 10.01.2024

PROPOSED FIRST FLOOR PLAN

As indicated

A2.1



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED
- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REQUIRED CLEARANCES PRIOR TO CONSTRUCTION
- SEE ADDITIONAL NOTES FOR STAIRS, HANDRAILS AND GUARDRAILS ON SHEET A0.1, GENERAL NOTES
- CONTRACTOR TO CONFIRM ALL MEDICINE CABINETS AND WALL RECESSES W/ ARCHITECT PRIOR TO FRAMING
- PROVIDE FULL SOUND BATT-INSULATION ON ALL WALLS AND FLOORS, U.O.N. CONTRACTOR TO VERIFY REQ'D R-VALUES W/ TITLE 24 CALCULATIONS
- PROVIDE NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIV APPLIED TO THE INTERIOR SIDE OF THE GARAGE WALLS

PLAN LEGEND

- PROPERTY LINE
SETBACK LINE
(E) EASEMENT
OVERHEAD, U.O.N.
GRID LINE
- AXX X BLDG ELEV
X' - X" SURFACE ELEV
X WINDOW TAG
- AXX BLDG SECT
X KEYNOTE
XXX DOOR TAG
- WALL, 2x4 FRAMING, U.O.N.
WALL, 2x6 FRAMING, U.O.N.
CAST-IN-PLACE CONCRETE, U.O.N.
HANDRAIL TO CODE
GUARDRAIL TO CODE

KEYNOTES

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 851
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. ANY REPRODUCTION OR UNAUTHORIZED USE OF THESE DRAWINGS IS PROHIBITED. THE PROPERTY OF ALEC PETROS STUDIO, INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO, INC. ALL UNAUTHORIZED USE OF THESE PLANS AND OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

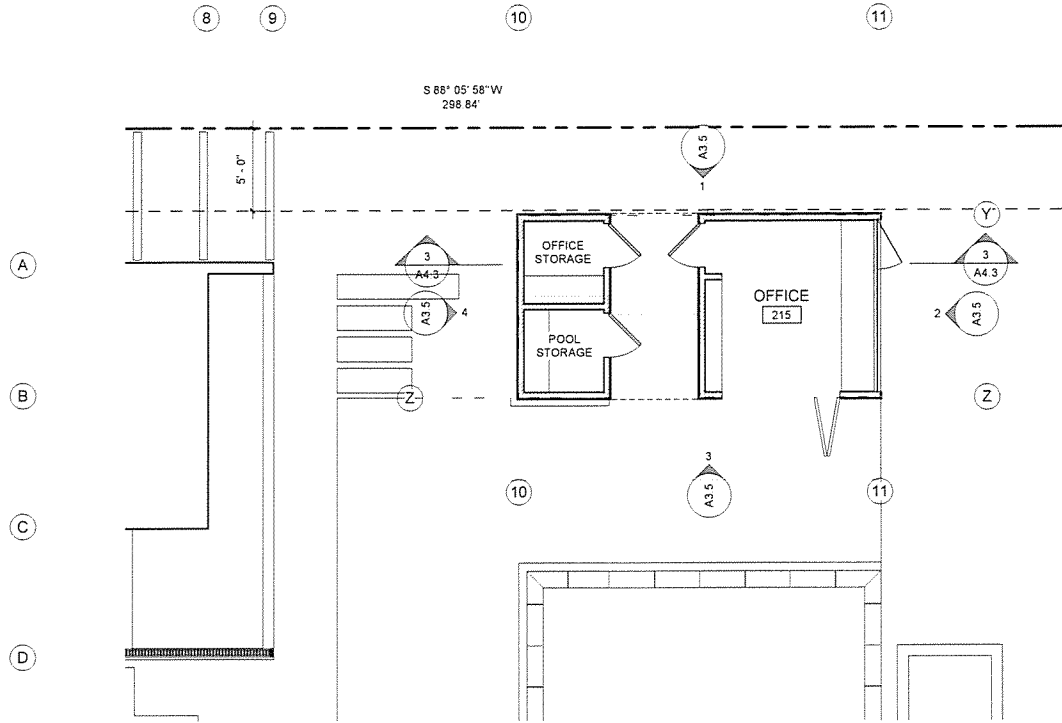
AP 07 23 2024

PROPOSED
SECOND FLOOR
PLAN

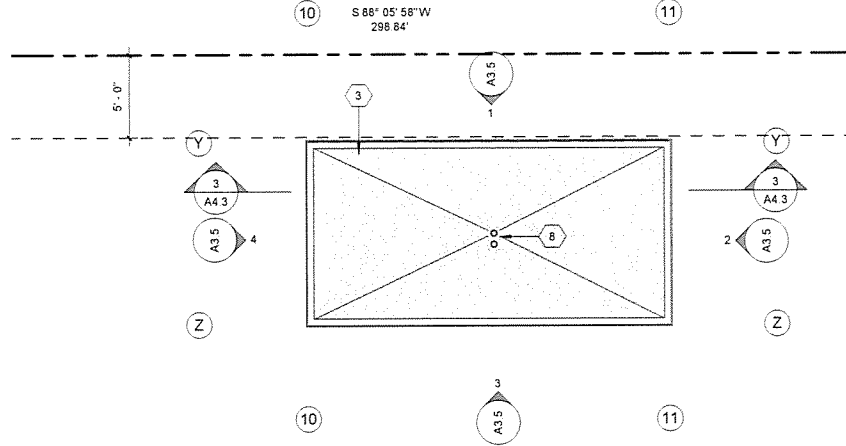
As indicated

A2.2

3/31/2025 11:12:03 AM



1 PROPOSED FLOOR PLAN - DETACHED OFFICE
SCALE 3/16" = 1'-0"



2 PROPOSED ROOF PLAN - DETACHED OFFICE
SCALE 3/16" = 1'-0"

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED
- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REQUIRED CLEARANCES PRIOR TO CONSTRUCTION
- SEE ADDITIONAL NOTES FOR STAIRS, HANDRAILS AND GUARDRAILS ON SHEET A0 1, GENERAL NOTES
- CONTRACTOR TO CONFIRM ALL MEDICINE CABINETS AND WALL RECESSES W/ ARCHITECT PRIOR TO FRAMING
- PROVIDE FULL SOUND BATT-INSULATION ON ALL WALLS AND FLOORS, U O N. CONTRACTOR TO VERIFY REQ'D R-VALUES W/ TITLE 24 CALCULATIONS
- PROVIDE NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIV APPLIED TO THE INTERIOR SIDE OF THE GARAGE WALLS

PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	(E) EASEMENT
---	OVERHEAD, U O N
(X)	GRID LINE
(AX X) X	BLDG ELEV
(X) X	BLDG SECT
X - X"	SURFACE ELEV
(X)	KEYNOTE
(X)	WINDOW TAG
(XXX)	DOOR TAG
---	WALL, 2x4 FRAMING, U O N
---	WALL, 2x6 FRAMING, U O N
---	CAST-IN-PLACE CONCRETE, U O N
HR	HANDRAIL TO CODE
GR	GUARDRAIL TO CODE
O	EXHAUST FAN, SEE MEP
SP	RESIDENTIAL FIRE SPRINKLER HEAD, SEE MEP
SDCM	SMOKE & CARBON MONOXIDE ALARM, SEE MEP
CM	CARBON MONOXIDE ALARM, SEE MEP

KEYNOTES

- EXTERIOR WALL BELOW SECOND LEVEL
- METAL ROOFING, CLASS A RATING, MFG WESTERN STATES METAL ROOFING, PRODUCT NAME 7/8" CORRUGATED METAL, GAUGE 24, APPROVAL NO. XXX, FINISH MANSARD BROWN
- ROLLED ROOFING, CLASS A RATING, MFG XXX, PRODUCT NAME XXX, APPROVAL NO. XXX, FINISH XXX
- ROLLED ROOFING, CLASS A RATING, MFG XXX, PRODUCT NAME XXX, APPROVAL NO. XXX, FINISH XXX
- SHEET METAL TRIM, FINISH TO MATCH ROOFING
- PERIMETER ROOF GUTTER CHANNEL BUILT INTO EAVE, SLOPE TO DRAINS
- GUTTER CHANNEL DRAIN, CONNECT TO IN-WALL DOWN SPOUTS. VERIFY LOCATION IN FIELD
- ROOF DRAIN & OVERFLOW OVERFLOW DRAINS HAVING SAME SIZE AS ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUTTERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS AND HAVING A MINIMUM OPENING HEIGHT OF 4 INCHES SHALL BE INSTALLED IN THE ADJACENT PARAPET WALLS WITH THE INLET FLOW LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF SERVED. DRAINS TO ROUTE THROUGH EXTERIOR WALL AND NOT VISIBLE. SEE PLANS & ELEVS FOR DRAIN TERMINATION POINTS.
- SKYLIGHT, INSTALLATION PER MFG SPECS, SEE WINDOW SCHEDULE
- PLUMBING VENT, FINISH TO MATCH ROOFING. PLUMBING VENTS TO BE A MINIMUM OF 10FT FROM ALL PLUMBING VENTS OR THE VENT SHALL TERMINATE 3FT ABOVE THE SKYLIGHT. PER CPC 906.2
- GAS FIREPLACE VENT, MFG GAF, PRODUCT NAME VERSA CAP, CONTRACTOR TO VERIFY MODEL NUMBER WITH FIREPLACE FLUE, FINISH MATCH ROOFING
- RANGE HOOD VENT, MFG GAF, PRODUCT NAME HOD144, CONTRACTOR TO VERIFY W/ HOOD FAN, FINISH MATCH ROOFING
- PHOTOVOLTAIC SOLAR PANELS. PROVIDE NECESSARY ATTACHMENTS PER SOLAR MFG SPECS
- PHOTOVOLTAIC SOLAR PANELS. PROVIDE NECESSARY ATTACHMENTS PER SOLAR MFG SPECS

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHT LAWS. DRAWINGS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. ALL UNAUTHORIZED USE OF THESE PLANS OR OTHER THINGS FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

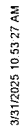
AP 07/23/2024

PROPOSED
OFFICE FLOOR
PLAN

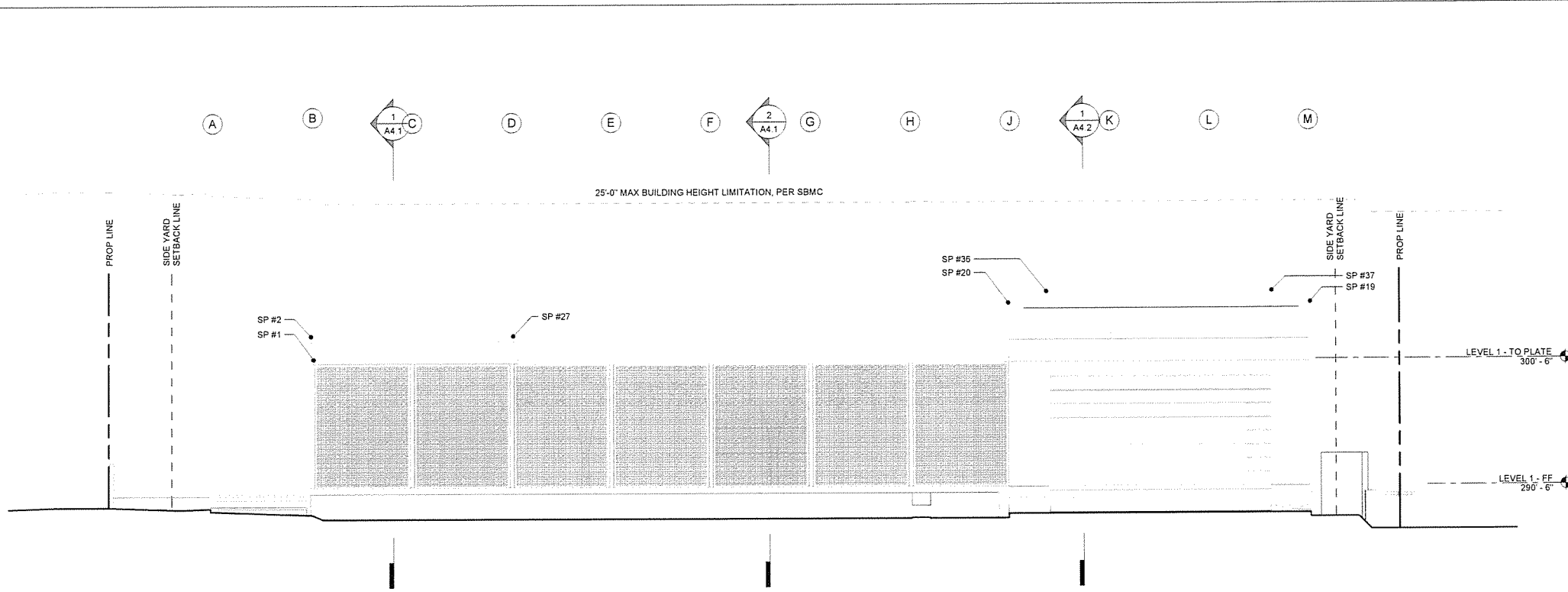
As indicated

A2.4

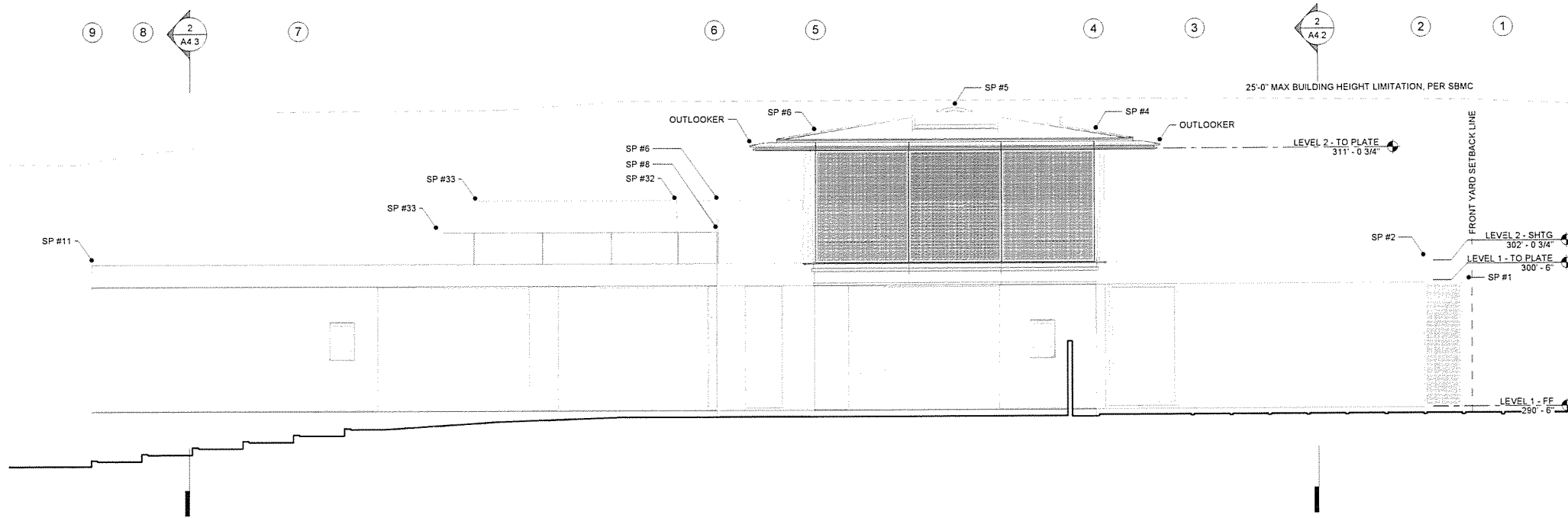
0' 2' 4' 8'



3/12/2025 10:53:47 AM



1 PROPOSED BUILDING ELEVATION - WEST (STREET VIEW)
SCALE 3/16" = 1'-0"



2 PROPOSED BUILDING ELEVATION - NORTH
SCALE 3/16" = 1'-0"

STORY POLE

SP = STORY POLE
HEIGHT = MSL STORY POLE HEIGHT
(E) GRADE = MSL EXISTING GRADE
(P) GRADE = MSL PROPOSED GRADE

SP #1
HEIGHT 300.67 (ROOF)
(E) GRADE 289.89
(P) GRADE 289.80

SP #2
HEIGHT 302.50 (ROOF)
(E) GRADE 289.79
(P) GRADE 289.80

SP #3
HEIGHT 312.70 (ROOF)
(E) GRADE 289.80
(P) GRADE 289.80

SP #4
HEIGHT 312.70 (ROOF)
(E) GRADE 289.71
(P) GRADE 289.80

SP #5
HEIGHT 314.66 (ROOF)
(E) GRADE 289.66
(P) GRADE 289.80

SP #6
HEIGHT 312.70 (ROOF)
(E) GRADE 289.76
(P) GRADE 289.80

SP #7
HEIGHT 307.30 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.73
(P) GRADE 289.80

SP #8
HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)
(E) GRADE 289.73
(P) GRADE 289.80

SP #9
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.80
(P) GRADE 289.80

SP #10
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.20
(P) GRADE 289.30

SP #11
HEIGHT 302.50 (ROOF)
(E) GRADE 289.20
(P) GRADE 289.50

SP #12
HEIGHT 302.50 (ROOF)
(E) GRADE 284.97
(P) GRADE 286.50

SP #13
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.41
(P) GRADE 289.80

SP #14
HEIGHT 312.70 (ROOF)
(E) GRADE 289.66
(P) GRADE 289.80

SP #15
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.64
(P) GRADE 289.80

SP #16
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.82
(P) GRADE 289.80

SP #17
HEIGHT 314.66 (ROOF)
(E) GRADE 289.82
(P) GRADE 289.80

SP #18
HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.28
(P) GRADE 289.80

SP #19
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.74
(P) GRADE 289.80

SP #20
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.35
(P) GRADE 289.80

SP #21 (NOT USED)
SP #22 (NOT USED)
SP #23 (NOT USED)

SP #24
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.80
(P) GRADE 289.80

SP #25
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.70
(P) GRADE 289.80

SP #26
HEIGHT 312.70 (ROOF)
(E) GRADE 289.66
(P) GRADE 289.80

SP #27
HEIGHT 302.50 (ROOF)
(E) GRADE 289.70
(P) GRADE 289.80

SP #28
HEIGHT 297.00 (ROOF)
(E) GRADE 284.83
(P) GRADE 285.00

SP #29
HEIGHT 297.00 (ROOF)
(E) GRADE 284.83
(P) GRADE 285.00

SP #30
HEIGHT 297.00 (ROOF)
(E) GRADE 284.89
(P) GRADE 285.60

SP #31
HEIGHT 297.00 (ROOF)
(E) GRADE 284.65
(P) GRADE 284.50

SP #32
HEIGHT 307.30 (RAILING)
(E) GRADE 289.74
(P) GRADE 289.80

SP #33
HEIGHT 307.30 (RAILING)
(E) GRADE 288.97
(P) GRADE 289.80

SP #34
HEIGHT 305.00 (RAILING)
(E) GRADE 289.62
(P) GRADE 289.80

SP #35
HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)
(E) GRADE 289.62
(P) GRADE 289.80

SP #36
HEIGHT 305.00 (RAILING)
(E) GRADE 289.35
(P) GRADE 289.50

SP #37
HEIGHT 305.00 (RAILING)
(E) GRADE 289.67
(P) GRADE 289.50

ELEVATION PLAN NOTES

- CONTRACTOR TO VERIFY ALL LOCATION OF WALLS, WINDOWS, DOORS, ROOFS, AND ANY OTHER FEATURES SHOWN ON THE ELEVATIONS WITH THE FLOOR PLANS
- HEIGHT CERTIFICATION REQUIREMENTS SHALL BE LOCATED ON THE TITLE SHEET, IF APPLICABLE.

PLAN LEGEND

- PROPERTY LINE
SETBACK LINE
S B M C HEIGHT LIMIT
(E) GRADE, U O N
GRID LINE
BLDG ELEV
BLDG SECT
SURFACE ELEV
KEYNOTE

KEYNOTES

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO, INC. IS PROHIBITED. ANY REPRODUCTION OR USE OF THESE DRAWINGS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

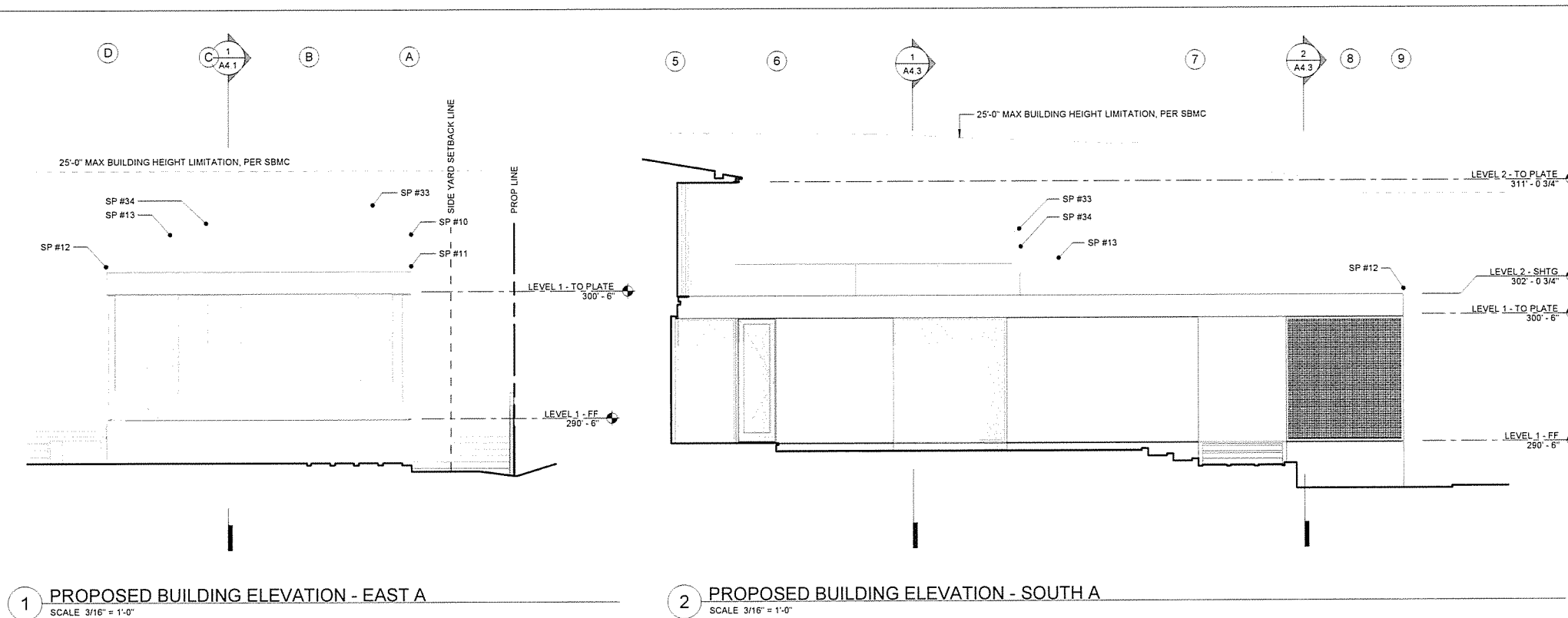
AP 07/23/2024

PROPOSED
BUILDING
ELEVATIONS

As indicated

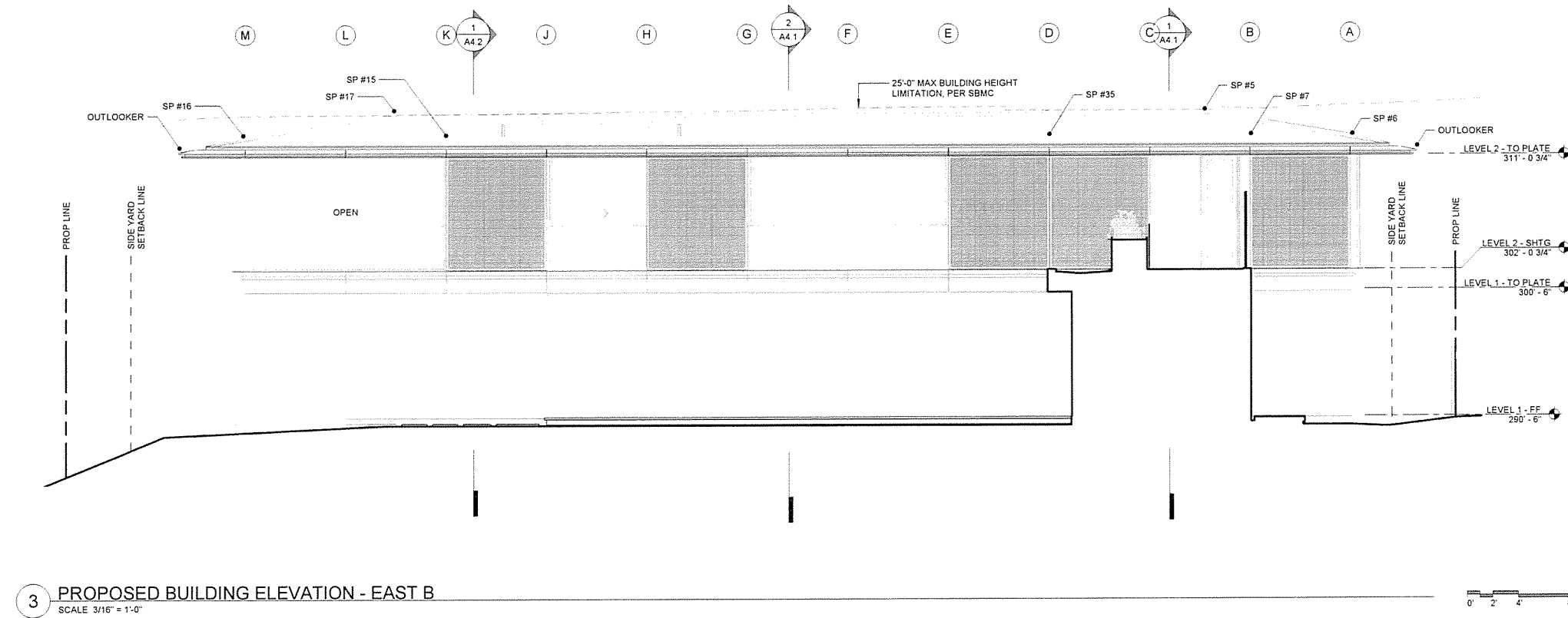
A3.1

3/31/2025 10:54:15 AM



1 PROPOSED BUILDING ELEVATION - EAST A
SCALE 3/16" = 1'-0"

2 PROPOSED BUILDING ELEVATION - SOUTH A
SCALE 3/16" = 1'-0"



3 PROPOSED BUILDING ELEVATION - EAST B
SCALE 3/16" = 1'-0"

STORY POLE

SP #	HEIGHT	MSL	STORY POLE HEIGHT	(E) GRADE	MSL	EXISTING GRADE	(P) GRADE	MSL	PROPOSED GRADE
SP #1	300.67	(ROOF)							
SP #2	302.50	(ROOF)							
SP #3	312.70	(ROOF)							
SP #4	312.70	(ROOF)							
SP #5	314.66	(ROOF)							
SP #6	312.70	(ROOF)							
SP #7	307.30	(RAILING)							
SP #8	305.00	(PLANTER)							
SP #9	305.00	(PLANTER)							
SP #10	305.00	(PLANTER)							
SP #11	302.50	(ROOF)							
SP #12	302.50	(ROOF)							
SP #13	305.00	(PLANTER)							
SP #14	312.70	(ROOF)							
SP #15	305.00	(RAILING)							
SP #16	312.70	(ROOF)							
SP #17	314.66	(ROOF)							
SP #18	305.00	(PLANTER)							
SP #19	305.00	(PLANTER)							
SP #20	305.00	(PLANTER)							
SP #21	305.00	(PLANTER)							
SP #22	305.00	(PLANTER)							
SP #23	305.00	(PLANTER)							
SP #24	305.00	(RAILING)							
SP #25	305.00	(RAILING)							
SP #26	312.70	(ROOF)							
SP #27	302.50	(ROOF)							
SP #28	302.50	(ROOF)							
SP #29	307.00	(ROOF)							
SP #30	305.00	(PLANTER)							
SP #31	305.00	(PLANTER)							
SP #32	305.00	(RAILING)							
SP #33	307.30	(RAILING)							
SP #34	305.00	(RAILING)							
SP #35	305.00	(RAILING)							
SP #36	305.00	(RAILING)							
SP #37	305.00	(RAILING)							

ELEVATION PLAN NOTES

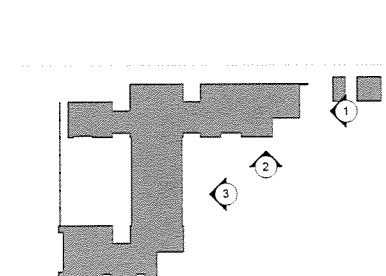
- CONTRACTOR TO VERIFY ALL LOCATION OF WALLS, WINDOWS, DOORS, ROOFS, AND ANY OTHER FEATURES SHOWN ON THE ELEVATIONS WITH THE FLOOR PLANS.
- HEIGHT CERTIFICATION REQUIREMENTS SHALL BE LOCATED ON THE TITLE SHEET, IF APPLICABLE.

PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	S.B.M.C. HEIGHT LIMIT
(E) GRADE, U.O.N.	GRID LINE
(X)	BLDG ELEV
AX X	BLDG SECT
X' - X'	SURFACE ELEV
(X)	KEYNOTE

KEYNOTES

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 851
CARDIFF BY THE SEA, CA 92007
WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4919



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS LAWS. DRAWINGS, IDEAS AND DESIGNED SKETCHES ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

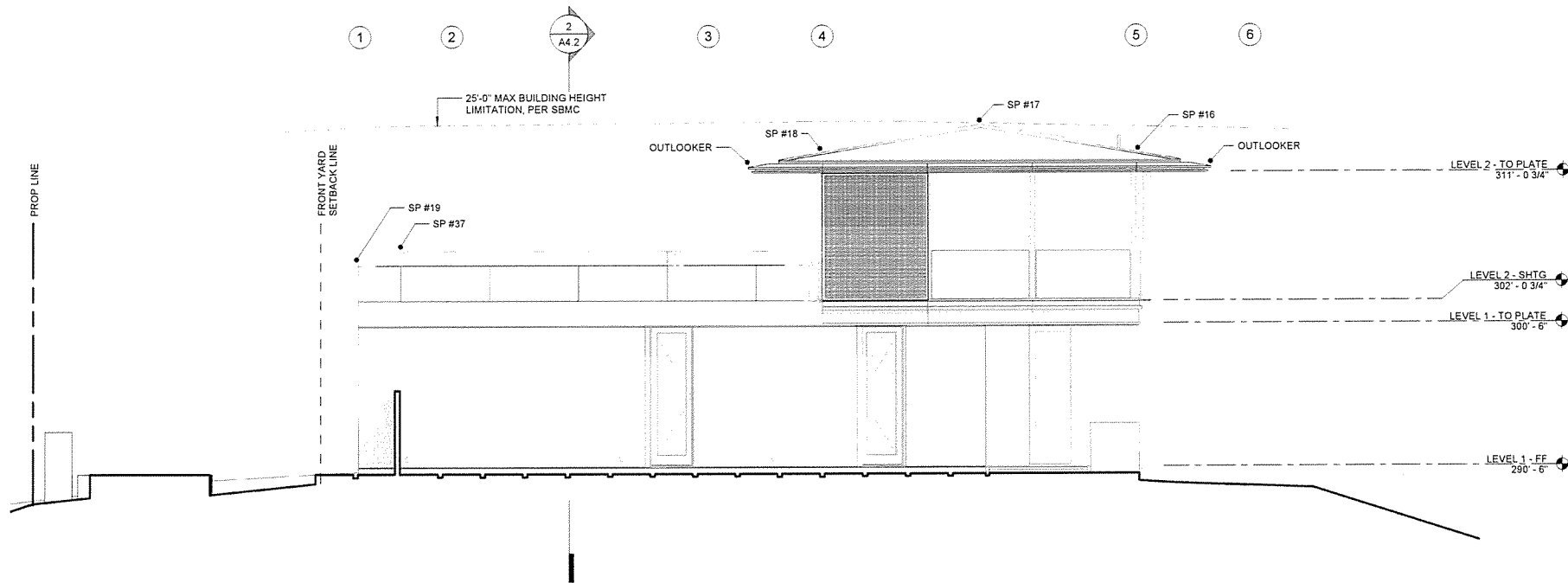
JOHANSEN

AP 07.23.2024

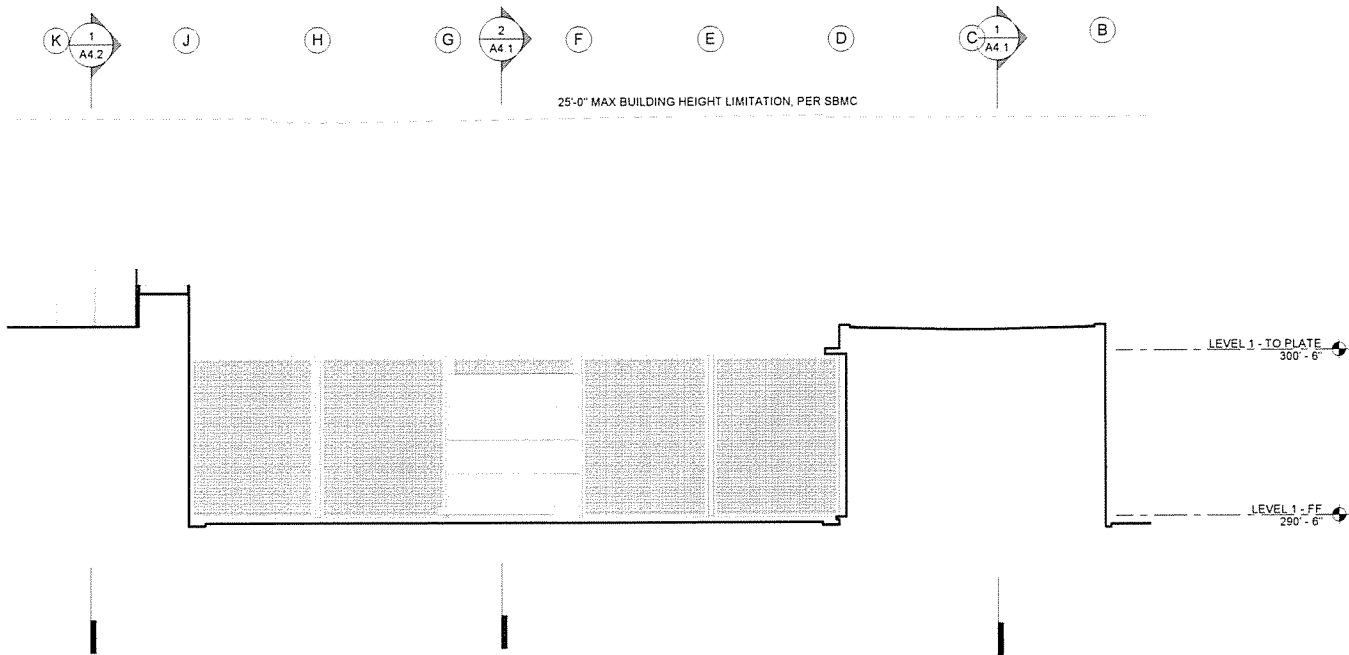
PROPOSED BUILDING ELEVATIONS

As indicated

A3.2



1 PROPOSED BUILDING ELEVATION - SOUTH B
SCALE 3/16" = 1'-0"



2 PROPOSED BUILDING ELEVATION - COURTYARD EAST
SCALE 3/16" = 1'-0"

STORY POLE

SP = STORY POLE
HEIGHT = MSL STORY POLE HEIGHT
(E) GRADE = MSL, EXISTING GRADE
(P) GRADE = MSL, PROPOSED GRADE

SP #1
HEIGHT 300.67 (ROOF)
(E) GRADE 289.80
(P) GRADE 289.80

SP #2
HEIGHT 302.50 (ROOF)
(E) GRADE 289.79
(P) GRADE 289.80

SP #3
HEIGHT 312.70 (ROOF)
(E) GRADE 289.71
(P) GRADE 289.80

SP #4
HEIGHT 312.70 (ROOF)
(E) GRADE 289.71
(P) GRADE 289.80

SP #5
HEIGHT 314.66 (ROOF)
(E) GRADE 289.65
(P) GRADE 289.80

SP #6
HEIGHT 312.70 (ROOF)
(E) GRADE 289.76
(P) GRADE 289.80

SP #7
HEIGHT 307.30 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.73
(P) GRADE 289.80

SP #8
HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)
(E) GRADE 289.73
(P) GRADE 289.80

SP #9
HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)
(E) GRADE 289.86
(P) GRADE 289.80

SP #10
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.20
(P) GRADE 289.30

SP #11
HEIGHT 302.50 (ROOF)
(E) GRADE 289.20
(P) GRADE 289.50

SP #12
HEIGHT 302.50 (ROOF)
(E) GRADE 289.81
(P) GRADE 289.50

SP #13
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.41
(P) GRADE 289.80

SP #14
HEIGHT 312.70 (ROOF)
(E) GRADE 289.86
(P) GRADE 289.80

SP #15
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.64
(P) GRADE 289.80

SP #16
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.82
(P) GRADE 289.80

SP #17
HEIGHT 314.66 (ROOF)
(E) GRADE 289.82
(P) GRADE 289.80

SP #18
HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.28
(P) GRADE 289.80

SP #19
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.74
(P) GRADE 289.80

SP #20
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.35
(P) GRADE 289.80

SP #21 (NOT USED)
SP #22 (NOT USED)
SP #23 (NOT USED)

SP #24
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.80
(P) GRADE 289.80

SP #25
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.70
(P) GRADE 289.80

SP #26
HEIGHT 312.70 (ROOF)
(E) GRADE 289.66
(P) GRADE 289.80

SP #27
HEIGHT 302.50 (ROOF)
(E) GRADE 289.70
(P) GRADE 289.80

SP #28
HEIGHT 297.00 (ROOF)
(E) GRADE 284.83
(P) GRADE 285.00

SP #29
HEIGHT 297.00 (ROOF)
(E) GRADE 284.81
(P) GRADE 285.00

SP #30
HEIGHT 297.00 (ROOF)
(E) GRADE 284.84
(P) GRADE 285.00

SP #31
HEIGHT 297.00 (ROOF)
(E) GRADE 284.85
(P) GRADE 284.50

SP #32
HEIGHT 307.30 (RAILING)
(E) GRADE 289.74
(P) GRADE 289.80

SP #33
HEIGHT 307.30 (RAILING)
(E) GRADE 289.97
(P) GRADE 289.80

SP #34
HEIGHT 305.00 (RAILING)
(E) GRADE 289.62
(P) GRADE 289.80

SP #35
HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)
(E) GRADE 289.64
(P) GRADE 289.80

SP #36
HEIGHT 305.00 (RAILING)
(E) GRADE 289.35
(P) GRADE 289.50

SP #37
HEIGHT 305.00 (RAILING)
(E) GRADE 289.67
(P) GRADE 289.50

ELEVATION PLAN NOTES

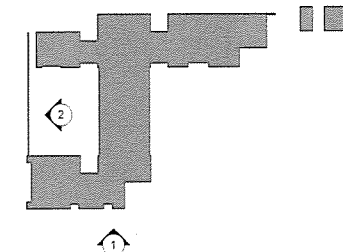
- CONTRACTOR TO VERIFY ALL LOCATION OF WALLS, WINDOWS, DOORS, ROOFS, AND ANY OTHER FEATURES SHOWN ON THE ELEVATIONS WITH THE FLOOR PLANS
- HEIGHT CERTIFICATION REQUIREMENTS SHALL BE LOCATED ON THE TITLE SHEET, IF APPLICABLE

PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	S.B.M.C HEIGHT LIMIT
(E) GRADE, U.O.N.	
(X)	GRID LINE
AX.X X	BLDG ELEV
X	BLDG SECT
X' - X'	SURFACE ELEV
X	KEYNOTE

KEYNOTES

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007
WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4015



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS LAWS. DRAWINGS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

AP 07/23/2024

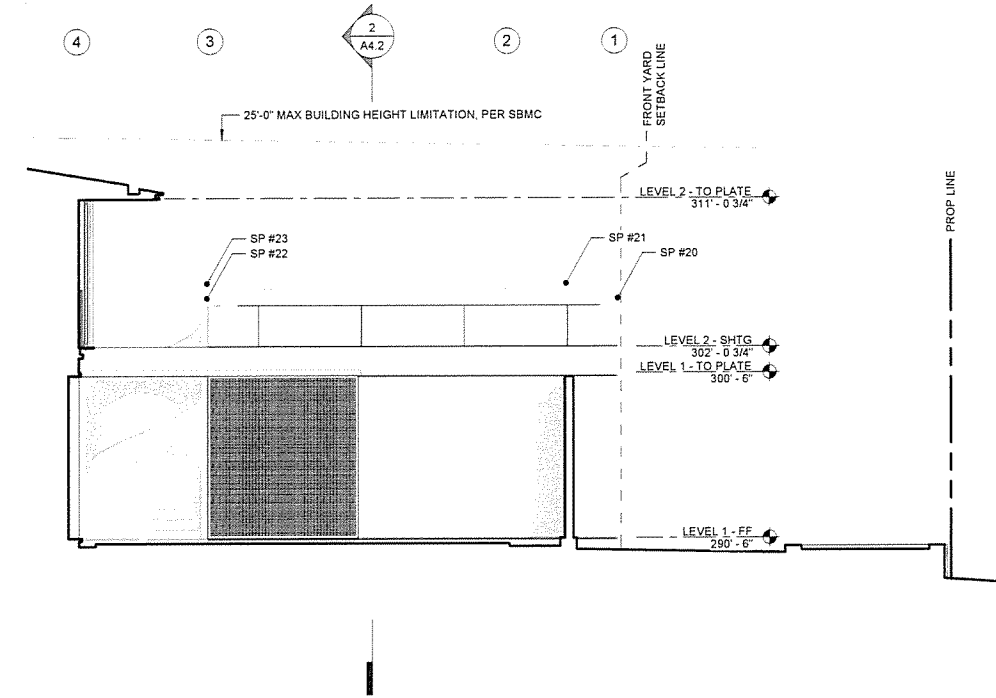
PROPOSED
BUILDING
ELEVATIONS

As indicated

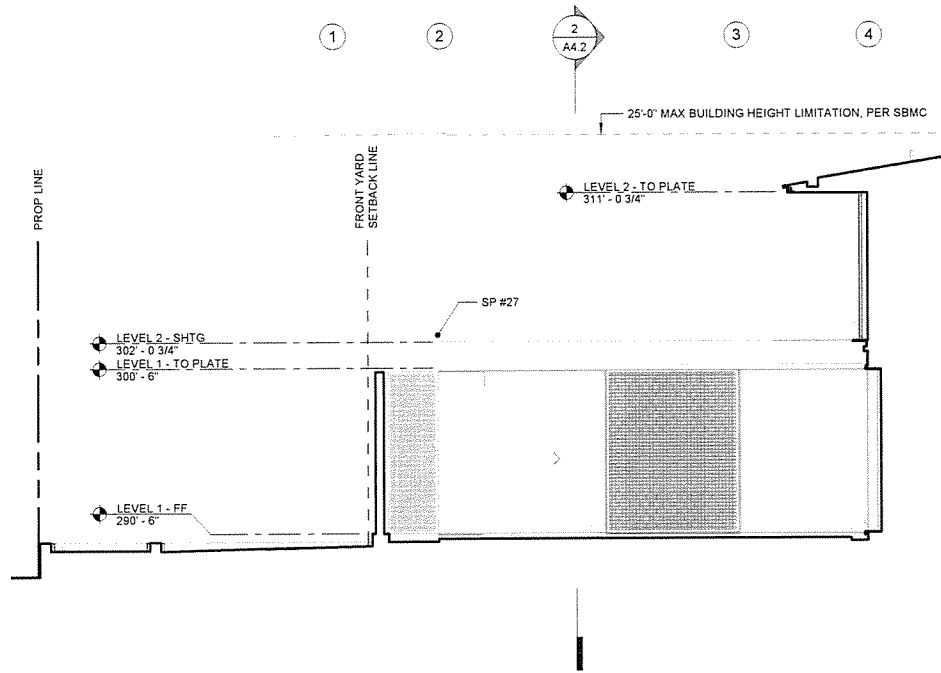
A3.3

3/31/2025 10:55:02 AM

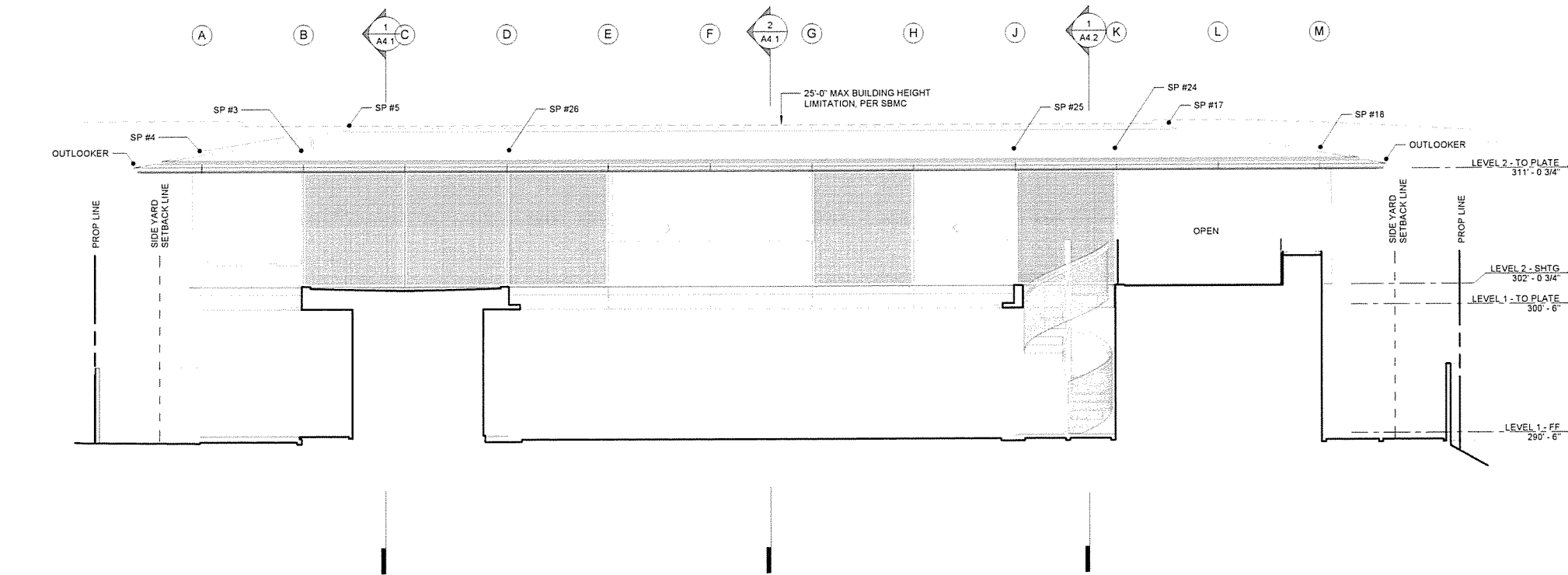
1 PROPOSED BUILDING ELEVATION - COURTYARD NORTH
SCALE 3/16" = 1'-0"



2 PROPOSED BUILDING ELEVATION - COURTYARD SOUTH
SCALE 3/16" = 1'-0"



3 PROPOSED BUILDING ELEVATION - COUTYARD WEST
SCALE 3/16" = 1'-0"



STORY POLE

SP = STORY POLE
HEIGHT = H.S. STORY POLE HEIGHT
(E) GRADE = M.S. EXISTING GRADE
(P) GRADE = M.S. PROPOSED GRADE

SP #1	HEIGHT 300.67 (ROOF)
(E) GRADE 289.80	(P) GRADE 289.80
SP #2	HEIGHT 302.50 (ROOF)
(E) GRADE 289.79	(P) GRADE 289.80
SP #3	HEIGHT 312.70 (ROOF)
(E) GRADE 289.71	(P) GRADE 289.80
SP #4	HEIGHT 312.70 (ROOF)
(E) GRADE 289.71	(P) GRADE 289.80
SP #5	HEIGHT 314.66 (ROOF)
(E) GRADE 289.66	(P) GRADE 289.80
SP #6	HEIGHT 312.70 (ROOF)
(E) GRADE 289.76	(P) GRADE 289.80
SP #7	HEIGHT 307.30 (RAILING)
HEIGHT 312.70 (ROOF)	(E) GRADE 289.73
(P) GRADE 289.80	
SP #8	HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)	(E) GRADE 289.73
(P) GRADE 289.80	
SP #9	HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)	(E) GRADE 289.80
(P) GRADE 289.80	
SP #10	HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)	(E) GRADE 289.80
(P) GRADE 289.80	
SP #11	HEIGHT 302.50 (ROOF)
(E) GRADE 289.80	(P) GRADE 289.80
SP #12	HEIGHT 302.50 (ROOF)
(E) GRADE 289.80	(P) GRADE 289.80
SP #13	HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)	(E) GRADE 289.80
(P) GRADE 289.80	
SP #14	HEIGHT 312.70 (ROOF)
(E) GRADE 289.66	(P) GRADE 289.80
SP #15	HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)	(E) GRADE 289.66
(P) GRADE 289.80	
SP #16	HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)	(E) GRADE 289.66
(P) GRADE 289.80	
SP #17	HEIGHT 314.66 (ROOF)
(E) GRADE 289.82	(P) GRADE 289.80
SP #18	HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)	(E) GRADE 289.80
HEIGHT 312.70 (ROOF)	(E) GRADE 289.80
(P) GRADE 289.80	
SP #19	HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)	(E) GRADE 289.74
(P) GRADE 289.80	
SP #20	HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)	(E) GRADE 289.80
(P) GRADE 289.80	
SP #21 (NOT USED)	
SP #22 (NOT USED)	
SP #23 (NOT USED)	
SP #24	HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)	(E) GRADE 289.80
(P) GRADE 289.80	
SP #25	HEIGHT 312.70 (ROOF)
(E) GRADE 289.70	(P) GRADE 289.80
SP #26	HEIGHT 302.50 (ROOF)
(E) GRADE 289.70	(P) GRADE 289.80
SP #27	HEIGHT 297.00 (ROOF)
(E) GRADE 284.83	(P) GRADE 285.00
SP #28	HEIGHT 297.00 (ROOF)
(E) GRADE 284.83	(P) GRADE 285.00
SP #29	HEIGHT 297.00 (ROOF)
(E) GRADE 284.83	(P) GRADE 285.00
SP #30	HEIGHT 297.00 (ROOF)
(E) GRADE 284.83	(P) GRADE 285.00
SP #31	HEIGHT 297.00 (ROOF)
(E) GRADE 284.83	(P) GRADE 285.00
SP #32	HEIGHT 307.30 (RAILING)
(E) GRADE 289.74	(P) GRADE 289.80
SP #33	HEIGHT 307.30 (RAILING)
(E) GRADE 289.97	(P) GRADE 289.80
SP #34	HEIGHT 305.00 (RAILING)
(E) GRADE 289.62	(P) GRADE 289.80
SP #35	HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)	(E) GRADE 289.62
(P) GRADE 289.80	
SP #36	HEIGHT 305.00 (RAILING)
(E) GRADE 289.75	(P) GRADE 289.80
SP #37	HEIGHT 305.00 (RAILING)
(E) GRADE 289.67	(P) GRADE 289.80

ELEVATION PLAN NOTES

- CONTRACTOR TO VERIFY ALL LOCATION OF WALLS, WINDOWS, DOORS, ROOFS, AND ANY OTHER FEATURES SHOWN ON THE ELEVATIONS WITH THE FLOOR PLANS
- HEIGHT CERTIFICATION REQUIREMENTS SHALL BE LOCATED ON THE TITLE SHEET, IF APPLICABLE

PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	S.B.M.C. HEIGHT LIMIT
(E) GRADE, U.O.N.	
(X)	GRID LINE
(AX X) X	BLDG ELEV
(X) X	BLDG SECT
X' - X'	SURFACE ELEV
(X)	KEYNOTE

KEYNOTES

ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. DRAWINGS, IDEAS AND DESIGNED SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

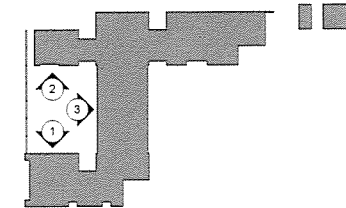
AP 07.23.2024

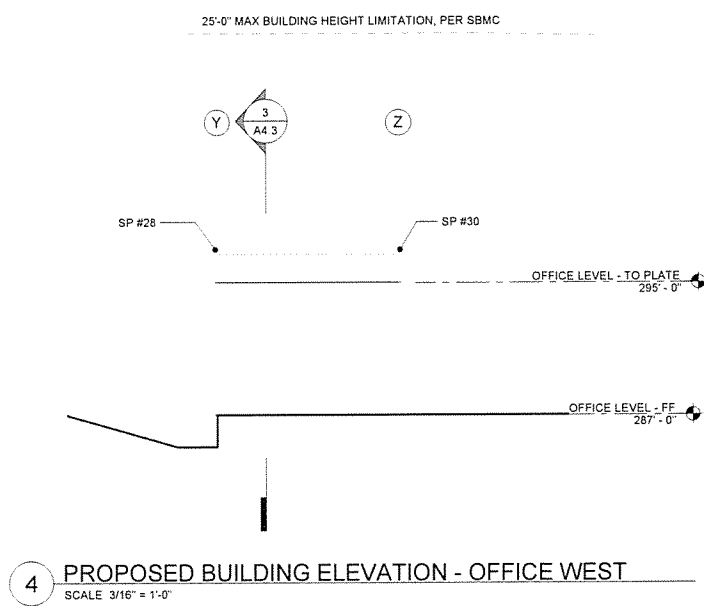
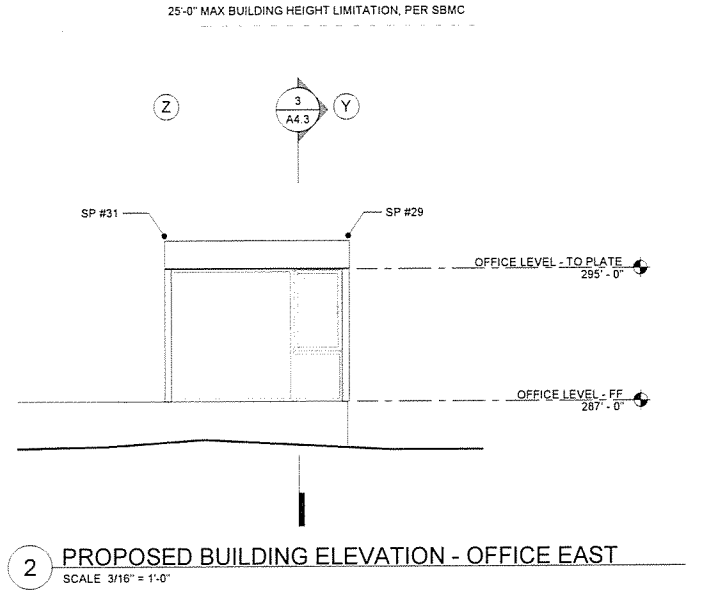
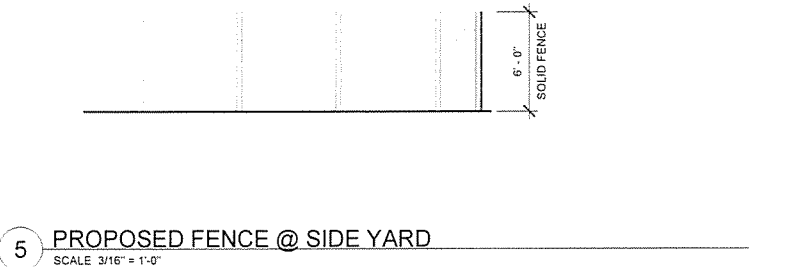
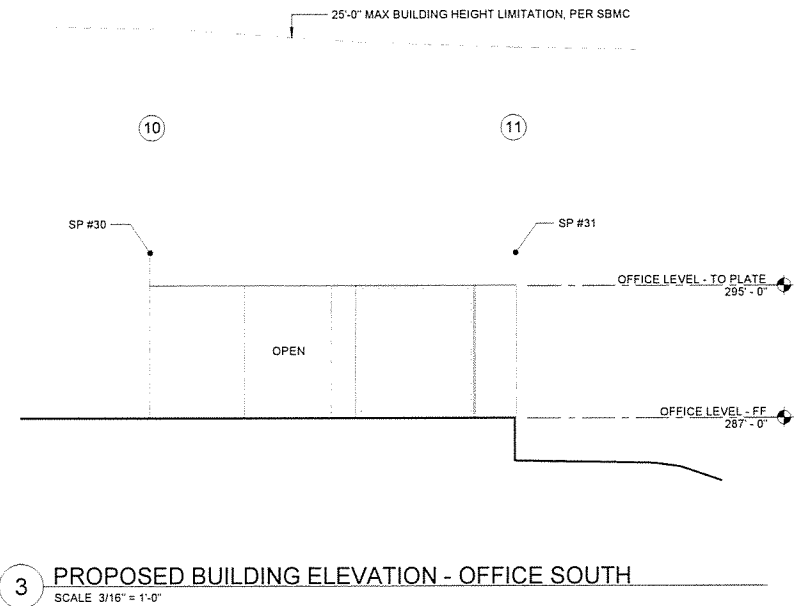
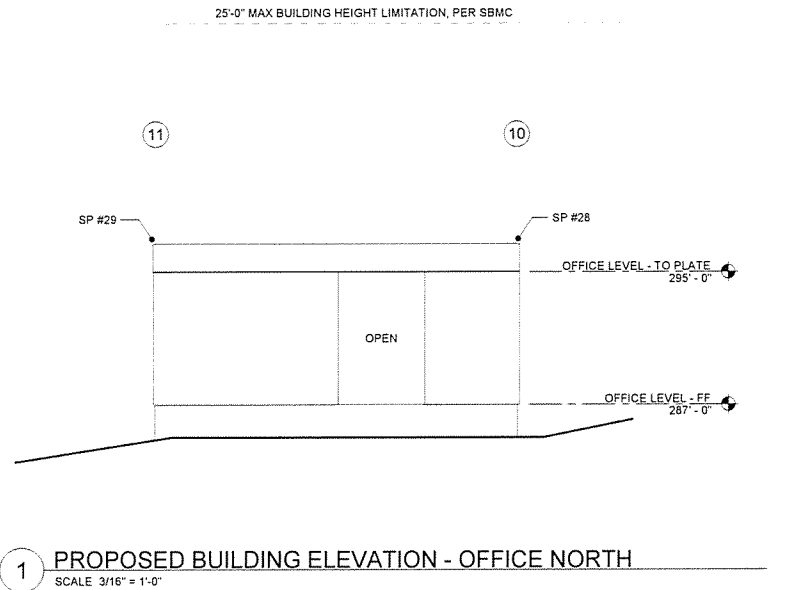
PROPOSED
BUILDING
ELEVATIONS

As indicated

A3.4

SITE PLAN KEY





STORY POLE

SP = STORY POLE
HEIGHT = MSL STORY POLE HEIGHT
(E) GRADE = MSL EXISTING GRADE
(P) GRADE = MSL PROPOSED GRADE

SP #1
HEIGHT 300.67 (ROOF)
(E) GRADE 289.86
(P) GRADE 289.80

SP #2
HEIGHT 302.50 (ROOF)
(E) GRADE 289.79
(P) GRADE 289.80

SP #3
HEIGHT 312.70 (ROOF)
(E) GRADE 289.50
(P) GRADE 289.80

SP #4
HEIGHT 312.70 (ROOF)
(E) GRADE 289.71
(P) GRADE 289.80

SP #5
HEIGHT 314.65 (ROOF)
(E) GRADE 289.85
(P) GRADE 289.80

SP #6
HEIGHT 312.70 (ROOF)
(E) GRADE 289.76
(P) GRADE 289.80

SP #7
HEIGHT 307.30 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.73
(P) GRADE 289.80

SP #8
HEIGHT 305.00 (PLANTER)
HEIGHT 307.30 (RAILING)
(E) GRADE 289.73
(P) GRADE 289.80

SP #9
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.85
(P) GRADE 289.80

SP #10
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.20
(P) GRADE 289.30

SP #11
HEIGHT 302.50 (ROOF)
(E) GRADE 289.20
(P) GRADE 289.50

SP #12
HEIGHT 302.50 (ROOF)
(E) GRADE 284.87
(P) GRADE 289.50

SP #13
HEIGHT 305.00 (PLANTER)
(E) GRADE 293.41
(P) GRADE 289.80

SP #14
HEIGHT 312.70 (ROOF)
(E) GRADE 289.65
(P) GRADE 289.80

SP #15
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.64
(P) GRADE 289.80

SP #16
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.82
(P) GRADE 289.80

SP #17
HEIGHT 314.65 (ROOF)
(E) GRADE 289.82
(P) GRADE 289.80

SP #18
HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 293.31
(P) GRADE 289.80

SP #19
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.74
(P) GRADE 289.80

SP #20
HEIGHT 305.00 (PLANTER)
(E) GRADE 289.35
(P) GRADE 289.80

SP #21 (NOT USED)
SP #22 (NOT USED)
SP #23 (NOT USED)

SP #24
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.80
(P) GRADE 289.80

SP #25
HEIGHT 305.00 (RAILING)
HEIGHT 312.70 (ROOF)
(E) GRADE 289.70
(P) GRADE 289.80

SP #26
HEIGHT 312.70 (ROOF)
(E) GRADE 289.55
(P) GRADE 289.80

SP #27
HEIGHT 302.50 (ROOF)
(E) GRADE 289.70
(P) GRADE 289.80

SP #28
HEIGHT 297.00 (ROOF)
(E) GRADE 284.83
(P) GRADE 285.00

SP #29
HEIGHT 297.00 (ROOF)
(E) GRADE 284.81
(P) GRADE 285.00

SP #30
HEIGHT 297.00 (ROOF)
(E) GRADE 284.82
(P) GRADE 285.60

SP #31
HEIGHT 297.00 (ROOF)
(E) GRADE 284.49
(P) GRADE 284.50

SP #32
HEIGHT 307.30 (RAILING)
(E) GRADE 289.74
(P) GRADE 289.80

SP #33
HEIGHT 307.30 (RAILING)
(E) GRADE 288.07
(P) GRADE 289.80

SP #34
HEIGHT 305.00 (RAILING)
(E) GRADE 289.62
(P) GRADE 289.60

SP #35
HEIGHT 305.00 (PLANTER)
HEIGHT 305.00 (RAILING)
(E) GRADE 289.60
(P) GRADE 289.80

SP #36
HEIGHT 305.00 (RAILING)
(E) GRADE 289.35
(P) GRADE 289.50

SP #37
HEIGHT 305.00 (RAILING)
(E) GRADE 289.07
(P) GRADE 289.50

ELEVATION PLAN NOTES

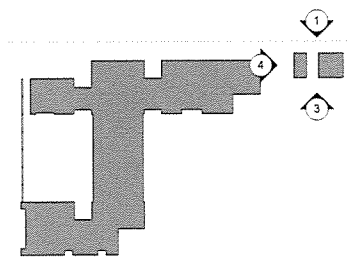
- CONTRACTOR TO VERIFY ALL LOCATION OF WALLS, WINDOWS, DOORS, ROOFS, AND ANY OTHER FEATURES SHOWN ON THE ELEVATIONS WITH THE FLOOR PLANS
- HEIGHT CERTIFICATION REQUIREMENTS SHALL BE LOCATED ON THE TITLE SHEET, IF APPLICABLE

PLAN LEGEND

- PROPERTY LINE
----- SETBACK LINE
----- S.B.M.C HEIGHT LIMIT
(E) GRADE, U.O.N.
X GRID LINE
AX.X BLDG ELEV
X BLDG SECT
X'-X" SURFACE ELEV
X KEYNOTE

KEYNOTES

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007
WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHT LAWS. DRAWINGS, IDEAS AND DESIGNED SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO INC. AND WILL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO INC. ALL UNAUTHORIZED USE OF THESE PLANS OTHER THAN FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

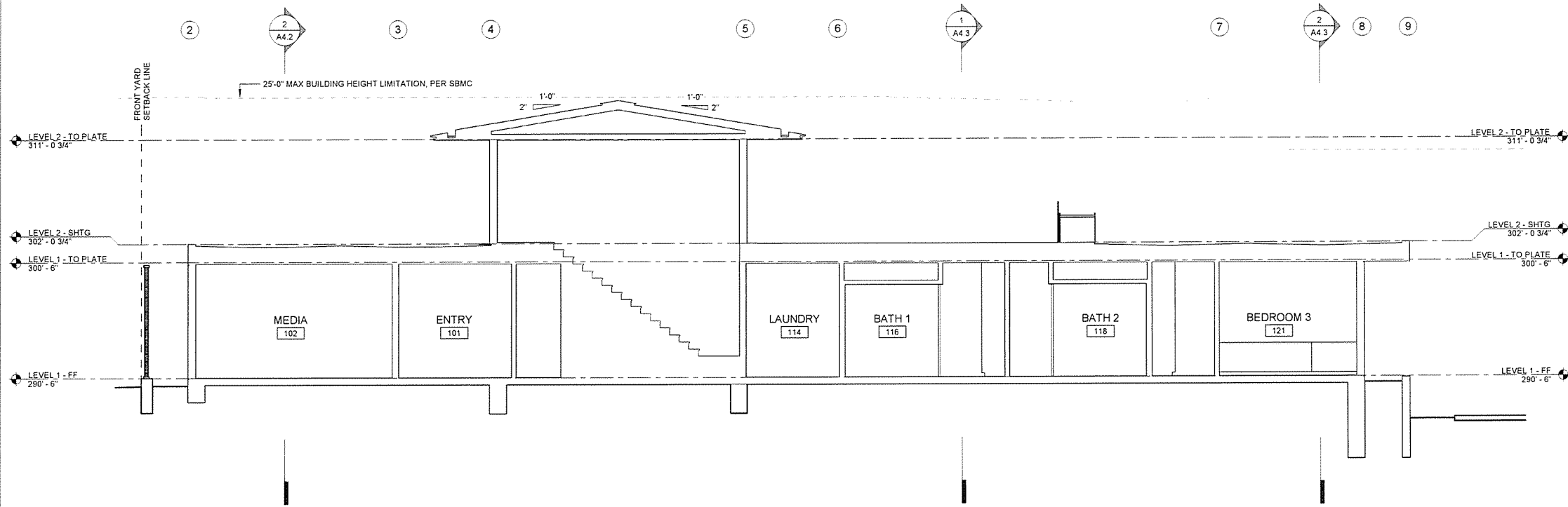
AP 07 23 2024

PROPOSED
BUILDING
ELEVATIONS

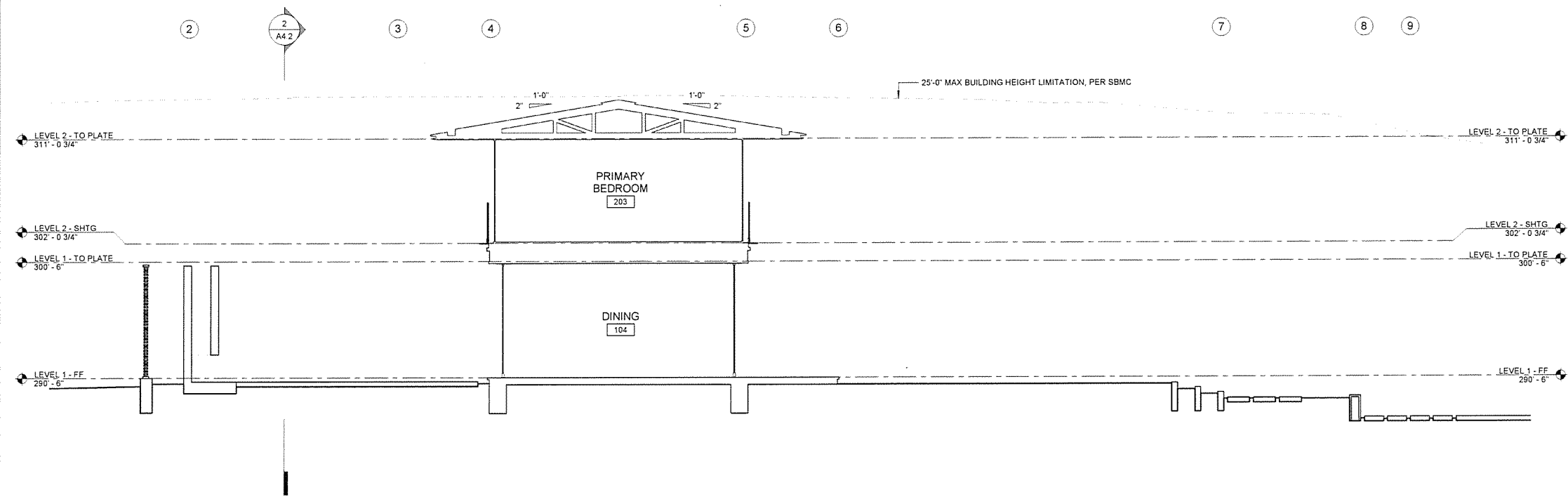
As indicated

A3.5

7/23/2024 10:44:42 AM



1 PROPOSED BUILDING SECTION - TRANSVERSE BB
SCALE 3/16" = 1'-0"



2 PROPOSED BUILDING SECTION - TRANSVERSE DD
SCALE 3/16" = 1'-0"

ELEVATION PLAN NOTES

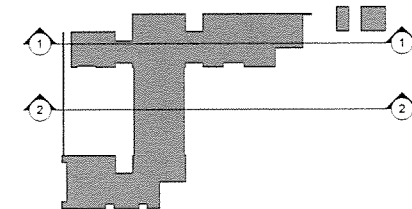
1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL CONFIRM ALL UTILITY LOCATIONS ON SITE.

PLAN LEGEND

	PROPERTY LINE
	SETBACK LINE
	S.B.M.C. HEIGHT LIMIT
	(E) GRADE, U.O.N.
	GRID LINE
	BLDG ELEV
	BLDG SECT
	SURFACE ELEV
	KEYNOTE
	WALL, 2x4 FRAMING, U.O.N.
	WALL, 2x6 FRAMING, U.O.N.
	CAST-IN-PLACE CONCRETE, U.O.N.

KEYNOTES

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 851
CARDIFF BY THE SEA, CA 92007

WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ALEC PETROS STUDIO, INC. AND SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF ALEC PETROS STUDIO, INC. ANY UNAUTHORIZED USE OF THESE PLANS OR OTHERS SHALL BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK	DATE	DESCRIPTION
------	------	-------------

DRP22-01, SDP22-019

JOHANSEN

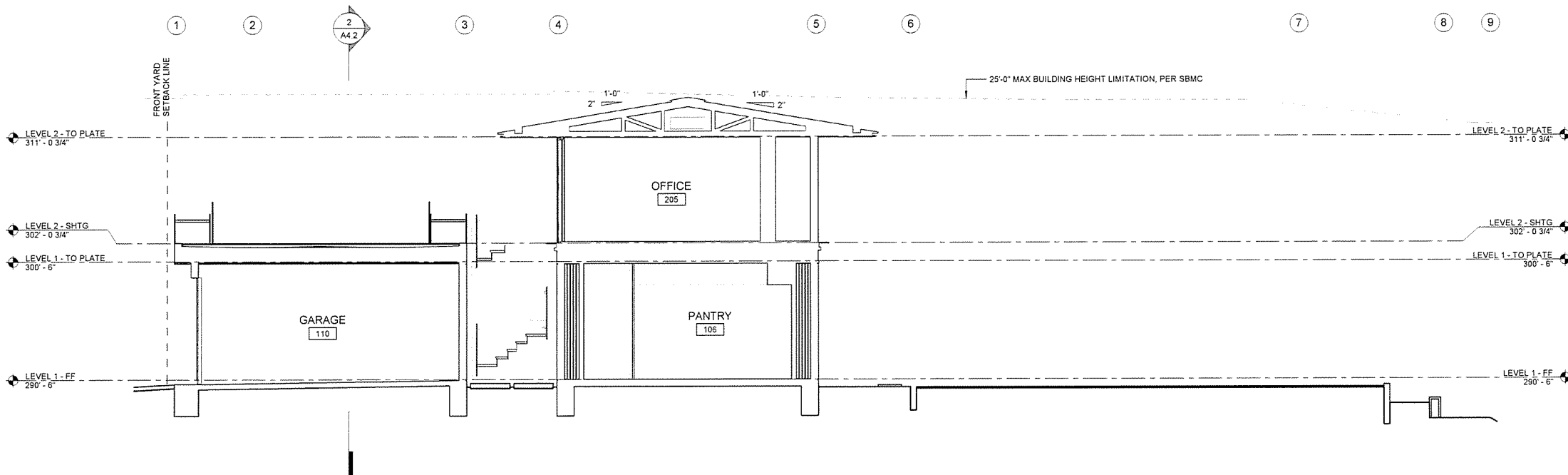
AP 07.23.2024

PROPOSED
BUILDING
SECTIONS

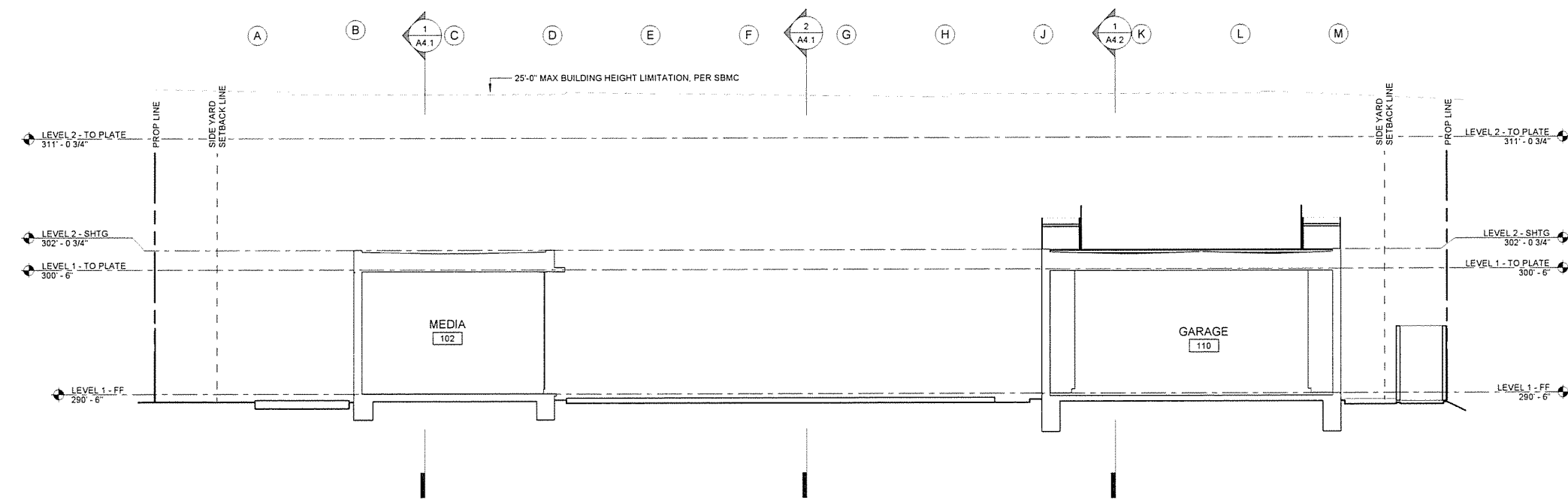
As indicated

A4.1

7/23/2024 10:44:47 AM



1 PROPOSED BUILDING SECTION - TRANSVERSE FF
SCALE 3/16" = 1'-0"



2 PROPOSED BUILDING SECTION - LONGDITUDINAL AA
SCALE 3/16" = 1'-0"



ELEVATION PLAN NOTES

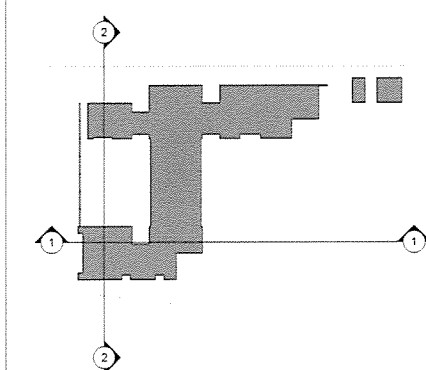
1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL CONFIRM ALL UTILITY LOCATIONS ON SITE.

PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- S B M C HEIGHT LIMIT
- (E) GRADE, U O N
- GRID LINE
- AX.X X BLDG ELEV
- X' - X' SURFACE ELEV
- WALL, 2x4 FRAMING, U O N
- WALL, 2x6 FRAMING, U O N
- CAST-IN-PLACE CONCRETE, U O N
- X BLDG SECT
- AX.X
- X KEYNOTE

KEYNOTES

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 851
CARDIFF BY THE SEA, CA 92007
WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE
COMMON LAW COPYRIGHT AND OTHER PROPERTY
RIGHT LAWS. DRAWINGS, IDEAS, AND DESIGNED
SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE
PROPERTY OF ALEC PETROS STUDIO, INC. AND WILL
NOT BE REPRODUCED WITHOUT THE WRITTEN
CONSENT OF ALEC PETROS STUDIO, INC. ALL
UNAUTHORIZED USE OF THESE PLANS OTHER THAN
FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL
BE PROHIBITED IN WHOLE OR IN PART.

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

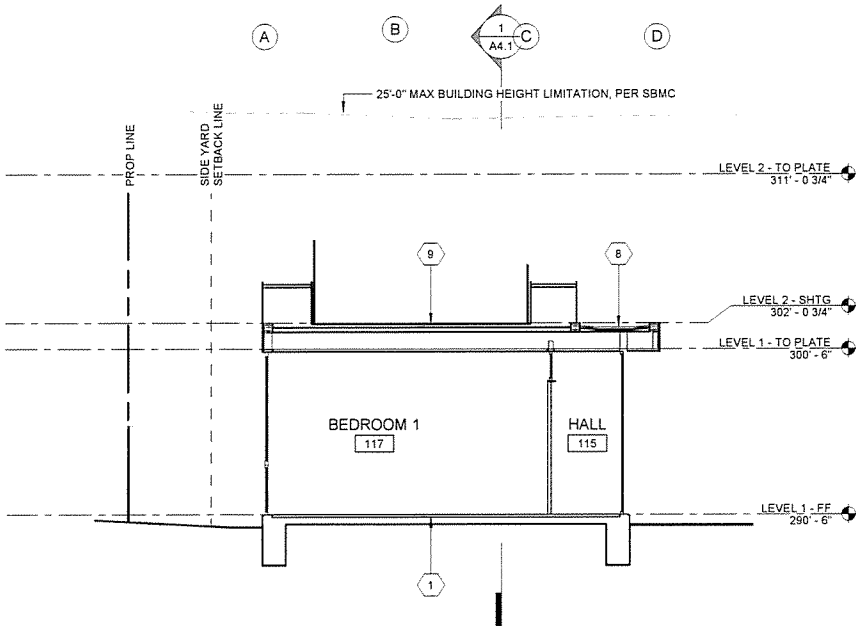
JOHANSEN

AP 07/23/2024

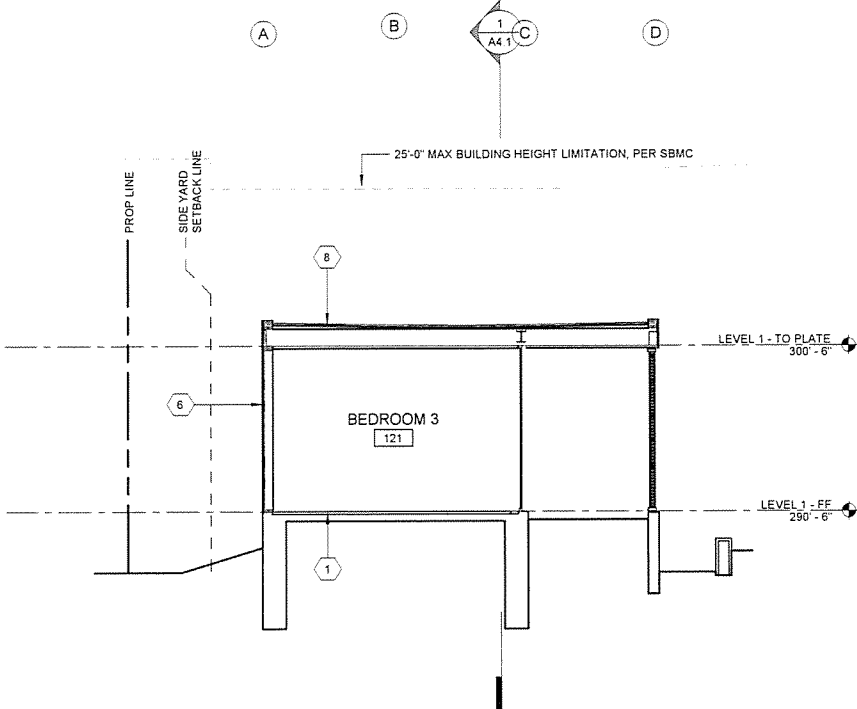
PROPOSED
BUILDING
SECTIONS

As indicated

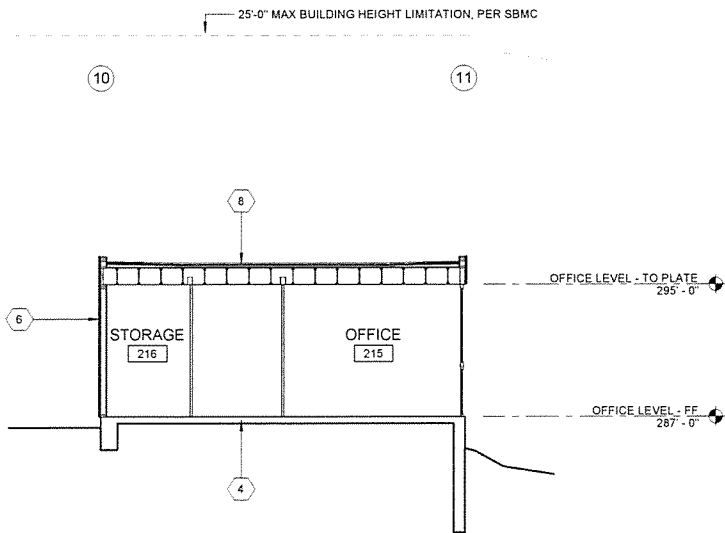
A4.2



1 PROPOSED BUILDING SECTION - LONGDITUDINAL EE
SCALE 3/16" = 1'-0"



2 PROPOSED BUILDING SECTION - LONGDITUDINAL FF
SCALE 3/16" = 1'-0"



3 PROPOSED BUILDING SECTION - LONGDITUDINAL GG (OFFICE)
SCALE 3/16" = 1'-0"

ELEVATION PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED

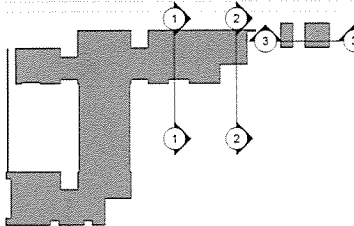
PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	S.B.M.C. HEIGHT LIMIT
(E) GRADE, U.O.N.	
(X)	GRID LINE
(X) AX.X	WALL SECT
(X) AX.X	BLDG SECT
X'-X"	SURFACE ELEV
(X)	KEYNOTE

KEYNOTES

- FLOOR ASSEMBLY - LEVEL 1**
2" LIGHT WEIGHT CONC FINISH FLOOR, OVER
SLAB ON GRADE PER STRUCT, OVER
MOISTURE/VAPOR BARRIER PER GEO TECH, OVER
SAND/GRAVEL LAYOUT PER GEO TECH, OVER
COMPACTED EARTH PER GEO TECH
- FLOOR ASSEMBLY - LEVEL 1 BATH**
FINISH SURFACE W/ SUB-LAYERS PER INTERIORS, OVER
WATERPROOF MEMBRANE PER CONTRACTOR, OVER
SLAB ON GRADE PER STRUCT, OVER
MOISTURE/VAPOR PER GEO TECH, OVER
SAND/GRAVEL LAYOUT PER GEO TECH, OVER
COMPACTED EARTH PER GEO TECH
- FLOOR ASSEMBLY - LEVEL 1 GARAGE**
SLAB ON GRADE PER STRUCT, W/ SLOPE PER PLAN, OVER
MOISTURE/VAPOR PER GEO TECH, OVER
SAND/GRAVEL LAYOUT PER GEO TECH, OVER
COMPACTED EARTH PER GEO TECH
- FLOOR ASSEMBLY - OFFICE**
SLAB ON GRADE PER STRUCT, OVER
MOISTURE/VAPOR BARRIER PER GEO TECH, OVER
SAND/GRAVEL LAYOUT PER GEO TECH, OVER
COMPACTED EARTH PER GEO TECH
- FLOOR ASSEMBLY - LEVEL 2**
FINISH FLOOR W/ SUB-LAYERS PER INTERIORS, OVER
SOUND DAMPENING LAYOUT, OVER
SHTG PER STRUCT, OVER
TJI FLOOR FRAMING PER STRUCT, WITH
FLOOR INSULATION, OVER
FURRING LAYER, AS REQ'D, OVER
INTERIOR CEILING FINISH PER INTERIORS
- EXTERIOR WALL ASSEMBLY - LEVEL 1**
STUCCO SIDING PER ELEVS, OVER
WATERPROOF MEMBRANE PER CONTRACTOR, OVER
SHTG PER STRUCT, OVER
2X6 WALL FRAMING PER STRUCT, WITH
WALL INSULATION PER TITLE 24, OVER
INTERIOR WALL FINISH PER INTERIORS
- EXTERIOR WALL ASSEMBLY - LEVEL 2**
WOOD SIDING PER ELEVS, OVER
WATERPROOF MEMBRANE PER CONTRACTOR, OVER
SHTG PER STRUCT, OVER
2X6 WALL FRAMING PER STRUCT, WITH
WALL INSULATION PER TITLE 24, OVER
INTERIOR WALL FINISH PER INTERIORS
- ROOF ASSEMBLY - LEVEL 1**
CLASS 'A' ROOFING MATERIAL PER ROOF PLAN, WITH
GRAVEL LAYER COVERING ROOFING SURFACE, OVER
UNDERLAYMENT PER ROOF MFG, OVER
WATERPROOF MEMBRANE PER CONTRACTOR, OVER
BUILT-UP ROOF FRAMING SLOPED TO DRAIN, OVER
ROOF SHEATHING PER STRUCT, OVER
TJI ROOF JOISTS PER STRUCT, WITH
ROOF INSULATION PER TITLE 24, OVER
FURRING LAYER, AS REQ'D, OVER
INTERIOR CEILING FINISH PER INTERIORS
- ROOF ASSEMBLY - LEVEL 2 DECK**
FLUSH TILE FINISH SURFACE, ATTACHED TO
PEDESTAL SYSTEM FASTENED PER MFG SPECS, OVER
DEK-O-TEXT DECKING & WATERPROOF SYSTEM, OVER
BUILT-UP ROOF FRAMING SLOPED TO DRAIN, OVER
ROOF SHEATHING PER STRUCT, OVER
TJI ROOF JOISTS PER STRUCT, WITH
ROOF INSULATION PER TITLE 24, OVER
FURRING LAYER, AS REQ'D, OVER
INTERIOR CEILING FINISH PER INTERIORS
- ROOF ASSEMBLY**
CLASS 'A' ROOFING MATERIAL PER ROOF PLAN, OVER
UNDERLAYMENT PER ROOF MFG, OVER
WATERPROOF MEMBRANE PER CONTRACTOR, OVER
ROOF SHEATHING PER STRUCT, OVER
ROOF FRAMING PER STRUCT, WITH
ROOF INSULATION PER TITLE 24, OVER
INTERIOR CEILING FINISH PER INTERIORS

SITE PLAN KEY



ALEC PETROS STUDIO

WILLIAM ALEC PETROS
ALEC PETROS STUDIO, INC.
PO BOX 861
CARDIFF BY THE SEA, CA 92007
WWW.ALECPETROS.COM
INFO@ALECPETROS.COM
+1 760 415 4019



ALL DRAWINGS SHALL BE PROTECTED UNDER THE
COMMON LAW COPYRIGHT AND OTHER PROPERTY
RIGHT LAWS. DRAWINGS, IDEAS AND DESIGNED
SHOWN ON THESE DRAWINGS ARE THE EXCLUSIVE
PROPERTY OF ALEC PETROS STUDIO INC. AND WILL
NOT BE REPRODUCED WITHOUT THE WRITTEN
CONSENT OF ALEC PETROS STUDIO INC. ALL
UNAUTHORIZED USE OF THESE PLANS OTHER THAN
FOR THE SPECIFIED PROJECT AND LOCATIONS SHALL
BE PROHIBITED IN WHOLE OR IN PART

JOHANSEN RESIDENCE

448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

MARK DATE DESCRIPTION

DRP22-01, SDP22-019

JOHANSEN

AP 07.23.2024

PROPOSED
BUILDING
SECTIONS

As indicated

A4.3

1. CONTRACTOR TO PROVIDE BASIC SURVEY OF ELEVATIONS TO ENSURE THAT ALL GRADING AND CONSTRUCTION MAY PROCEED AS PLANNED.
2. IN ADDITION, CONTRACTOR TO PROVIDE FILL SOIL MATERIAL AS NEEDED TO FILL IN AROUND HARDSCAPE AND IN ORDER TO FILL IN UNEVEN TERRAIN, SWALES (IF ABANDONED) AND LOW AREAS.
3. CONTRACTOR TO PROVIDE OWNER WITH APPROXIMATE COST ESTIMATE OF FILL REQUIRED TO ACHIEVE SMOOTH AND EVEN GRADES THROUGHOUT PROJECT AREA.
4. CONTRACTOR TO REMOVE ALL DEBRIS, ROCK AND COBBLE FROM SITE UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR TO DEMO AND REMOVE ALL CONCRETE UNLESS CONCRETE IS INDICATED TO REMAIN (PER PLAN).
6. NOTE: LANDSCAPE CONTRACTOR TO WARRANTY ALL WORK IN THE FIELD RELATED TO GRADING AND DRAINAGE FOR A PERIOD OF ONE YEAR AFTER FINAL PAYMENT BY CLIENT.
7. SLABS, WALKS, AND PATIOS WILL HAVE POSITIVE SURFACE DRAINAGE SO NO PUDDLING OF WATER WILL OCCUR (MIN 1% SLOPE).
8. LAWNS AND PLANTER BEDS WILL HAVE POSITIVE SURFACE DRAINAGE SO NO PUDDLING OF WATER WILL OCCUR (MIN 2% SLOPE).
9. CATCH BASINS IN PATIOS TO BE A MINIMUM OF 3" IN DIAMETER WITH BRASS GRATE U.N.O.
10. ROOF DOWN SPOUTS ARE TO BE CONNECTED TO UNDERGROUND DRAINAGE SYSTEM WITH ADAPTERS OR DAYLIGHT INTO SURFACE CATCH BASIN WHERE LEAF LITTER MAY CLOG GUTTER SYSTEM.
11. UNDERGROUND PIPE TO BE A MINIMUM OF 3" IN DIAMETER S.D.R. RIGID CONDUIT WITH A MINIMUM SLOPE OF 1%.
12. PROVIDE CURB CORE PER PLAN, IF REQUIRED.
13. RETAINING WALLS ABOVE THREE COURSES (WITH SURCHARGE) TO INCLUDE A FRENCH DRAIN SYSTEM WHICH CONFORMS TO SAN DIEGO COUNTY SPECIFICATIONS.
14. FINISH GRADES OF PLANTER BEDS AND LAWNS TO BE APPROXIMATELY 2" BELOW FINISH GRADE OF ADJACENT CONCRETE WALKS AND PATIOS.
15. LAWNS AND PLANTER BEDS TO RECEIVE SILT LOAM TO A DEPTH INDICATED ON PLANS AND/OR TO MEET FINISH GRADING REQUIREMENTS.
16. RAISED CONCRETE PATIOS AND SLABS TO RECEIVE D.G FILL MATERIAL COMPACTED TO A RELATIVE FACTOR OF 95%.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
18. NOT TO CONTRACTOR: THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS TO NOT PROVIDE DETAILED SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS.

MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER. THE CONTRACTOR IS TO BEAR FULL RESPONSIBILITY FOR UNAUTHORIZED CHANGES TO PLANS, SPECIFICATIONS OR CONTRACT PROVIDED BY OWNER/CLIENT WITHOUT THE WRITTEN PERMISSION OF THE OWNER/ CLIENT.

REPORT ANY DISCREPANCIES OR QUESTIONS TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION OF WORK. LANDSCAPE ARCHITECT, RLA 6311, MAY BE REACHED AT: 805.252.7012.

3. ALL NOTES LISTED BELOW ARE APPLICABLE UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS.
4. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE ONLY BY OWNER APPROVED ADDENDA OR CHANGE ORDER.
5. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS, ELEVATIONS, FLOW LINES AND POINTS OF CONNECTION WITH ADJACENT PROPERTIES; AND DISCREPANCIES SHALL BE CALLED TO THE LANDSCAPE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
6. ALL DIMENSIONS ON PLANS PREVAIL OVER SCALE.
7. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA PRIOR TO EXCAVATION. CONTACT DIG ALERT AT 811 AT LEAST 72 HOURS PRIOR TO AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF EXISTING UTILITIES AND PAVEMENT WITH IN THE AREA OF THE WORK WHETHER INDICATED ON THE DRAWINGS OR NOT, UNLESS OTHERWISE NOTED. ALL UTILITIES TO BE UNDERGROUND PER UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.
8. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT WHERE THERE IS A DISCREPANCY OR APPEARS TO BE AN ERROR ON THE DRAWINGS BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR THE PROCEDURE TO BE FOLLOWED.
9. WHERE DETAILS ARE NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE SIMILAR TO OTHER SIMILAR WORK, OR CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
10. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED.
11. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OR OWNER OF ANY WORK CALLED OUT ON THE DRAWINGS IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE APPROPRIATE "HOOK-UP" TO ALL UTILITIES, REQUIRED TO SUPPORT THE WORK.
12. PERMITS, FEES, TAXES, LICENSES, AND DEPOSITS SHALL BE PAID FOR AND OBTAINED BY EACH SUB-CONTRACTOR AND THE GENERAL CONTRACTOR AS THEY RELATE TO THEIR WORK.
13. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE. THIS IS THE CONTRACTOR'S RESPONSIBILITY.
14. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND SITE WORK AT ALL TIMES.
15. ANY PERIODIC VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT ARE FOR PROVISIONS OF THE CONTRACT DOCUMENTS, AND ARE IN NO WAY A GUARANTEE OF INSURANCE THAT THE FINISHED PRODUCT TOTALLY COMPLIES WITH THE CONTRACT DOCUMENTS.
16. THE LANDSCAPE ARCHITECT DOES NOT ASSUME ANY OF THE RESPONSIBILITY FOR METHODS OR APPLIANCES USED BY THE CONTRACTOR, NOR SAFETY OF THE JOB IN COMPLIANCE WITH THE LAWS AND REGULATIONS.
17. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED FROM AROUND THE BUILDINGS, THE DRIVEWAYS, SIDEWALKS AND LANDSCAPE AT THE END OF EACH WORK DAY. THE DRIVEWAYS AND SIDEWALKS SHALL BE SWEEPED CLEAN. ALL WATER HOSES SHALL BE DISCONNECTED FROM HOSE BIBS AND HOSE BIBS SECURED CLOSE.
18. THE CONTRACTOR SHALL LIMIT THE SITE STORAGE OF MATERIAL, SUPPLIES OR TEMPORARY STRUCTURES TO THOSE AREAS AS INDICATED ON THE DRAWINGS OR AS APPROVED BY THE OWNER'S REPRESENTATIVE.
19. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEMS DAMAGED DURING DEMOLITION OR CONSTRUCTION INDICATED TO BE REUSED OR REMAIN, AT NO COST TO THE OWNERS.

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA FIRE CODE (CFC)

I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF SOLANA BEACH WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER. UNDER PENALTY OF PERJURY, I AFFIRM THAT THE FOREGOING IS TRUE AND CORRECT.

1. AT THE TIME OF COMPLETION OF THE INSTALLATION A CERTIFICATION OF COMPLETION, USING THE CITY'S FORM SIGNED BY THE LICENSED PROFESSIONAL WHO PREPARED THE LANDSCAPE PLANS, WILL BE REQUIRED.
2. THE FOLLOWING ITEMS SHALL BE COMPLETED PRIOR TO THE CITY'S INSPECTION:
 - A. ALL LANDSCAPE WORK HAS BEEN INSTALLED AND COMPLETED PER THE PLANS APPROVED BY THE CITY OF SOLANA BEACH.
 - B. A HYDRO-ZONE DIAGRAM SHALL BE PROVIDED ADJACENT TO THE IRRIGATION CONTROLLER.
 - C. THE MAINTENANCE PERSON(S) OPERATING THE IRRIGATION SYSTEM SHALL RECEIVE ALL REQUIRED MAINTENANCE AND IRRIGATION PLANS.
 - D. ALL REQUIRED SOIL AMENDMENTS SHALL BE INCORPORATED AND VERIFIED BY THE LICENSED PROFESSIONAL.
3. THE FOLLOWING SHALL BE SUBMITTED WITH THE CERTIFICATION OF COMPLETION FORM:
 - A. A COPY OF THE AGRONOMIC SOILS TEST.
 - B. A MAINTENANCE SCHEDULE FOR PLANTING AND IRRIGATION.
 - C. AN IRRIGATION SCHEDULE THAT DELINEATES IRRIGATION TIMES AND WATER USAGE CONSISTENT WITH THE APPROVED PLANS ESTIMATED TOTAL WATER USE (ETWU) AND CURRENT SANTA FE IRRIGATION DISTRICT REQUIREMENTS.

PROJECT ADDRESS:	448 MARVIEW DRIVE, SOLANA BEACH, CA 92075	
APN:	263-162-07	
LEGAL DESCRIPTION:	LOT 14 IN BLOCK 'L' OF MARVIEW HEIGHTS UNIT NO 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 24, 1951	
ZONING:	LOW RESIDENTIAL (L RD)	
FIRE ZONE:	NO	
OCCUPANCY TYPE:	R-3	
GROSS LOT AREA:	32,382 SF	
NET LOT AREA:	32,382 SF	
	<u>ALLOWABLE</u>	<u>PROPOSED</u>
SETBACK FRONT:	25'-0"	35'-7"
SETBACK INT SIDE:	5'-0"	5'-0" & 7'-10"
SETBACK STREET SIDE:	10'-0"	N/A
SETBACK REAR	25'-0"	184'-0"

L-1.0	COVER SHEET
L-2.0	SITE PLAN
L-2.1	SITE PLAN SECOND FLOOR
L-3.0	IRRIGATION ZONE DIAGRAM
L-3.1	MAWA
L-3.2	IRRIGATION PLAN & NOTES
L-3.3	IRRIGATION DETAILS
L-3.4	IRRIGATION DETAILS
L-4.0	PLANTING PLAN & NOTES
L-4.1	PLANTING PLAN
L-4.2	PLANTING DETAILS

OWNER:
KIMEYA & TODD JOHANSEN
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075

LANDSCAPE ARCHITECT:
SOUTHERN OFFICE
5591 BOUNTY STREET
SAN DIEGO, CA 92120
CONTACT: MARK SOUTHERN
PHONE: 805.252.7012
EMAIL: MSOUTHERN@MAC.COM

ARCHITECT:
ALEC PETROS STUDIO
PO BOX 851
CARDIFF BY THE SEA, CA 92007
CONTACT: ALEC PETROS
PHONE: 760.415.4019
EMAIL: ALECA@ALECPETROS.COM



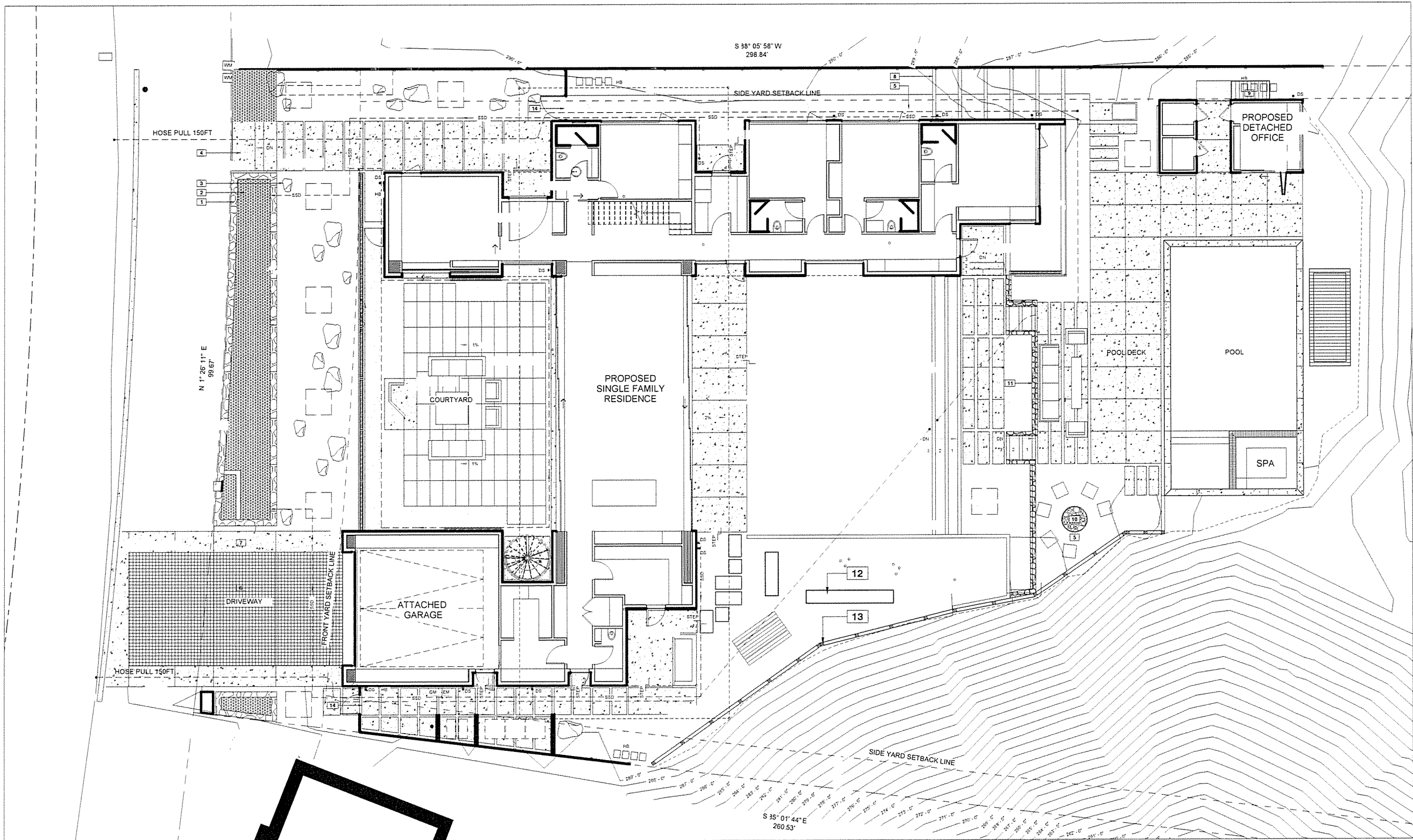
JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA
92075
PARCEL: 236-182-07



SOUTHERN OFFICE

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
55981 BOUNTY STREET
SAN DIEGO, CA
92120
P: 805.252.7012
E: MSOUTHERN@MAC.COM

PARCEL: 236-182-07



SITE PLAN

3/16" = 1'-0"

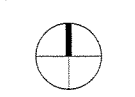
REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
1	DRY STACK STONE VENEER RETAINING WALL - STONE TO BE CANYONWELL FREEFORM STONE - AVAILABLE ECO OUTDOOR - SAMPLE TO BE APPROVED BY OWNER PRIOR TO PROCUREMENT
2	INFILTRATION PIT - SEE CIVIL PLANS FOR DETAILS - FINISH SURFACE TO BE 2-3" COBBLE TO MATCH STONE VENEER - PROVIDE SAMPLE FOR APPROVAL PRIOR TO PROCUREMENT
3	BOULDERS - APACHE SUNSET - OR SIMILAR 2-4" DIA - PROVIDE SAMPLE PRIOR TO PROCUREMENT
4	ENTRY WALK - REINFORCED CONCRETE OVER PREPARED BASE - COLOR TBS - TOPCAST #1 FINISH
5	1.5" THICK 3/8" ROUND CRUSHED ROCK OVER 3" OF COMPACTED DECOMPOSED GRANITE BASE- CRUSHED ROCK TBS
6	PERMEABLE PAVER DRIVEWAY - PAVER TO BE SELECTED
7	6" THICK REINFORCED CONCRETE DRIVEWAY APRON - TOPCAST #1 FINISH - COLOR TBS
8	CEDAR TIMBER STEP RISERS - WATERPROOF WHERE GROUND CONTACT OCCURS -
9	POOL STORAGE CONTAINER (3X6) SELF CONTAINED - TBS
10	18" HT X 42" DIA CORTEN STEEL FIRE PIT - TUMBLED LAVA TOPPING
11	24" EXPOSED HT. STONE VENEER RETAINING WALL - VENEER TO BE CANYONWELL FREEFORM STONE - AVAILABLE ECO OUTDOOR - PROVIDE SAMPLE FOR APPROVAL PRIOR TO PROCUREMENT
12	BIG TIMBER BENCHES - AVAILABLE URBAN TIMBER - TBS
13	4X6X42" HT TIMBER FENCE ALONG TOP OF SLOPE
14	CUSTOM STEEL GATE - 5' MIN HT. SELF CLOSING, SELF LATCHING PER POOL CODE

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA
92121
P: 619.252.7012
E: MSOUTHERN@MAC.COM

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA
92121
P: 619.252.7012
E: MSOUTHERN@MAC.COM

SITE PLAN
DRP22-021 /SDP22-019

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA
92075
PARCEL: 236-182-07



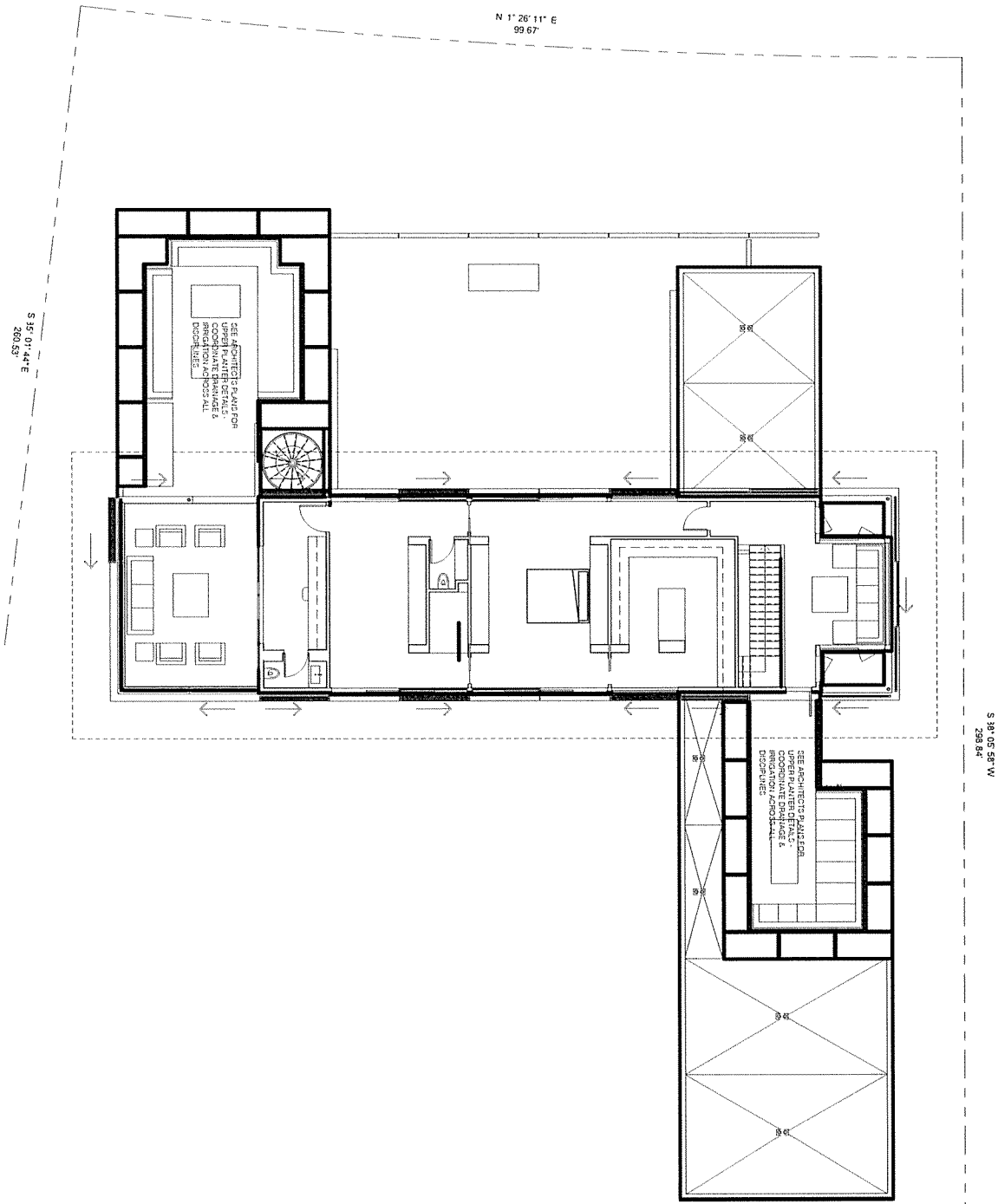
PROJECT NORTH

DATE	DESCRIPTION
07/20/2024	PUBLISH

REVISIONS

L2.0

2 - OF - 11
SHEETS



SITE PLAN UPPER DECK

3/16\" = 1'-0"

SOUTHERN OFFICE

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA
9 2 1 2 0
P: 8 0 5 . 2 5 2 . 7 0 1 2
E: MSOUTHERN@MAC.COM

SITE PLAN
SECOND FLOOR
DRP22-021,SDP22-019

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA
92075
PARCEL: 236-182-07

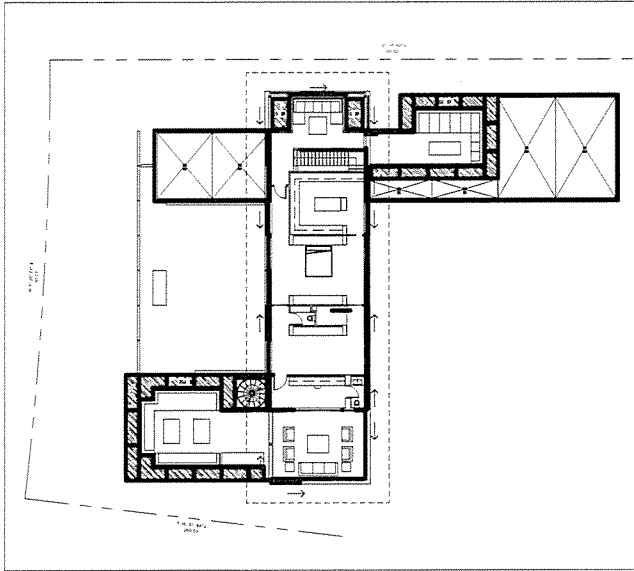


PROJECT NORTH

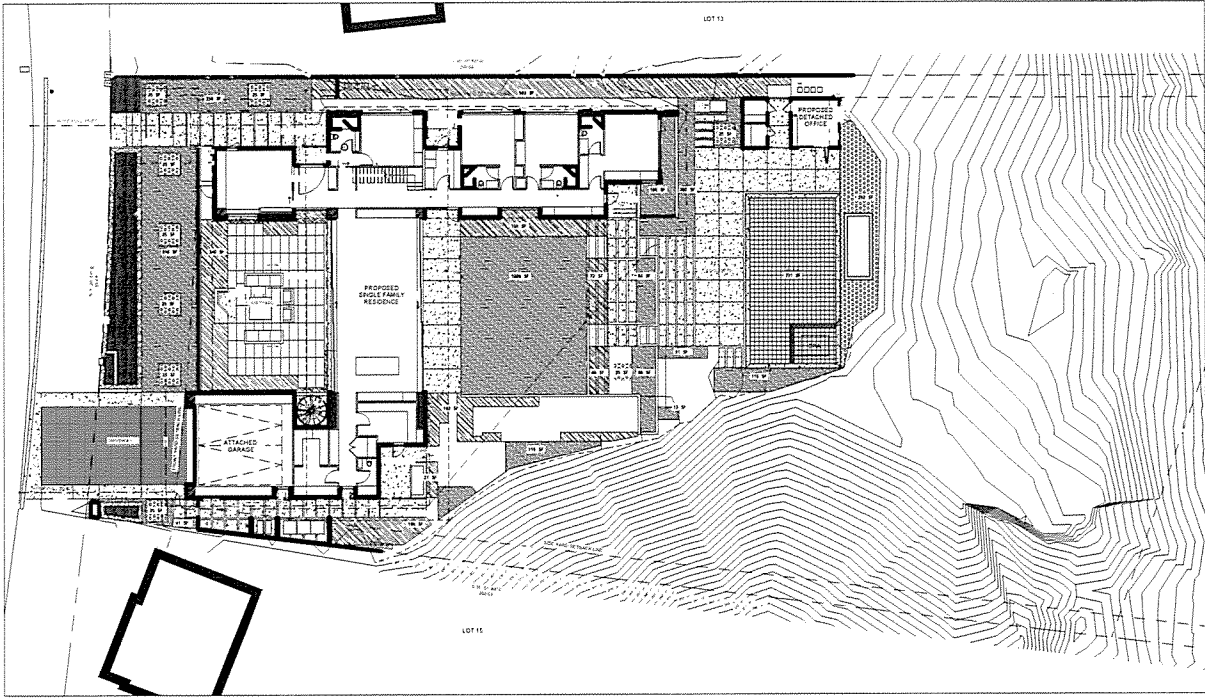
DATE	2/11/2024
DESIGNER	MARKED
REVISIONS	

L2.1

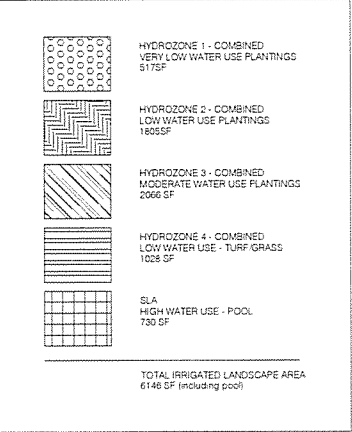
3 - OF - 11
SHEETS



HYDROZONE DIAGRAM (REFERENCE)
1" = 20'-0"



HYDROZONE DIAGRAM (REFERENCE)
1" = 20'-0"



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

- ETWU = Estimated total water use per year (gallons per year)
ETo = Evapotranspiration rate (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydro-zone Area (square feet). Define hydro-zones by water use: very low, low, moderate and high
SLA = Special Landscape Area (square feet): Edible plants, irrigated with recycled water, & turf used for active play
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

	Line	Hydro-zone Number (1 - 4 Below – use as many tables as necessary to complete all hydrozones)				SLA	
		1	2	3	4		
Evapotranspiration Rate (ETo) See "A" below	1	Use 41 (west of I-5) / 47 (east of I-5)					
Conversion Factor - 0.62	2	0.62					
(Line 1 x Line 2)	3	25.42 (west of I-5) / 29.14 (east of I-5)					
Plant Factor (PF) See "B" below	4	0.1	0.3	0.6	0.3		
Hydrozone Area (HA) - in square feet	5	517	1805	2066	1028	730	
(Line 4 x Line 5)	6	51.7	541.5	1239.6	308.4		
Irrigation Efficiency (IE) See "C" below	7	.81	.81	.81	.81		
(Line 6 x Line 7)	8	63.83	668.52	1530.37	380.74		
TOTAL of all Line 8 boxes + SLA	9	3373.46					
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	85,753.35					

A	B	C
ETo - Evapotranspiration rate = 41 (west of I-5) 47 (east of I-5)	PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone. 0.1 = VLOW - Very Low Water Use Plants 0.3 = LW - Low Water Use Plants 0.6 = MW - Moderate Water Use Plants 1.0 = HW - High Water Use Plants	IE - Irrigation Efficiency Spray = .25 Rotary = .70 Bubble = .75 MP Rotator = .25 Drop & Micro-spray = .81 A different IE may be used if supported by documentation values as approved by the City Planner

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:

Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non-residential

25.42 [(ETAF x 6146) + (1-ETAF x 730)] =

25.42 or 29.14 Total Landscape Area Total SLA

MAWA 85,927

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA
92121
P: 805.252.7012
E: MSOUTHERN@MAC.COM

MAWA CALCULATIONS
DRP22-021.SDP22-019

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA
92075
PARCEL: 236-182-07



PROJECT NORTH

DATE	DESCRIPTION
01/11/2016	PRELIMINARY
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION
01/11/2016	REVISION

REVISIONS

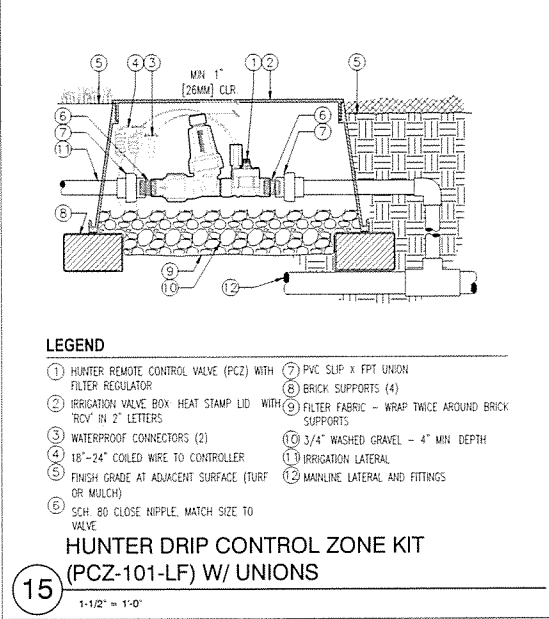
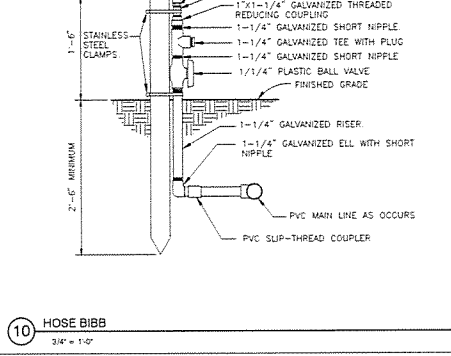
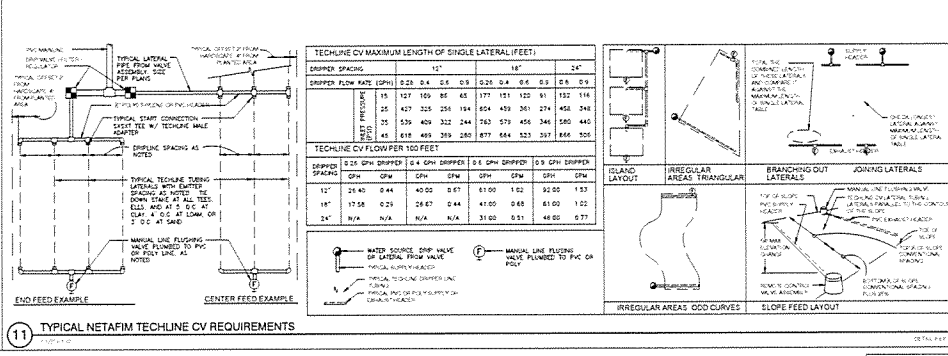
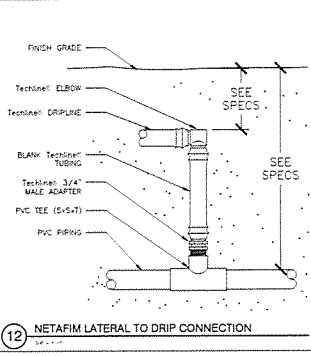
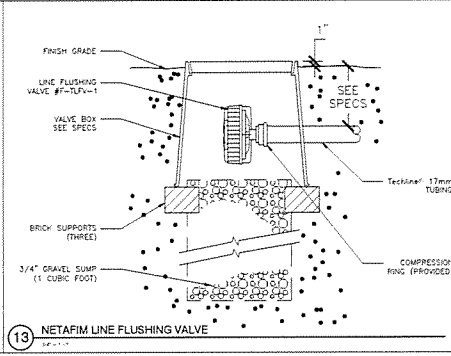
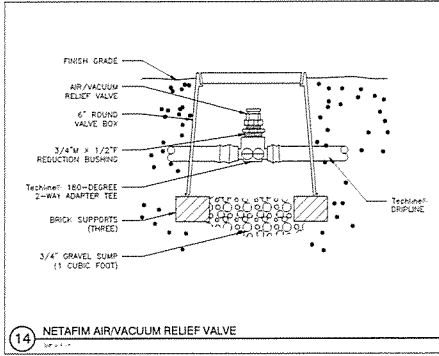
L3.1

5 - OF - 11
SHEETS



ALL INFORMATION SHOWN ON THESE PLANS ARE THE PROPERTY OF MARY A. SOUTHERN, P.L.A. NO PART OF THESE PLANS MAY BE REPRINTED, PHOTOGRAPHED, COPIED OR OTHERWISE REPRODUCED WITHOUT THE EXPRESSED PRIOR WRITTEN PERMISSION OF MARY A. SOUTHERN, P.L.A.

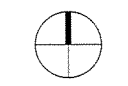
IN PRESENCE OF MARY A. CRITCHFIELD



SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA 92121
P: 805.252.7012
E: MSOUTHERN@MAC.COM

IRRIGATION DETAILS
DRP22-021.SDP22-019

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075
PARCEL: 236-182-07



PROJECT NORTH

DATE: 05/01/2024
BY: MSOUTHERN
PUBLISHED:

REVISIONS

L3.4

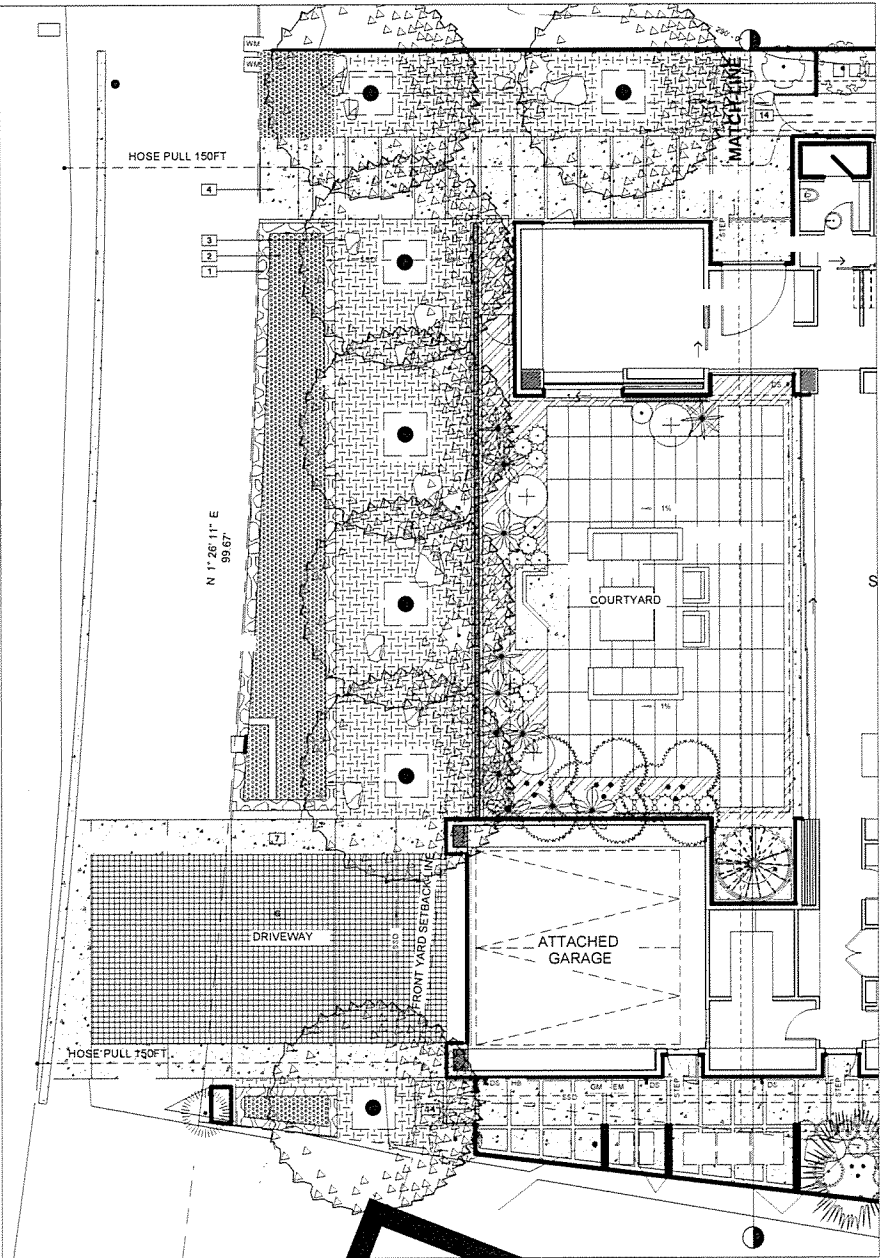
8 - OF - 11 SHEETS

Planting Notes:

- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS UNDER WHICH SHALL BE DONE PRIOR TO BIDDING.
 - CONTRACTOR SHALL REVIEW PLANTING SPECIFICATIONS BEFORE PLANTING.
 - ALL WORK WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING AGENCIES.
 - CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL SITE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IMMEDIATELY.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS MADE NECESSARY THROUGH THE ACTIONS OR NEGLIGENCE OF HIS CREW.
 - CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE FOR INSPECTION AT FOLLOWING TIMES UNLESS OTHERWISE DIRECTED.
 - IRRIGATION COVERAGE, PRIOR TO PLANT PLACEMENT;
 - PLANT APPROVAL AND SPOTTING PRIOR TO PLANTING;
 - PRE-MAINTENANCE APPROVAL;
 - POST-MAINTENANCE APPROVAL/ FINAL APPROVAL.
 - THE MAINTENANCE PERIOD SHALL BE 60 CALENDAR DAYS AND SHALL INCLUDE THE SCOPE OF WORK AS DEFINED IN THE SPECIFICATIONS. IT SHALL COMMENCE UPON WRITTEN NOTICE BY OWNER'S REPRESENTATIVE, WHEN ALL IRRIGATION AND LANDSCAPE IS 100% COMPLETE.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL AREAS IN A WEED AND DEBRIS FREE CONDITION THROUGHOUT THE INSTALLATION AND MAINTENANCE PERIOD.
 - OWNER'S REPRESENTATIVE SHALL APPROVE ALL FINISH GRADING PRIOR TO PLACEMENT OF ANY PLANT MATERIAL.
 - PLANT SYMBOLS TAKE PRECEDENT OVER PLANT QUANTITIES SPECIFIED. WHERE SHRUB SYMBOLS ARE MASSED, CONTRACTOR SHALL MAINTAIN A CONSISTENT ON CENTER, TRIANGULAR SPACING. CONTRACTOR SHALL VERIFY PLANT TOTALS FOR BID PURPOSE.
 - A SOILS MANAGEMENT REPORT WITH AGRONOMIC SOIL TESTING RESULTS AND RECOMMENDATIONS WILL BE PREPARED FOLLOWING GRADING AND PRIOR TO PLANTING.
 - PERCOLATION TEST SHALL BE CONDUCTED AS FIELD/SOIL CONDITIONS REQUIRE.
 - ALL ROCKS, DEBRIS ONE(1") AND LARGER SHALL BE REMOVED FROM PLANTING AREAS AND FROM THE SITE.
 - PRIOR TO PLANTING, ALL IRRIGATION SYSTEMS BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE THOROUGHLY WATERED.
 - SHRUB AND GROUND COVER MASS QUANTITIES AND/OR SPACING ARE SHOWN ON PLANS. PLANTS SHALL BE INSTALLED WITH TRIANGULAR SPACING.
 - PLANT MATERIAL SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
 - PLANT MATERIAL MAY BE REJECTED AT ANY TIME BY THE OWNER'S REPRESENTATIVE DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING.
 - AT COMPLETION OF MAINTENANCE PERIOD, APPLY TRI-C COMMERCIAL FERTILIZER (6-2-4) AT 9LBS/1000SF AND WATER IMMEDIATELY WITH A THROUGH CYCLE.
 - SOIL AMENDMENTS: ACTUAL TYPES AND QUANTITIES WILL BE BASED ON SOIL ANALYSIS PROVIDED BY THE CONTRACTOR AFTER ROUGH GRADING. SOIL SAMPLES SHALL BE TAKEN FROM ENOUGH LOCATIONS ON THE SITE TO REPRESENT AND ADEQUATE CROSS SECTION OF CONDITIONS. ANALYSES SHALL BE PERFORMED BY A QUALIFIED SOIL LAB. CONTRACTOR SHALL FOLLOWING TESTING PROCEDURES AS DEFINED BY THE CITY OF SOLANA BEACH. TEST SHALL INCLUDE, BUT NOT BE LIMITED TO SOIL FERTILITY, AGRICULTURAL SUITABILITY, LEACHING, AND MAINTENANCE FERTILIZATION (IF APPLICABLE). CONTRACTOR SHALL FURNISH OWNER'S REPRESENTATIVE WITH A COPY OF THE TEST RESULTS AND RECEIVE WRITTEN APPROVAL FOR AMENDMENTS PREPARATION PRIOR TO INSTALLATION.
- SHRUB AREAS**
PLANTING AND BACKFILL MIX FOR PLANT PITS SHALL BE AS FOLLOWS PER CUBIC YARD.
100% OF NATIVE SOIL
2" TOP PRESSING OF NITROHUMUS OR APPROVED EQUIVALENT.
8 LBS OF TRI-C 6-2-4
2 LBS FERROUS SULFATE THOROUGHLY BLEND AT THE ABOVE AT A CENTRAL ON-SITE LOCATION PRIOR TO USE.
THE FERROUS SULFATE SHOULD NOT CONTACT PAVING SURFACES AS STAINING WILL RESULT.
100 LBS OF GYPSUM
SOIL PREP SHALL INCLUDE, AT A MINIMUM, FOUR (4) CUBIC YARDS OF COMPOST/1000 SF. INCORPORATED TO A DEPTH OF SIX (6) INCHES INTO THE SOIL.
- CONTRACTOR SHALL IMMEDIATELY UPON THE AWARD OF THE CONTRACT, ORDER, LOCATE AND PURCHASE (OR HAVE HELD) ALL PLANT MATERIAL REQUIRED BY THESE PLANS.
 - PLANTING BEDS SHALL HAVE FINISHED GRADES SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 2% DRAINAGE AWAY FROM BUILDINGS AND PAVING INTO DRAINAGE STRUCTURES OR TO STREET. (SEE ENGINEER'S GRADING AND DRAINAGE PLANS). CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY CONFLICTS IN MAINTAINING DRAINAGE.
 - SEE ENGINEER'S PLAN FOR LAYOUT OF ALL CURBS, WALLS, RETAINING WALLS, UTILITIES, SITE GRADING AND DRAINAGE. SEE ARCHITECTS PLAN FOR LOCATION OF ALL BUILDINGS.
 - ALL PLANTING SHALL BE GUARANTEED THROUGHOUT THE MAINTENANCE PERIOD AND GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE FINAL ACCEPTANCE OF THE MAINTENANCE PERIOD.
 - ALL SHRUB BEDS SHALL HAVE A 3 INCH THICK MULCH LAYER. "MULCH" SHALL BE "SHREDDED FIR BARK" FROM GREAT SOIL LLC. MULCH SHALL BE FREE OF STICKS, STONES, CLAY, TRASH, OR OTHER FOREIGN MATERIAL. CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANT MATERIAL SHALL MEET MINIMUM STANDARDS SET BY THE AMERICAN ASSOCIATION OF NURSEYMAN.
 - TREE STAKES ARE NOT TO COME INTO CONTACT OF THE TREES, AND SHALL BE INSTALLED ON THE WINDWARD SIDE.
 - DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.

PLANT SCHEDULE LOWER PLANTING

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS	WATER USE	MATURE HEIGHT
TREES									
	CHA XSO	Chamaedorea x 'Solidad'	Solided Bamboo Palm	24" Box		3		Moderate	
	DRA MAR	Dracaena marginalata	Dracaena	24" Box		1		Low	10 - 1' ft
	HOW MUL	Howea forsteriana	Kentia Palm Multi-Trunk	12" Ht	Box	4		Moderate	25 - 40ft. ft
	QUE MUL	Quercus agrifolia	Coast Live Oak Multi-Trunk	60"	Box	9		Low	40 - 65ft. ft
PALM TREES									
	CHA HUM	Chamaecrops humilis	Mediterranean Fan Palm	10" Ht	Box	2	10" BTH	Moderate	10-20ft. ft
	WAS FIL	Washingtonia filifera	California Fan Palm	Existing		6		Moderate	30-60ft. ft
SHRUBS									
	ACA MOL	Acanthus mollis	Bears Breech	5 gal		5		Moderate	3 - 6ft. ft
	ATH MN	Dryopteris erythrosora	Wood Fern	1 gal		2		Moderate	6 - 18in. ft
	BLUX WGM	Buxus microphylla japonica 'Winter Gem'	Winter Gem Japanese Boxwood	15 gal		3		Medium	3 - 6ft. ft
	CAR PAN	Carex pansa	Meadow Sedge	1 gal		152		Medium	6 - 16in. ft
	CHO TEC	Chondropetalum tectorum	Small Cape Rush	5 gal		5		Low	18 - 36in. ft
	DIA LIT	Dianella caerulea 'DCMPC01'	Little Becca™ Flax Lily	1 gal		14		Moderate	6 - 18in. ft
	Phi XMA	Philodendron x 'Manadu'	Xanadu Philodendron	5 gal		7		Moderate	18 - 36in. ft
	POD GRA	Podocarpus gracilior	Fern Pine Shrub Form	15 gal		24		Moderate	25 - 40ft. ft
	ROS TUS	Rosmarinus officinalis 'Turcan Blue'	Tuscan Blue Rosemary	5 gal		1		Low	4 - 6ft. ft
GRASSES									
	CAR DIV	Carex divulsa	European Grey Sedge	1 gal		58		Low	6 - 18in. ft
	LOM IRA	Lemnandra longifolia 'Breeze'	Breeze™ Mat Rush	1 gal		37		Low	18 - 36in. ft
	MUH LIN	Muhlenbergia lindheimeri	Lindheimer's Muhly	1 gal		26		Low	3 - 6ft. ft
	MUH RIG	Muhlenbergia rigens	Deer Grass	1 gal		1		Low	3 - 6ft. ft
NATIVE SHRUBS									
	ARC FUN	Arctostaphylos pungens	Point Leaf Manzanita	5 gal		16		Very low	3 - 6ft. ft
	ARC THH	Arctostaphylos x Howard McMiner	Howard McMiner Manzanita	24" Box		1		Low	6 - 10ft. ft
	ERI FA2	Eriogonum fasciculatum fasciculatum	Coastal California Buckwheat	5 gal		30		Very low	18 - 6" ft
	SAL API	Salvia apiana	White Sage	1 gal		1		Very low	18 - 36in. ft
	SAL POZ	Salvia crevleriandii 'Pozo Blue'	Pozo Blue Cleveland Sage	1 gal		1		Very low	18 - 36in. ft
SUCCULENTS									
	AGA ATT	Agave attenuata	Foxtail Agave	5 gal		12		Low	4 - 6ft. ft
GROUND COVERS									
	BUC UCY	Buchloe dactyloides 'UC Verde'	UC Verde Buffalo Grass	Plug		12" o c	1,054	Low	< - 1' ft
	CAR PRA	Carex praegracilis	California Field Sedge	4"		12" o c	806	Medium	< - 1' ft



WEST PLANTING

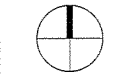
1/8" = 1'-0"

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA 92121
P: 605.252.7012
E: SOUTHERN@MAC.COM

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA 92121
P: 605.252.7012
E: SOUTHERN@MAC.COM

PLANTING PLAN WEST
DRP22-021 /SDP22-019

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075
PARCEL: 236-182-07

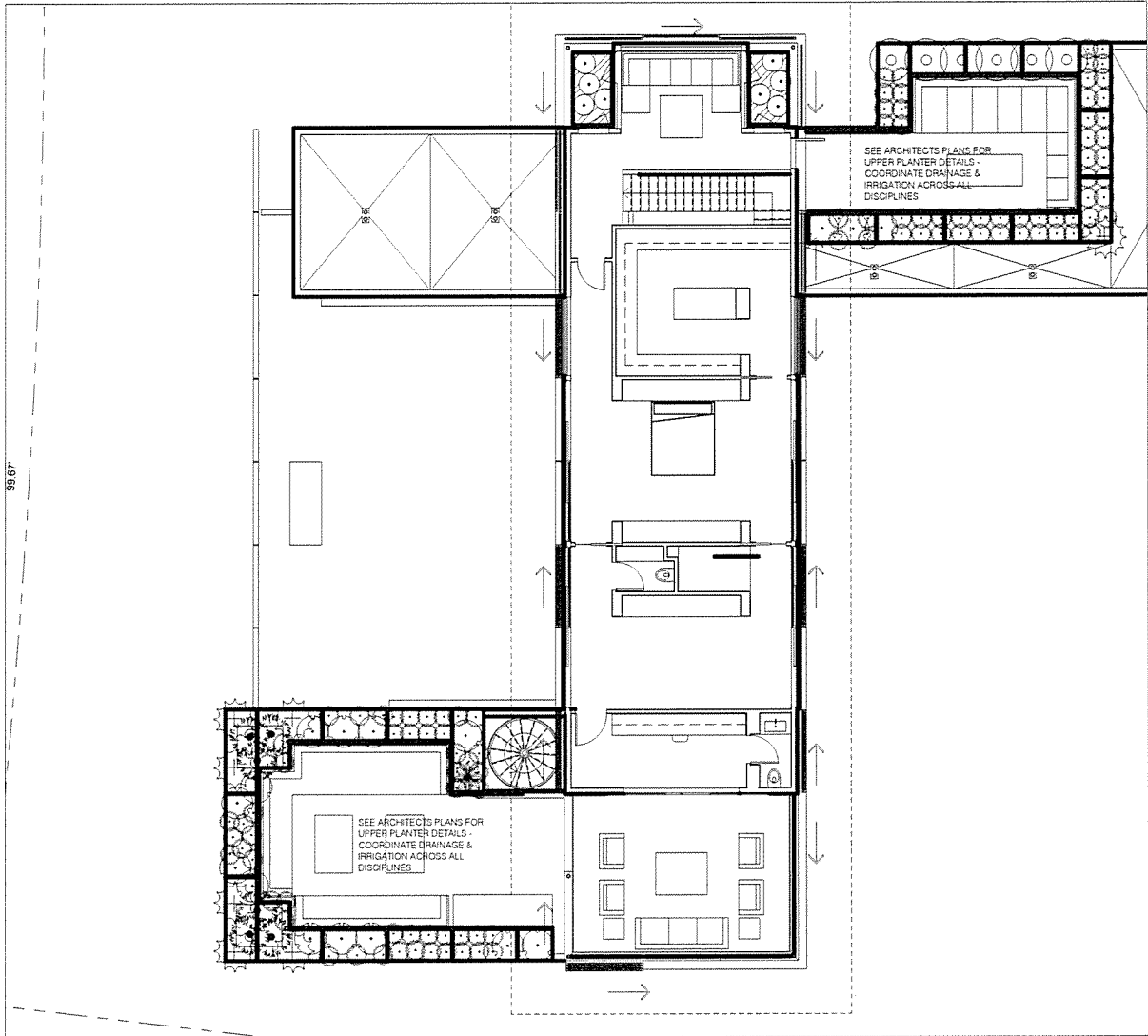


PROJECT NORTH

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/11/2025
2	REVISED	11/11/2025
3	REVISED	11/11/2025
4	REVISED	11/11/2025
5	REVISED	11/11/2025
6	REVISED	11/11/2025
7	REVISED	11/11/2025
8	REVISED	11/11/2025
9	REVISED	11/11/2025
10	REVISED	11/11/2025

REVISIONS

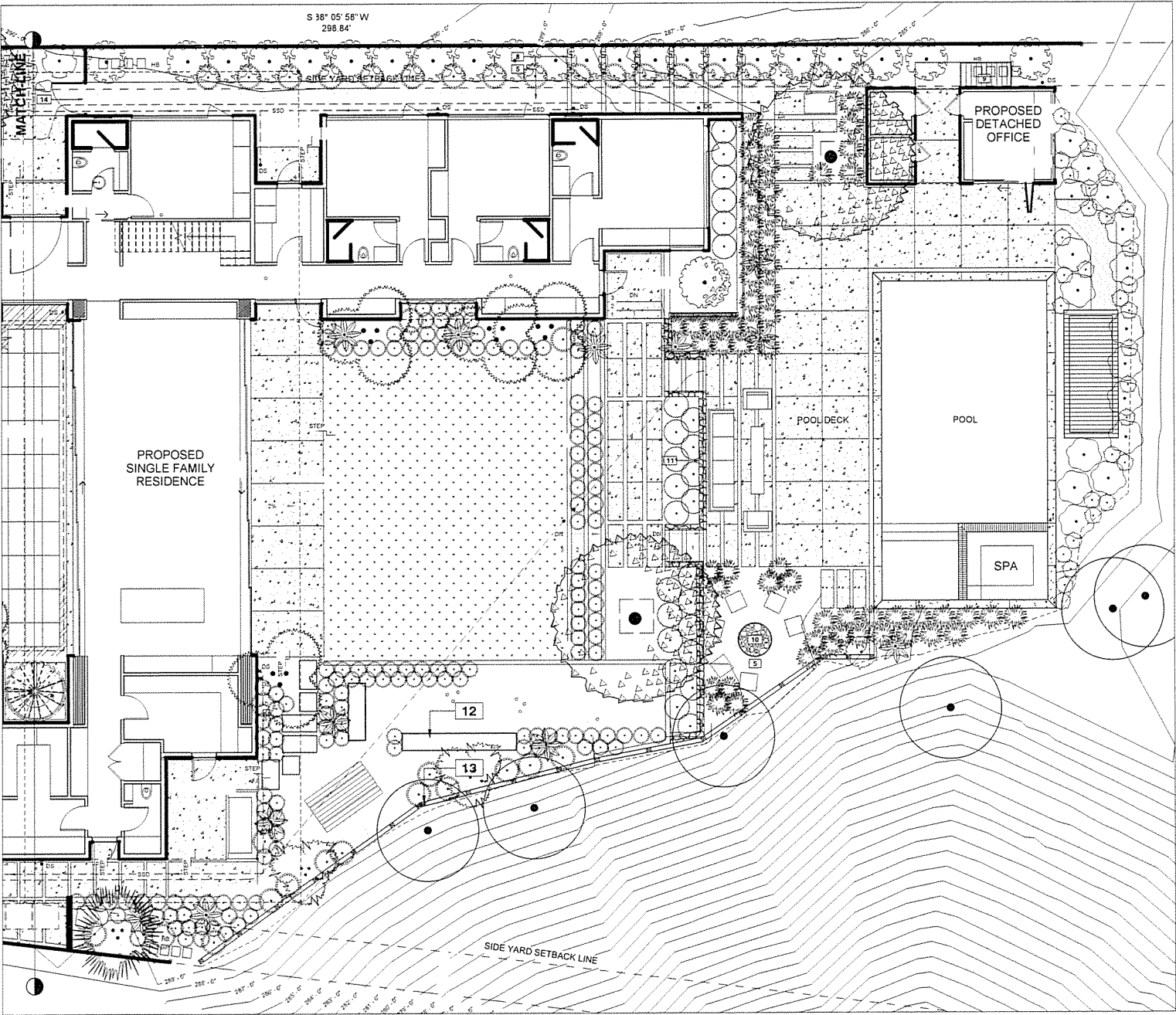
L4.0



PLANTING PLAN UPPER DECK

3/32" = 1'-0"

PLANT SCHEDULE SECOND LEVEL									
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	WATER USE	MATURE HEIGHT	
PALM TREES									
	ZAM FUR	Zamia furfuracea	Cardboard Palm	15 gal	6		Moderate	18 - 6' ht.	
SHRUBS									
	ALO RUB	Aloe rubroviolacea	Arabian Aloe	5 gal	1		Low		
	ATH MIN	Athyrium filix-femina 'Minutissimum'	Dwarf Lady Fern	1 gal	8		Moderate	6 - 18in. ht.	
	CAR PAN	Carex pansa	Meadow Sedge	1 gal	104		Moderate	6 - 18in. ht.	
	PIT W14	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum	5 gal	16		Moderate	18 - 36in. ht.	
	ROS HUN	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	1 gal	7		Low	6 - 18in. ht.	
	ROS TU2	Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	5 gal	6		Low	6 - 6' ht.	
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS	WATER USE	MATURE HEIGHT
GROUND COVERS									
	OPH JA2	Ophiopogon japonicus	Mondo Grass	4"	18" o.c.	14		Moderate	6 - 18in. ht.



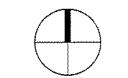
EAST PLANTING

1/8" = 1'-0"

SOUTHERN OFFICE
LANDSCAPE ARCHITECTURE
5981 BOUNTY STREET
SAN DIEGO, CA 92121
P: 605.252.7012
E: SOUTHERN@MAC.COM

PLANTING PLAN EAST
DRP22-021.SDP22-019

JOHANSEN RESIDENCE
448 MARVIEW DRIVE
SOLANA BEACH, CA 92075
PARCEL: 236-182-07



PROJECT NORTH

DATE: 02/08/2024

BY: SOUTHERN

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

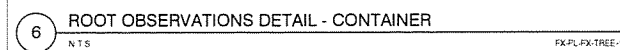
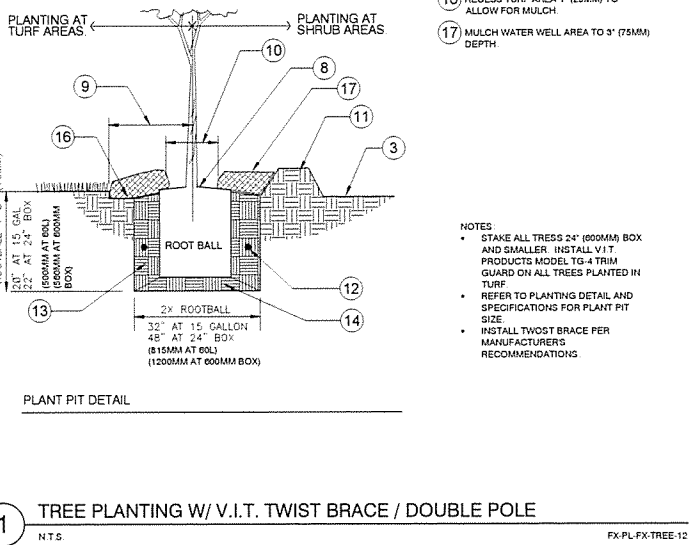
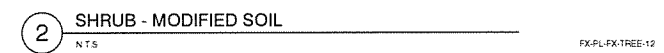
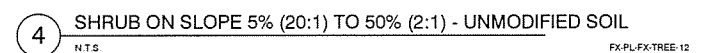
REVISIONS

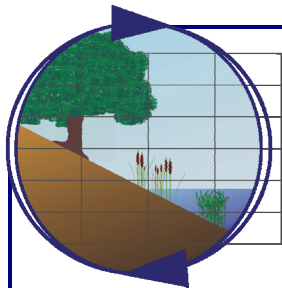
REVISIONS

REVISIONS

REVISIONS

REVISIONS





Merkel & Associates, Inc.

5434 Ruffin Road, San Diego, CA 92123

Tel: 858/560-5465 • Fax: 858/560-7779

October 22, 2021

M&A #21-058-01

Mrs. Kimeya and Mr. Todd Johansen
448 Marview Drive
Solana Beach, Ca 92075

Re: Initial ESHA Analysis of 448 Marview Drive (APN 263-182-07)

Dear Mrs. and Mr. Johansen:

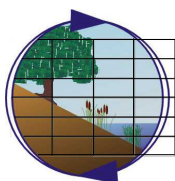
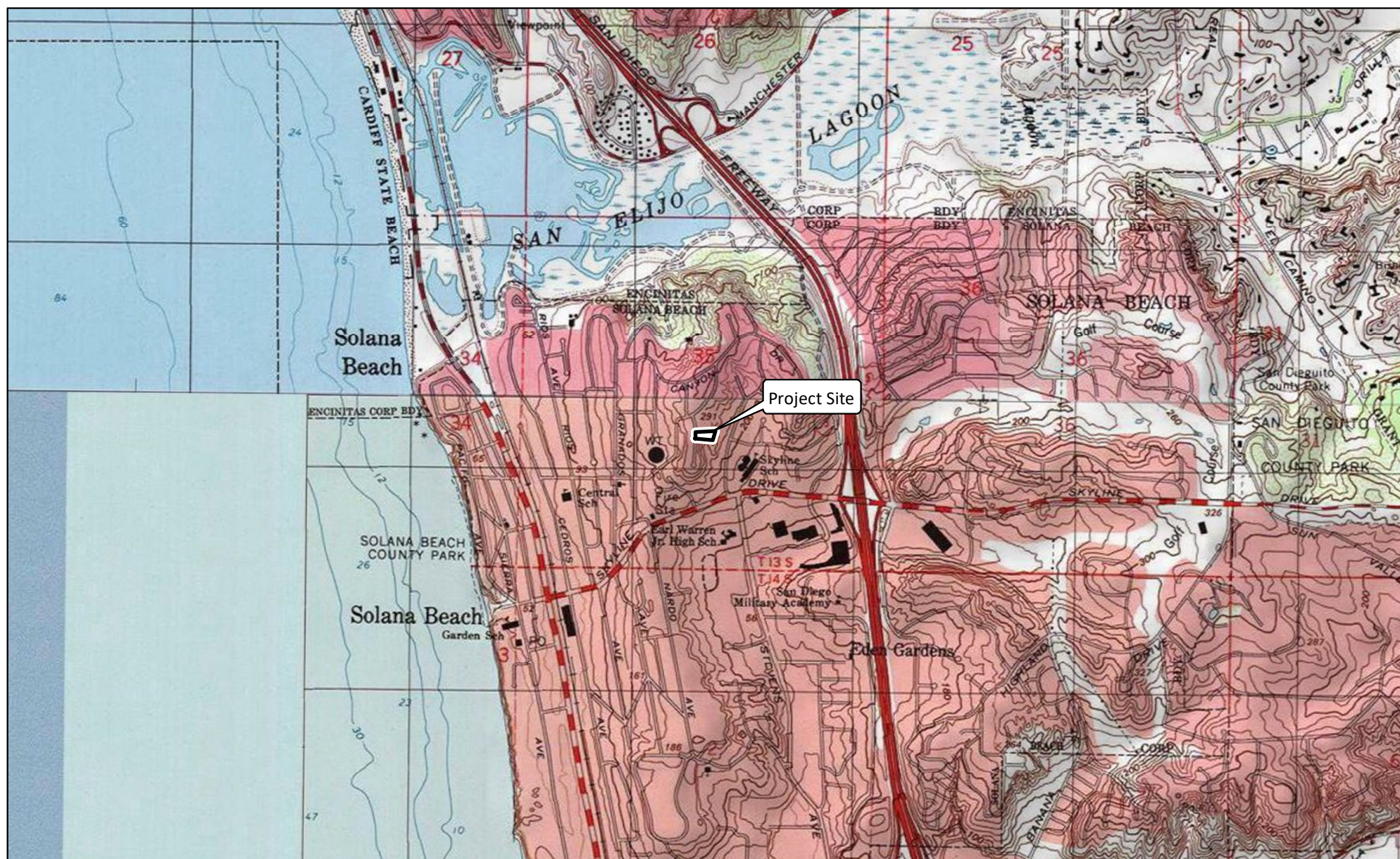
The purpose of this letter is to provide a brief analysis of APN 263-182-07 to determine the presence or absence of Environmentally Sensitive Habitat Area (ESHA) within or adjacent to the parcel boundary. The proposed project includes new construction to replace an existing Single-Family Residence (SFR), swimming pool, and landscape located at 448 Marview Drive in the City of Solana Beach, California (Figure 1).

Previously, the 2013 adopted City of Solana Beach (City) Land Use Plan (LUP) identified the presence of *potential* ESHA within and adjacent to 448 Marview Drive. Results from a more recent citywide ESHA update that Merkel & Associates (M&A) performed in 2018 determined that 448 Marview Drive included native habitat (southern maritime chaparral); however, the site was not designated as ESHA due its isolation, proximity to urban development, and surrounding non-native vegetation (M&A, 2018). This letter expands on this determination by examining the 448 Marview Drive parcel with greater site-specific detail.

Methods

Prior to the initiation of the field survey, historical and currently available biological literature and data pertaining to the project area was reviewed. This review included previous project site and project area biological studies and documents including the City of Solana Beach Land Use Plan ESHA Mapping Update Project (M&A 2018); as well as aerial photography from Microsoft (Bing 2020) and ESRI imagery basemaps: (Digital Globe 2021) and Google Earth Pro (2021); and sensitive species records from USFWS and CNDDDB GIS databases (2021) for the project vicinity, where applicable.

A field survey was conducted on October 13, 2021 by M&A Senior Biologists Adam Behle and Gina Krantz. Undeveloped areas of the parcel, including a 50-foot wide habitat mapping buffer outside of the parcel boundary, were examined and photographed, noting dominant native and non-native flora, topographic features, and land uses. Onsite and surrounding habitats were mapped based on the observed flora. Vegetation communities were identified and re-mapped utilizing the most recent publicly available aerial photographs.



Project Vicinity Map

448 Marview Drive, Solana Beach

Source: USGS 7.5' Del Mar, CA Quadrangle

Figure 1

Results

The existing residence of 448 Marview Drive is located along the top of a small canyon that is completely surrounded by urban development. The residence overlooks the canyon to the east and south, which consists predominantly of non-native vegetation, eroded sandstone, and pockets of disturbed native vegetation. The parcel is bordered to the north and west by single family residences and urban development. A chain-link fence separates the existing development and outdoor living space from all mapped native habitats. All proposed development has been designed to occur within the limits of the existing chain-link fence.

The 448 Marview Drive parcel includes three vegetation communities consisting of non-native vegetation (NNV), southern maritime chaparral (SMC), and Diegan coastal sage scrub (DCSS), in addition to urban/developed lands (Figure 2). Undeveloped areas within the parcel boundary typically consist of urban landscape (i.e., turf, ornamental shrubs and trees) in addition to a linear band of disturbed SMC that generally runs along the eastern parcel boundary. Several small remnants of DCSS habitat were also observed, interspersed within the areas of NNV.

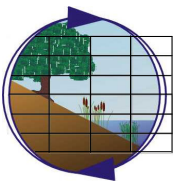
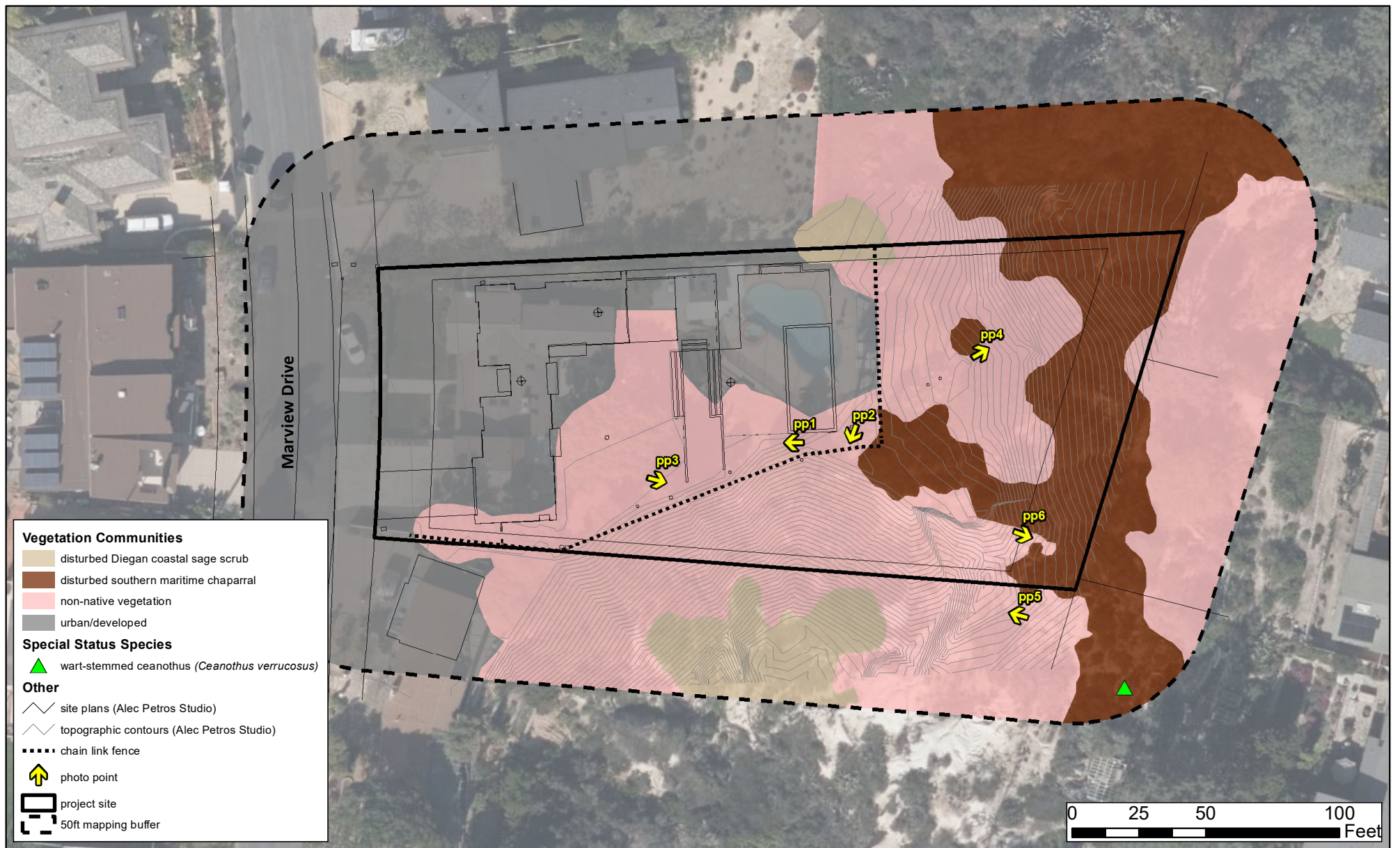
The enhanced, site-specific mapping of the site based on the October 13, 2021 field survey resulted in an increased amount of NNV mapped on-site, compared to the mapping and findings of the updated 2018 citywide ESHA analysis. Discrepancies between the two mapping efforts are attributed to the lack of access to the privately owned central canyon area during the 2018 mapping update, and the reliance upon aerial imagery for mapping of the area. Table 1 lists acreages for each vegetation community mapped onsite during the October field survey and proposed impact acreages. Photographs of the existing conditions of site and surrounding lands are provided in Appendix 1.

Table 1. Vegetation Communities

Habitat Type	Onsite Acreage*	Impacted Acreage
Habitat Group B**	0.33	
Southern Maritime Chaparral (37C30)		none
Habitat Group C	0.08	
Diegan Coastal Sage Scrub (32500)		none
Habitat Group F	0.75	
Non-Native Vegetation (11000)	0.71	none
Urban/Developed (12000)	1.46	N/A
Group F Subtotal	0.33	
Total	1.87	

**Acreage has been rounded to nearest hundredths for all habitats, and totals reflect overall rounding.*

***Habitat Groups refer to the Multiple Habitat Conservation Program (MHCP) Habitat Classification System, with numerical codes from Holland (1986) and/or Oberbauer (2008). Groups include disturbed habitat.*



Biological Resources Map
448 Marview Drive, Solana Beach

Figure 2

Key species identified within disturbed southern maritime chaparral included chamise (*Adenostoma fasciculatum*), black sage (*Salvia mellifera*), toyon (*Heteromeles arbutifolia*), white sage (*Salvia apiana*), mission manzanita (*Xylococcus bicolor*), wart-stemmed ceanothus (*Ceanothus verrucosus*), and coast prickly-pear (*Opuntia littoralis*). The wart-stemmed ceanothus was observed approximately 50 feet outside of the southeast parcel boundary and is listed as a moderately threatened rare plant in California by the California Native Plant Society. This habitat has moderate biological value; however, encroachment by non-native species found spreading from the surrounding residential development has resulted in degradation of the habitat.

Disturbed areas of Diegan coastal sage scrub habitat included species such as: California sagebrush (*Artemisia californica*), laurel sumac (*Malosma laurina*), flat-top buckwheat (*Eriogonum fasciculatum*), lemonadeberry (*Rhus integrifolia*), black sage, and coyote brush (*Baccharis pilularis*). The majority of this habitat is located offsite in lower elevations of the canyon situated south of 448 Marview Drive, and interfaces with dense non-native vegetation that cascades from the backyards of residences located along the rim of the eroded canyon.

Dominant non-native vegetation observed on site included iceplant (*Carpobrotus edulis*), jade (*Crassula ovata*), Mexican fan palm (*Washingtonia robusta*), mission prickly pear (*Opuntia ficus indica*), asparagus (*Asparagus aethiopicus*), pampas grass (*Cortaderia selloana*), elephant bush (*Portulacaria afra*), smilo grass (*Stipa miliacea* var. *miliacea*), and numerous other non-native grasses. Ornamental landscape plantings and other non-native species from adjacent residences generally trail down the steeply eroded slopes to the canyon bottomlands located south of the 448 Marview Drive parcel boundary.

Surrounding land uses have also continued to degrade the remaining southern maritime chaparral and Diegan coastal sage scrub in the vicinity of 448 Marview Drive, particularly in the small canyon located south of the residence. Residential development in this area has allowed for the continued spread of non-native species via increased irrigation and maintenance activities, both of which have likely contributed to erosion and bluff failure in parts of the canyon. Brush management and fuel modification activities have also decreased areas of native vegetation adjacent to residential development on the southern margin of the canyon. These areas feature cleared vegetation, bare ground, and expansive plantings of iceplant and other ornamental landscape species.

ESHA Analysis

The Coastal Act and City LUP defines ESHA as: “Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments...”. Additional clarification of ESHA is provided in the LUP, which provides specific exclusions for candidates of potential areas for ESHA. Exclusions of otherwise appropriate areas of rare or valuable habitat are typically due to urban isolation or proximity to disturbed and developed lands. The disturbed southern maritime chaparral and Diegan coastal sage scrub that occupies portions of the project site have moderate biological value; however, the diminutive size, habitat isolation, fragmentation, and continued degradation would largely exclude it from being ESHA on its own.

No designated ESHA is located onsite or within the adjacent isolated canyon. The closest designated ESHA to 448 Marview Drive that was mapped during the 2018 citywide ESHA update included a stretch of southern mixed chaparral, coastal sage chaparral scrub, and Diegan coastal sage scrub located approximately 1,162 feet north of 448 Marview Drive (Figure 3). ESHA designated in this area has direct connectivity to the San Elijo Ecological Reserve located further north, and has high biological value due to its size, diversity, and adjacency to a state protected reserve. Areas between the currently designated ESHA to the north and 448 Marview Drive consist exclusively of dense urban development and ornamental vegetation, restricting potential movement of native wildlife, seed, or plant propagules.

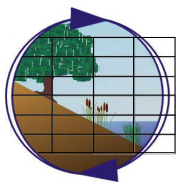
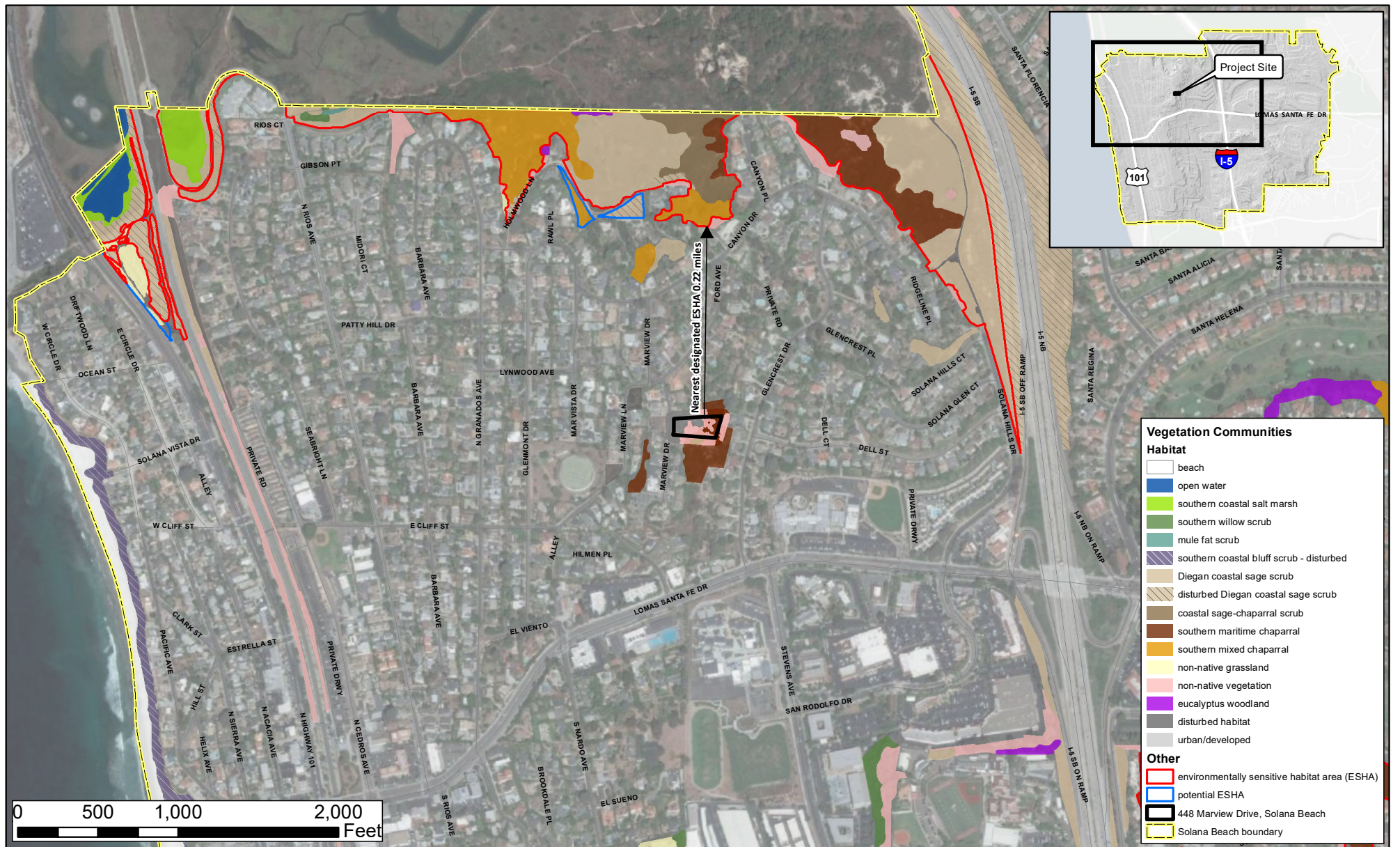
The isolation, surrounding land use, and encroachment of non-native vegetation into the native habitats proximal to 448 Marview Drive has largely decreased its biological value in a greater regional context and thus would not be considered an ESHA. The fragmentation of native habitats from urban development over time has resulted in the isolation of smaller pockets of native vegetation throughout the City. These isolated areas of native habitat may be of greater biological value when in close proximity to other habitat providing “stepping stones” or wildlife corridors.

Independently, the onsite southern maritime chaparral and Diegan coastal sage scrub habitats are unique and of moderate quality and should continue to persist on their own as these habitats have adapted for the xeric drought conditions that the region has been experiencing over the last decade. The City LUP requires the protection of native trees from impacts due to development and fuel modification activities, including toyon and mission manzanita that were identified on site. If fuel modification activities are required in the future, the trimming of surrounding non-native vegetation in the area would be preferred over the trimming or clearing of native species, in order to preserve the integrity of the native habitat.

Conclusion

The site-specific field survey conducted on October 13 generally reflected the results from the citywide ESHA update that M&A performed in 2018, adding enhanced habitat mapping precision, refinement, and analysis to the original study. Both studies were consistent in the determination of the presence of native habitats but concluded that those habitats within and adjacent to the site were not designated as ESHA due their isolation, fragmentation, proximity to urban development, and continued degradation from surrounding non-native vegetation.

The currently proposed renovation project at 448 Marview Drive will not result in any impacts to ESHA or native habitat (i.e., southern maritime chaparral, Diegan coastal sage scrub habitat). The proposed development of a SFR and landscape within the existing development footprint consists of the same residential use and activities as the current conditions; therefore, the existing buffers that separate native habitats from development will remain unchanged. The existing chain-link fencing that separates the proposed development from native habitats will continue to provide protection to sensitive habitats during construction; therefore, no further installation of construction fencing or demarcation of native habitats is recommended. Additionally, it is expected that the steep topography where the onsite and adjacent native habitat occurs may preclude pedestrian access and limit other potential construction temporary impacts to wildlife such as noise and light intrusion.



Regional Setting Map
448 Marview Drive, Solana Beach

Figure 3

Vegetation management policies contained in the City LUP provide additional measures of protection for onsite native species; therefore, no further protection or buffering is recommended for this non-designated ESHA area.

If you have any questions regarding this analysis or need any additional information, please do not hesitate to contact M&A biologist, Adam Behle (Project Manager), at abehle@merkelinc.com or (858) 560-5465.

Sincerely,

A handwritten signature in black ink that reads "Adam H. Behle". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Adam H. Behle
Senior Biologist

References

- California Department of Fish and Wildlife (CDFW) California Natural Diversity Database (CNDDDB). 2021. January 2021. State and Federally Listed Endangered, Threatened, and Rare Plants of California. California Department of Fish and Wildlife. Sacramento, CA. Available from: [State and Federally Listed Endangered, Threatened, and Rare Plants of California](#)
- California Department of Fish and Wildlife, U.S. Fish and Wildlife Service, and Conservation Biology Institute. 2003. Volume III, MHCP Biological Monitoring and Management Plan. Administered by SANDAG for the Cities of Carlsbad, Encinitas, Escondido, Oceanside, San Marcos, Solana Beach, and Vista. Prepared for the Multiple Habitat Conservation Program. 6 Sections + appendices.
- City of Solana Beach. 2013 Amended 2014. City of Solana Beach Local Coastal Plan. 9 Sections + appendices.
- Digital Globe. 2021. ESRI imagery basemaps.
- Google Earth Pro™. V 7.3.3.7699 [Software]. 2021. Available from: <http://www.earth.google.com>. Accessed 2021.
- Holland RF. 1986. Preliminary Descriptions of the Terrestrial Natural Communities of California. Nongame-Heritage Program, State of California, Resources Agency, Department of Fish and Wildlife. Sacramento, California. 157pp.
- Merkel & Associates, Inc. (M&A). 2018. City of Solana Beach Land Use Plan ESHA Mapping Update Project. Dated October 8, 2018. Prepared for Summit Environmental Group, Inc. 17 pp.
- Microsoft Corporation. 2021. Bing Maps. Available from: <https://www.bing.com/maps>.
- Oberbauer T, Kelly M, Buegge J. 2008, Revised 1996 and 2006. Draft Vegetation Communities of San Diego County [Internet]. Based on "Preliminary Descriptions of the Terrestrial Natural Communities of California", Holland RF, PhD., 1986. Available from: http://www.sdcounty.ca.gov/dplu/docs/Veg_Comm_SDCounty_2008.pdf.
- Rebman JP, Simpson MG. 2014. Checklist of the Vascular Plants of San Diego County, 5th Edition [Internet]. San Diego Natural History Museum and San Diego State University. ISBN 0-918969-08-5. Available from: <http://www.sdnhm.org/files/9314/3897/4678/SDCoChecklist5ed2014.pdf>
- U.S. Fish and Wildlife Service (USFWS), Carlsbad Fish and Wildlife Office (CFWO). 2019. GIS Division Species Occurrence Data Download (zip) updated May 2019. <http://www.fws.gov/carlsbad/giswebpage/giswebpage.htm>

APPENDIX 1. PHOTOS



Photo Point 1. Photo facing west showing existing single family residence and enclosed yard. Photo taken October 13, 2021.

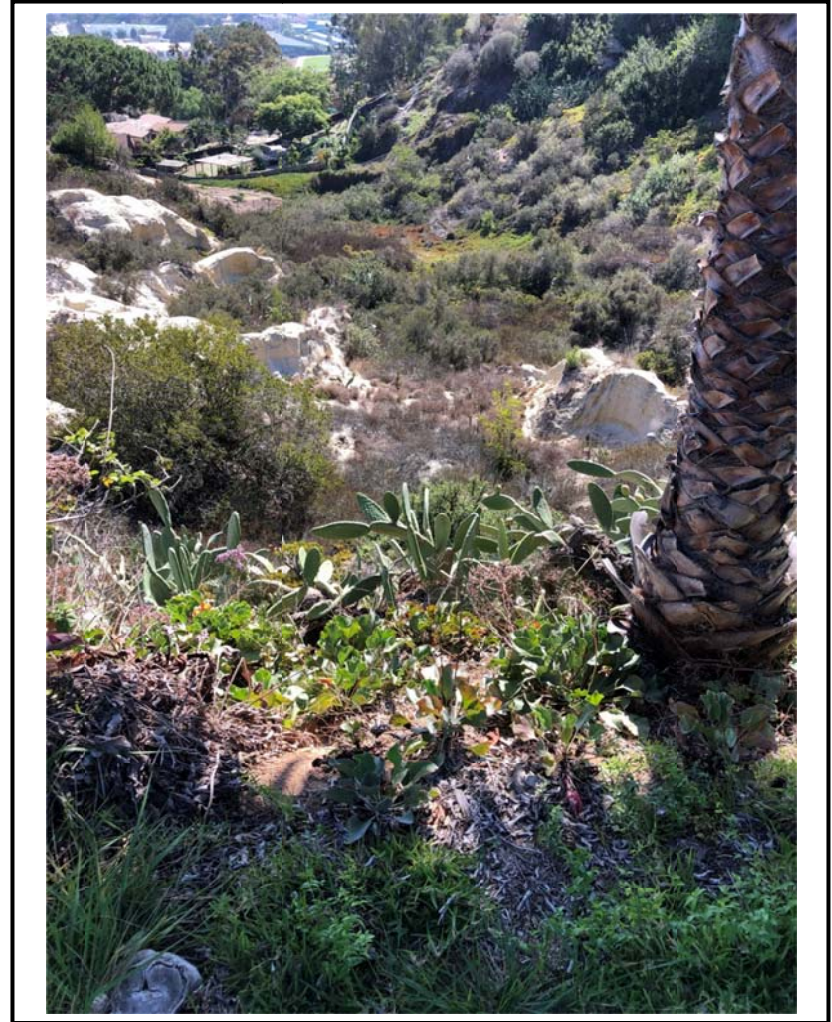


Photo Point 2. Photo facing southwest toward small canyon located offsite of 448 Marview Drive parcel. Photo taken October 13, 2021.

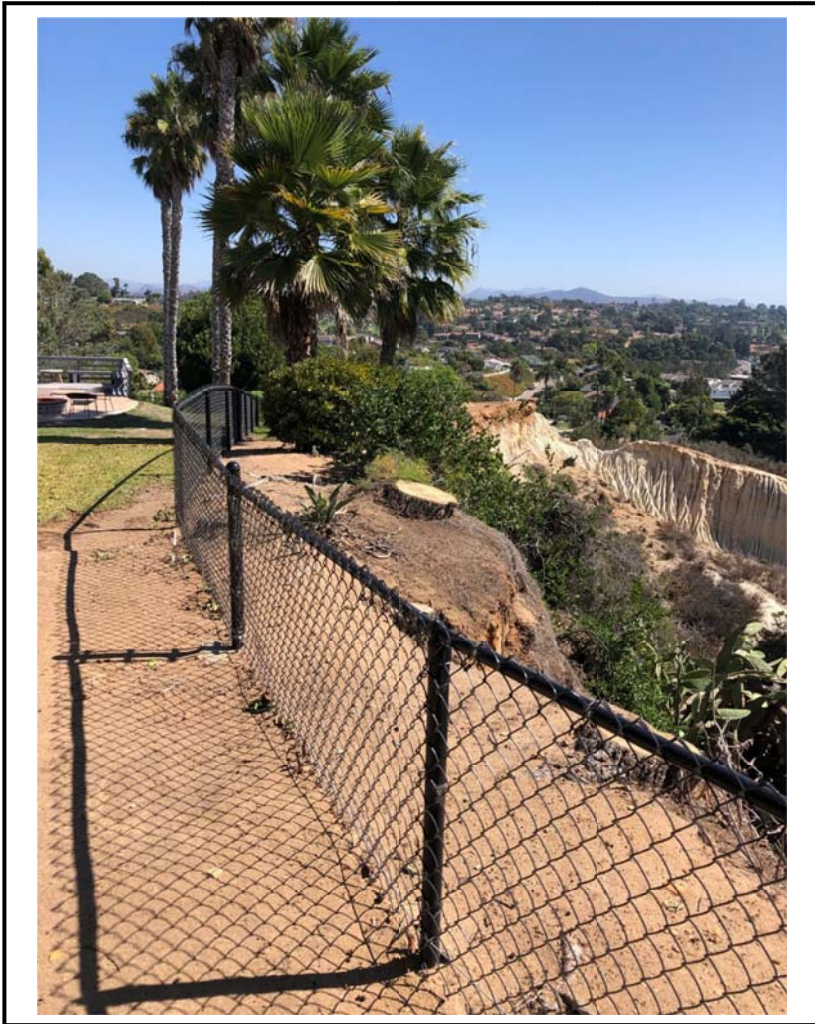


Photo Point 3. Photo facing southeast near southern boundary of parcel at non-native vegetation and eroded topography of offsite canyon. Photo taken October 13, 2021.

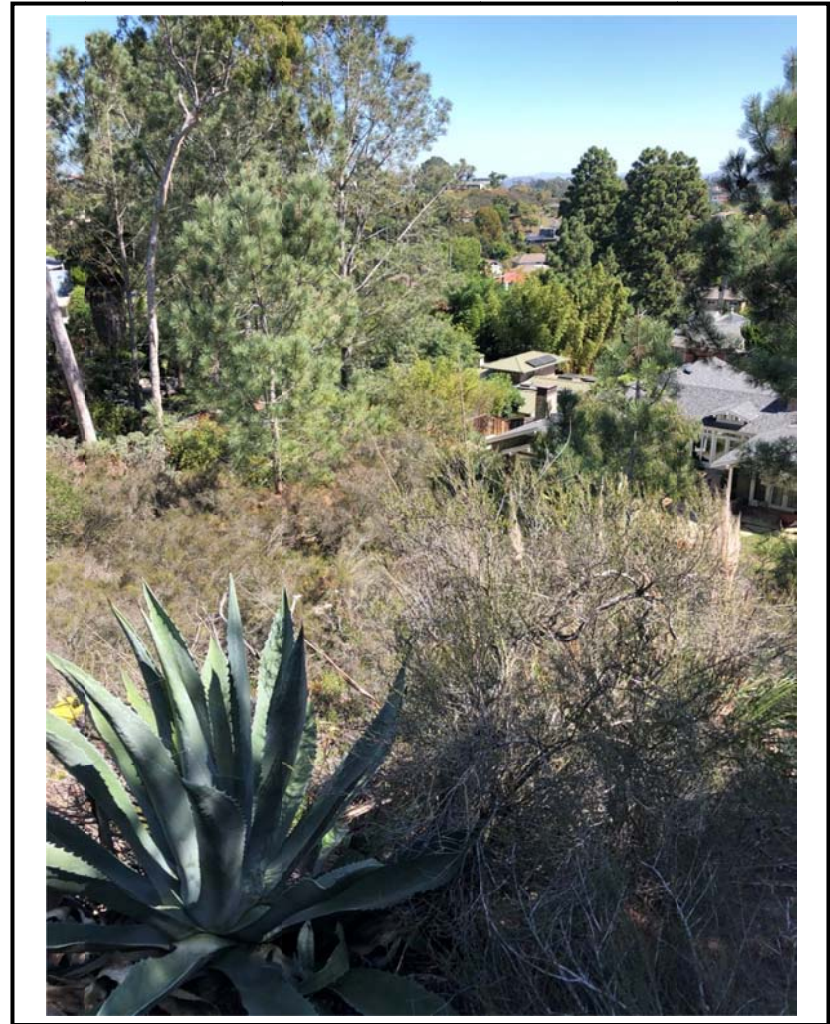


Photo Point 4. Photo facing northeast at narrow band of southern maritime chaparral habitat located within non-native vegetation along the eastern boundary of the 448 Marview Drive parcel. Photo taken October 13, 2021.

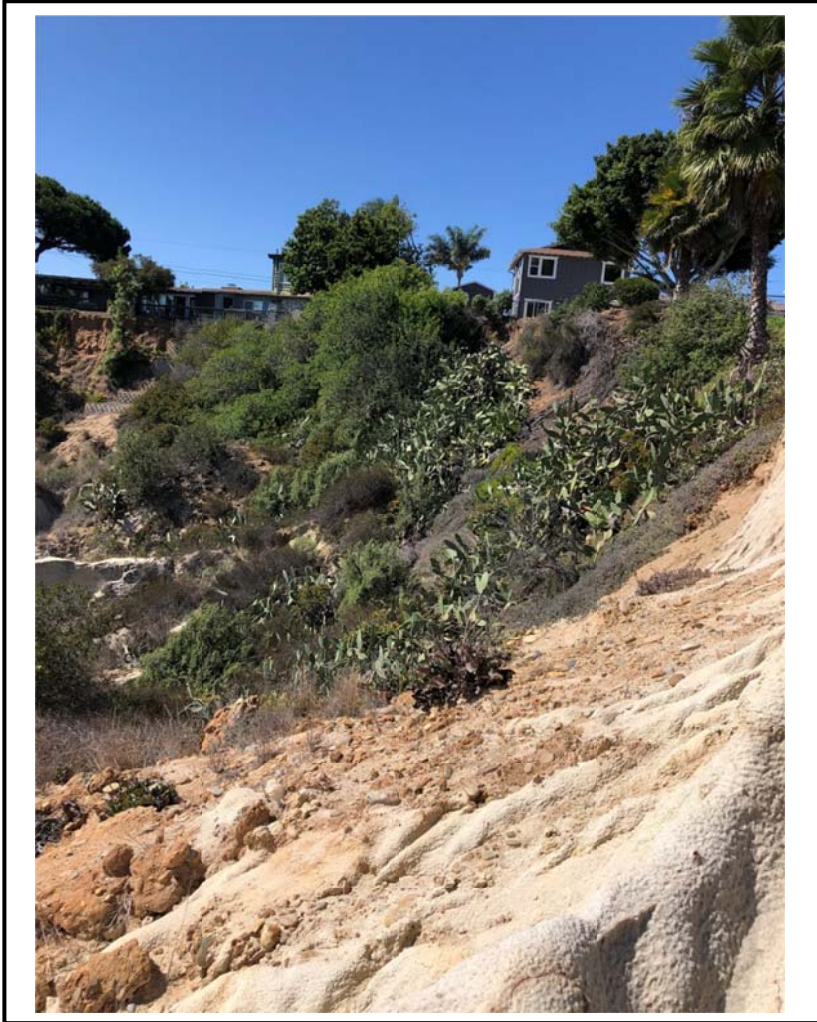


Photo Point 5. Photo facing northwest near southeast boundary of parcel at non-native vegetation (predominantly mission prickly-pear) and eroded topography. Photo taken October 13, 2021.

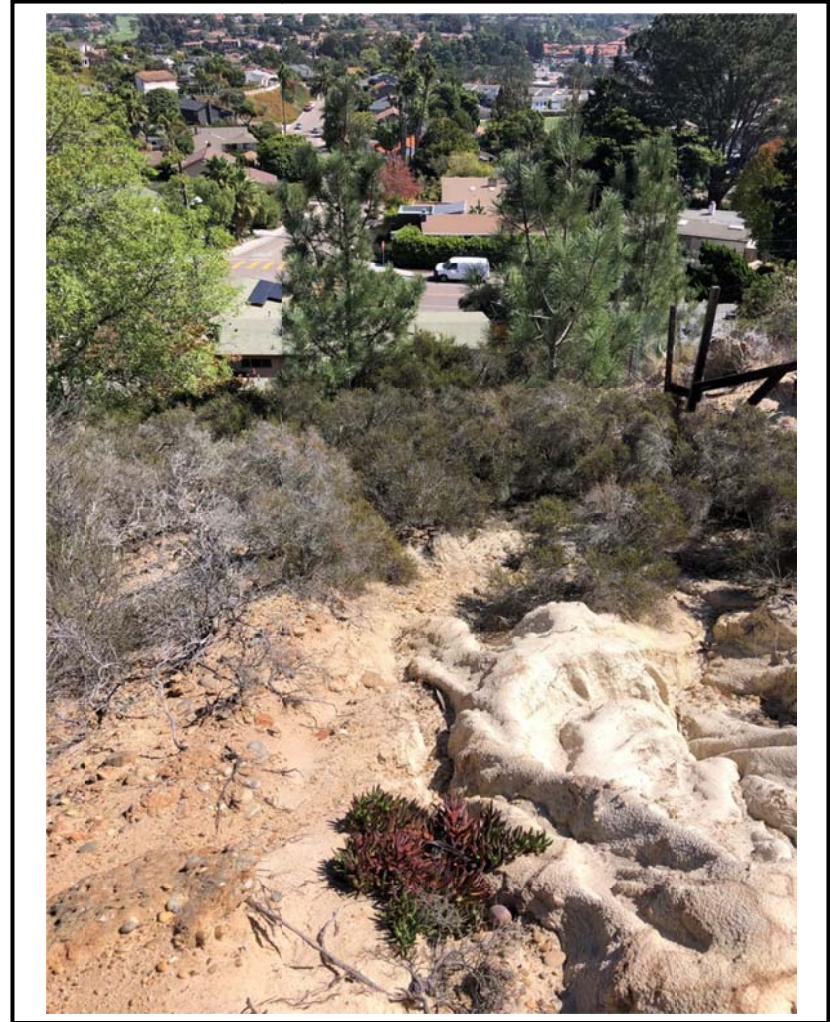


Photo Point 6. Photo facing southeast at narrow band of southern maritime chaparral habitat located at the southeastern corner of the 448 Marview Drive parcel. Photo taken October 13, 2021.

448 MARVIEW DRIVE ESHA ASSESSMENT

To: Tiffany Wade, Assistant Planner
From: Emily Mastrelli, Harris & Associates
RE: Third-Party Review of the 448 Marview Drive ESHA Assessment
Date: October 31, 2022

Harris & Associates (Harris) conducted a project site assessment and third-party review of the 448 Marview Drive (Assessor's Parcel Number 263-182-07) Environmentally Sensitive Habitat Area Assessment (ESHA Assessment) prepared by Merkel & Associates (October 2021). This letter provides a summary of the recommended pertinent revisions based on review of the ESHA Assessment and observations made during the site visit. Accompanying this letter is a copy of the ESHA Assessment as a PDF with comments recommending specific revisions to the ESHA Assessment.

Project Site Assessment

Harris biologists conducted a brief site visit on October 27, 2022, to assist with third-party review of the ESHA Assessment. The purpose of the site visit was to assess the project site in comparison to the site conditions and results presented in the ESHA Assessment.

The identified and mapped vegetation communities documented in the ESHA Assessment appear to be accurate in terms of location and identification. Harris biologists were able to observe and positively identify the southern maritime chaparral, Diegan social sage scrub, non-native vegetation, and urban developed land previously mapped by Merkel & Associates. Therefore, based on the results of the site assessment conducted by Harris, no changes to the resource mapping are recommended.

ESHA Assessment

After comparing the ESHA Assessment to observed site conditions and reviewing the ESHA Assessment, Harris concurs with the original assessment that no ESHA is present on or adjacent to the site. The SanGIS SanBIOS database (SanGIS 2022) shows the nearest ESHA location less than 0.25 mile to the north.

General Comments

- The site is referred to as the "residence," the "parcel," and the "development." Consider distinguishing each of these terms for clarity.

Results

- Paragraph 2, sentence 2: Recommend clarifying that the undeveloped areas (grass, ornamental shrubs, and trees) are included under the non-native vegetation.
- Paragraph 3, sentence 1: Recommend clarifying that the map shown on Figure 2 is the result of Merkel & Associates mapping efforts.
- Paragraph 6: Recommend adding a description of the landscaped grasses and other species in the undeveloped portion of the backyard.
- Figure 3: Rename the red line depicting the ESHA to "ESHA boundary."



If you have any questions regarding this review, please contact Emily Mastrelli at Emily.Mastrelli@WeAreHarris.com or (619) 510-5372.

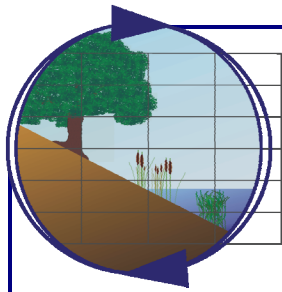
Sincerely,

Emily Mastrelli (Senior Review)
Principal Biologist
Emily.Mastrelli@WeAreHarris.com
(619) 510-5372

Kelsea Loescher (Author/Analyst)
Biologist

References

SanGIS (San Diego Geographic Information Source). "San Diego Geographic Information Source." Accessed October 2022. <https://www.sangis.org/>.



Merkel & Associates, Inc.

5434 Ruffin Road, San Diego, CA 92123

Tel: 858/560-5465 • Fax: 858/560-7779

October 22, 2021

M&A #21-058-01

Mrs. Kimeya and Mr. Todd Johansen
448 Marview Drive
Solana Beach, Ca 92075

Re: Initial ESHA Analysis of 448 Marview Drive (APN 263-182-07)

Dear Mrs. and Mr. Johansen:

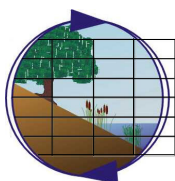
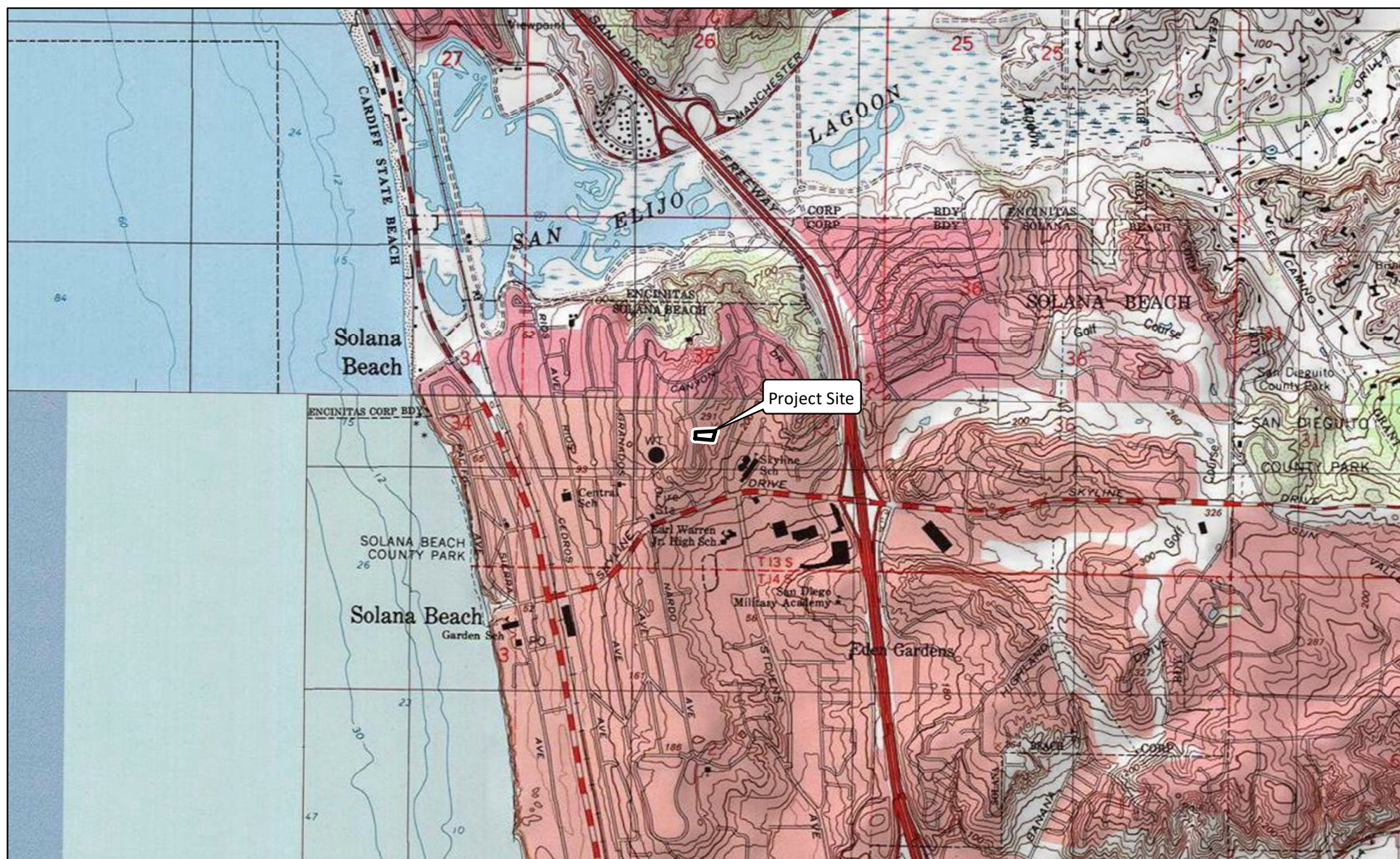
The purpose of this letter is to provide a brief analysis of APN 263-182-07 to determine the presence or absence of Environmentally Sensitive Habitat Area (ESHA) within or adjacent to the parcel boundary. The proposed project includes new construction to replace an existing Single-Family Residence (SFR), swimming pool, and landscape located at 448 Marview Drive in the City of Solana Beach, California (Figure 1).

Previously, the 2013 adopted City of Solana Beach (City) Land Use Plan (LUP) identified the presence of *potential* ESHA within and adjacent to 448 Marview Drive. Results from a more recent citywide ESHA update that Merkel & Associates (M&A) performed in 2018 determined that 448 Marview Drive included native habitat (southern maritime chaparral); however, the site was not designated as ESHA due its isolation, proximity to urban development, and surrounding non-native vegetation (M&A, 2018). This letter expands on this determination by examining the 448 Marview Drive parcel with greater site-specific detail.

Methods

Prior to the initiation of the field survey, historical and currently available biological literature and data pertaining to the project area was reviewed. This review included previous project site and project area biological studies and documents including the City of Solana Beach Land Use Plan ESHA Mapping Update Project (M&A 2018); as well as aerial photography from Microsoft (Bing 2020) and ESRI imagery basemaps: (Digital Globe 2021) and Google Earth Pro (2021); and sensitive species records from USFWS and CNDDDB GIS databases (2021) for the project vicinity, where applicable.

A field survey was conducted on October 13, 2021 by M&A Senior Biologists Adam Behle and Gina Krantz. Undeveloped areas of the parcel, including a 50-foot wide habitat mapping buffer outside of the parcel boundary, were examined and photographed, noting dominant native and non-native flora, topographic features, and land uses. Onsite and surrounding habitats were mapped based on the observed flora. Vegetation communities were identified and re-mapped utilizing the most recent publicly available aerial photographs.



Project Vicinity Map

448 Marview Drive, Solana Beach

Source: USGS 7.5' Del Mar, CA Quadrangle

Figure 1

Results

The existing residence of 448 Marview Drive is located along the top of a small canyon that is completely surrounded by urban development. The residence overlooks the canyon to the east and south, which consists predominantly of non-native vegetation, eroded sandstone, and pockets of disturbed native vegetation. The parcel is bordered to the north and west by single family residences and urban development. A chain-link fence separates the existing development and outdoor living space from all mapped native habitats. All proposed development has been designed to occur within the limits of the existing chain-link fence.

The 448 Marview Drive parcel includes three vegetation communities consisting of non-native vegetation (NNV), southern maritime chaparral (SMC), and Diegan coastal sage scrub (DCSS), in addition to urban/developed lands (Figure 2). Undeveloped areas within the parcel boundary typically consist of urban landscape (i.e., turf, ornamental shrubs and trees) in addition to a linear band of disturbed SMC that generally runs along the eastern parcel boundary. Several small remnants of DCSS habitat were also observed, interspersed within the areas of NNV.

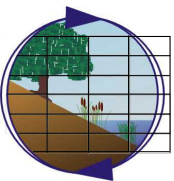
The enhanced, site-specific mapping of the site based on the October 13, 2021 field survey resulted in an increased amount of NNV mapped on-site, compared to the mapping and findings of the updated 2018 citywide ESHA analysis. Discrepancies between the two mapping efforts are attributed to the lack of access to the privately owned central canyon area during the 2018 mapping update, and the reliance upon aerial imagery for mapping of the area. Table 1 lists acreages for each vegetation community mapped onsite during the October field survey and proposed impact acreages. Photographs of the existing conditions of site and surrounding lands are provided in Appendix 1.

Table 1. Vegetation Communities

Habitat Type	Onsite Acreage*	Impacted Acreage
Habitat Group B**	0.33	
Southern Maritime Chaparral (37C30)		none
Habitat Group C	0.08	
Diegan Coastal Sage Scrub (32500)		none
Habitat Group F	0.75	
Non-Native Vegetation (11000)	0.71	none
Urban/Developed (12000)	1.46	N/A
Group F Subtotal	0.33	
Total	1.87	

*Acreage has been rounded to nearest hundredths for all habitats, and totals reflect overall rounding.

**Habitat Groups refer to the Multiple Habitat Conservation Program (MHCP) Habitat Classification System, with numerical codes from Holland (1986) and/or Oberbauer (2008). Groups include disturbed habitat.



Biological Resources Map
448 Marview Drive, Solana Beach

Figure 2

Key species identified within disturbed southern maritime chaparral included chamise (*Adenostoma fasciculatum*), black sage (*Salvia mellifera*), toyon (*Heteromeles arbutifolia*), white sage (*Salvia apiana*), mission manzanita (*Xylococcus bicolor*), wart-stemmed ceanothus (*Ceanothus verrucosus*), and coast prickly-pear (*Opuntia littoralis*). The wart-stemmed ceanothus was observed approximately 50 feet outside of the southeast parcel boundary and is listed as a moderately threatened rare plant in California by the California Native Plant Society. This habitat has moderate biological value; however, encroachment by non-native species found spreading from the surrounding residential development has resulted in degradation of the habitat.

Disturbed areas of Diegan coastal sage scrub habitat included species such as: California sagebrush (*Artemisia californica*), laurel sumac (*Malosma laurina*), flat-top buckwheat (*Eriogonum fasciculatum*), lemonadeberry (*Rhus integrifolia*), black sage, and coyote brush (*Baccharis pilularis*). The majority of this habitat is located offsite in lower elevations of the canyon situated south of 448 Marview Drive, and interfaces with dense non-native vegetation that cascades from the backyards of residences located along the rim of the eroded canyon.

Dominant non-native vegetation observed on site included iceplant (*Carpobrotus edulis*), jade (*Crassula ovata*), Mexican fan palm (*Washingtonia robusta*), mission prickly pear (*Opuntia ficus indica*), asparagus (*Asparagus aethiopicus*), pampas grass (*Cortaderia selloana*), elephant bush (*Portulacaria afra*), smilo grass (*Stipa miliacea* var. *miliacea*), and numerous other non-native grasses. Ornamental landscape plantings and other non-native species from adjacent residences generally trail down the steeply eroded slopes to the canyon bottomlands located south of the 448 Marview Drive parcel boundary.



Surrounding land uses have also continued to degrade the remaining southern maritime chaparral and Diegan coastal sage scrub in the vicinity of 448 Marview Drive, particularly in the small canyon located south of the residence. Residential development in this area has allowed for the continued spread of non-native species via increased irrigation and maintenance activities, both of which have likely contributed to erosion and bluff failure in parts of the canyon. Brush management and fuel modification activities have also decreased areas of native vegetation adjacent to residential development on the southern margin of the canyon. These areas feature cleared vegetation, bare ground, and expansive plantings of iceplant and other ornamental landscape species.

ESHA Analysis

The Coastal Act and City LUP defines ESHA as: “Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments...”. Additional clarification of ESHA is provided in the LUP, which provides specific exclusions for candidates of potential areas for ESHA. Exclusions of otherwise appropriate areas of rare or valuable habitat are typically due to urban isolation or proximity to disturbed and developed lands. The disturbed southern maritime chaparral and Diegan coastal sage scrub that occupies portions of the project site have moderate biological value; however, the diminutive size, habitat isolation, fragmentation, and continued degradation would largely exclude it from being ESHA on its own.

No designated ESHA is located onsite or within the adjacent isolated canyon. The closest designated ESHA to 448 Marview Drive that was mapped during the 2018 citywide ESHA update included a stretch of southern mixed chaparral, coastal sage chaparral scrub, and Diegan coastal sage scrub located approximately 1,162 feet north of 448 Marview Drive (Figure 3). ESHA designated in this area has direct connectivity to the San Elijo Ecological Reserve located further north, and has high biological value due to its size, diversity, and adjacency to a state protected reserve. Areas between the currently designated ESHA to the north and 448 Marview Drive consist exclusively of dense urban development and ornamental vegetation, restricting potential movement of native wildlife, seed, or plant propagules.

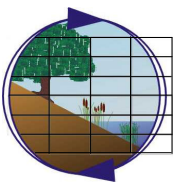
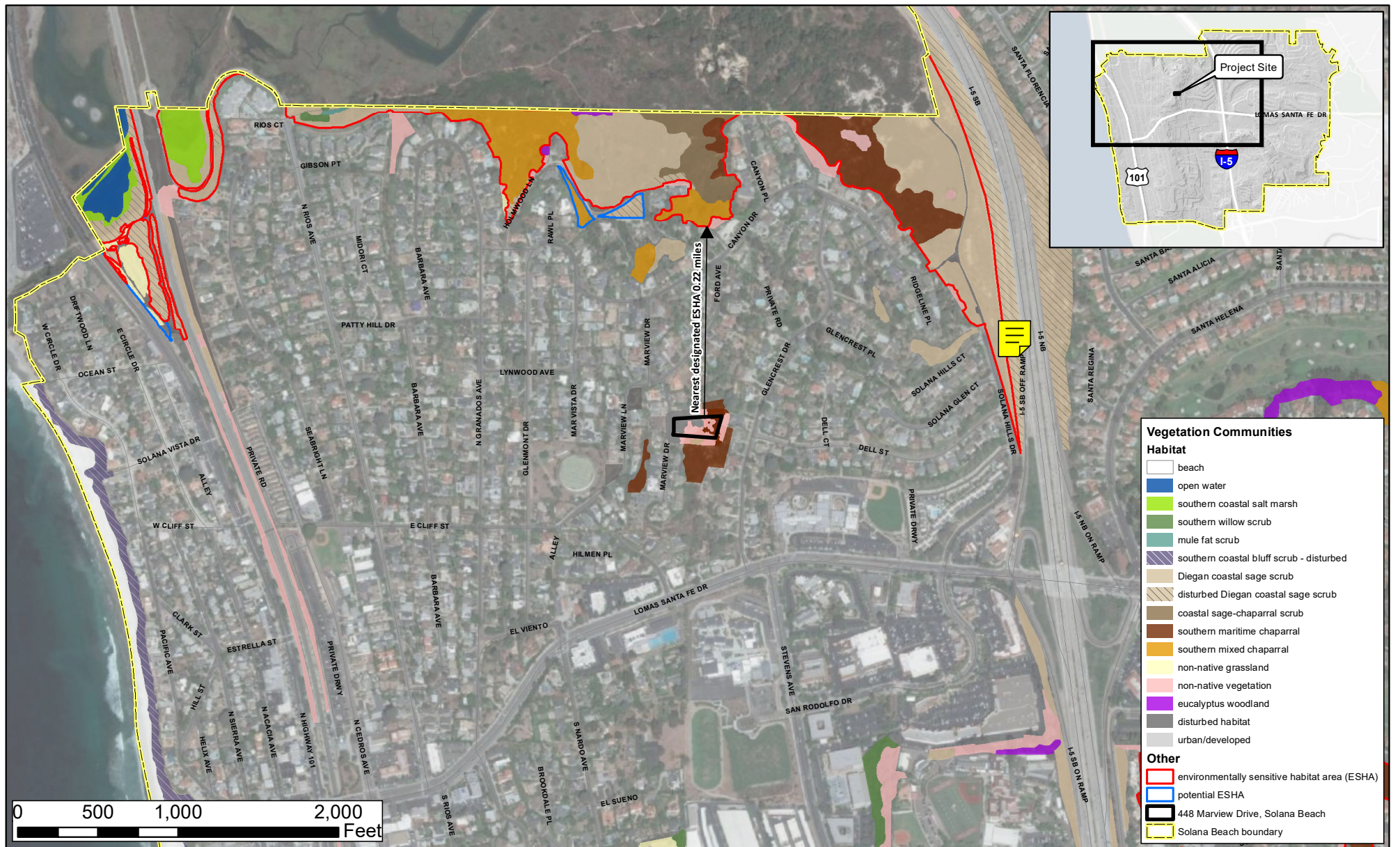
The isolation, surrounding land use, and encroachment of non-native vegetation into the native habitats proximal to 448 Marview Drive has largely decreased its biological value in a greater regional context and thus would not be considered an ESHA. The fragmentation of native habitats from urban development over time has resulted in the isolation of smaller pockets of native vegetation throughout the City. These isolated areas of native habitat may be of greater biological value when in close proximity to other habitat providing “stepping stones” or wildlife corridors.

Independently, the onsite southern maritime chaparral and Diegan coastal sage scrub habitats are unique and of moderate quality and should continue to persist on their own as these habitats have adapted for the xeric drought conditions that the region has been experiencing over the last decade. The City LUP requires the protection of native trees from impacts due to development and fuel modification activities, including toyon and mission manzanita that were identified on site. If fuel modification activities are required in the future, the trimming of surrounding non-native vegetation in the area would be preferred over the trimming or clearing of native species, in order to preserve the integrity of the native habitat.

Conclusion

The site-specific field survey conducted on October 13 generally reflected the results from the citywide ESHA update that M&A performed in 2018, adding enhanced habitat mapping precision, refinement, and analysis to the original study. Both studies were consistent in the determination of the presence of native habitats but concluded that those habitats within and adjacent to the site were not designated as ESHA due their isolation, fragmentation, proximity to urban development, and continued degradation from surrounding non-native vegetation.

The currently proposed renovation project at 448 Marview Drive will not result in any impacts to ESHA or native habitat (i.e., southern maritime chaparral, Diegan coastal sage scrub habitat). The proposed development of a SFR and landscape within the existing development footprint consists of the same residential use and activities as the current conditions; therefore, the existing buffers that separate native habitats from development will remain unchanged. The existing chain-link fencing that separates the proposed development from native habitats will continue to provide protection to sensitive habitats during construction; therefore, no further installation of construction fencing or demarcation of native habitats is recommended. Additionally, it is expected that the steep topography where the onsite and adjacent native habitat occurs may preclude pedestrian access and limit other potential construction temporary impacts to wildlife such as noise and light intrusion.



Regional Setting Map
448 Marview Drive, Solana Beach

Figure 3

Vegetation management policies contained in the City LUP provide additional measures of protection for onsite native species; therefore, no further protection or buffering is recommended for this non-designated ESHA area.

If you have any questions regarding this analysis or need any additional information, please do not hesitate to contact M&A biologist, Adam Behle (Project Manager), at abehle@merkelinc.com or (858) 560-5465.

Sincerely,

A handwritten signature in black ink that reads "Adam H. Behle". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Adam H. Behle
Senior Biologist

References

- California Department of Fish and Wildlife (CDFW) California Natural Diversity Database (CNDDDB). 2021. January 2021. State and Federally Listed Endangered, Threatened, and Rare Plants of California. California Department of Fish and Wildlife. Sacramento, CA. Available from: [State and Federally Listed Endangered, Threatened, and Rare Plants of California](#)
- California Department of Fish and Wildlife, U.S. Fish and Wildlife Service, and Conservation Biology Institute. 2003. Volume III, MHCP Biological Monitoring and Management Plan. Administered by SANDAG for the Cities of Carlsbad, Encinitas, Escondido, Oceanside, San Marcos, Solana Beach, and Vista. Prepared for the Multiple Habitat Conservation Program. 6 Sections + appendices.
- City of Solana Beach. 2013 Amended 2014. City of Solana Beach Local Coastal Plan. 9 Sections + appendices.
- Digital Globe. 2021. ESRI imagery basemaps.
- Google Earth Pro™. V 7.3.3.7699 [Software]. 2021. Available from: <http://www.earth.google.com>. Accessed 2021.
- Holland RF. 1986. Preliminary Descriptions of the Terrestrial Natural Communities of California. Nongame-Heritage Program, State of California, Resources Agency, Department of Fish and Wildlife. Sacramento, California. 157pp.
- Merkel & Associates, Inc. (M&A). 2018. City of Solana Beach Land Use Plan ESHA Mapping Update Project. Dated October 8, 2018. Prepared for Summit Environmental Group, Inc. 17 pp.
- Microsoft Corporation. 2021. Bing Maps. Available from: <https://www.bing.com/maps>.
- Oberbauer T, Kelly M, Buegge J. 2008, Revised 1996 and 2006. Draft Vegetation Communities of San Diego County [Internet]. Based on "Preliminary Descriptions of the Terrestrial Natural Communities of California", Holland RF, PhD., 1986. Available from: http://www.sdcounty.ca.gov/dplu/docs/Veg_Comm_SDCounty_2008.pdf.
- Rebman JP, Simpson MG. 2014. Checklist of the Vascular Plants of San Diego County, 5th Edition [Internet]. San Diego Natural History Museum and San Diego State University. ISBN 0-918969-08-5. Available from: <http://www.sdnhm.org/files/9314/3897/4678/SDCoChecklist5ed2014.pdf>
- U.S. Fish and Wildlife Service (USFWS), Carlsbad Fish and Wildlife Office (CFWO). 2019. GIS Division Species Occurrence Data Download (zip) updated May 2019. <http://www.fws.gov/carlsbad/giswebpage/giswebpage.htm>

APPENDIX 1. PHOTOS



Photo Point 1. Photo facing west showing existing single family residence and enclosed yard. Photo taken October 13, 2021.

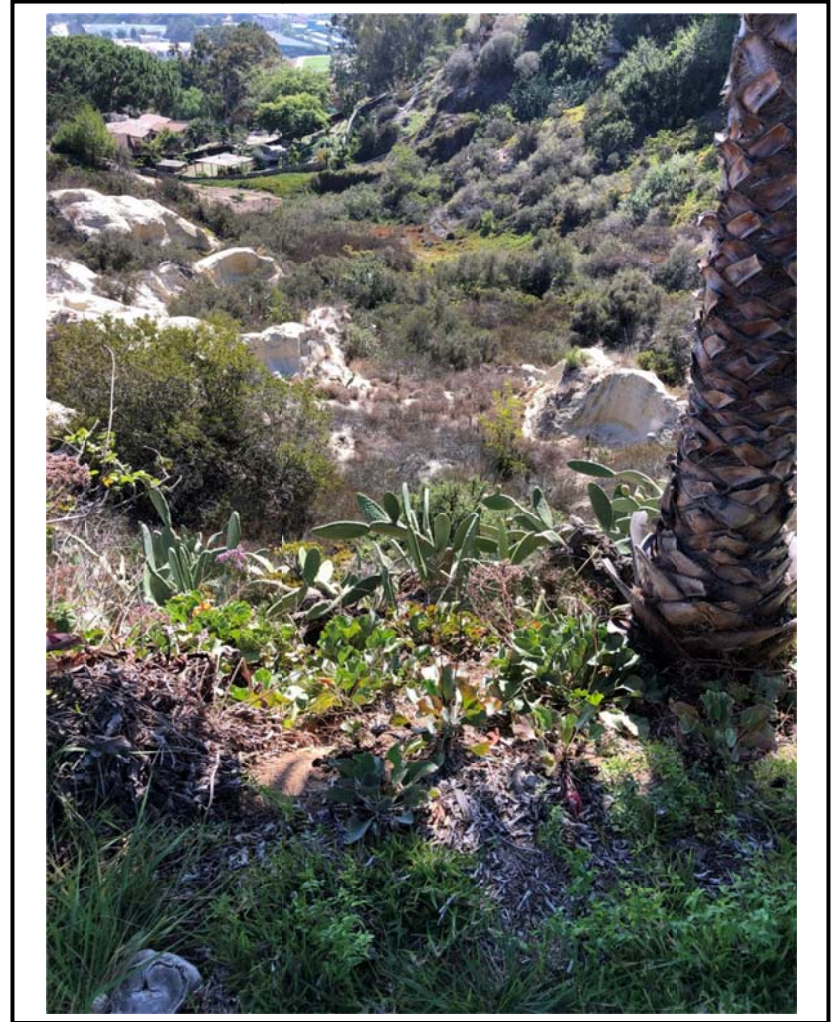


Photo Point 2. Photo facing southwest toward small canyon located offsite of 448 Marview Drive parcel. Photo taken October 13, 2021.

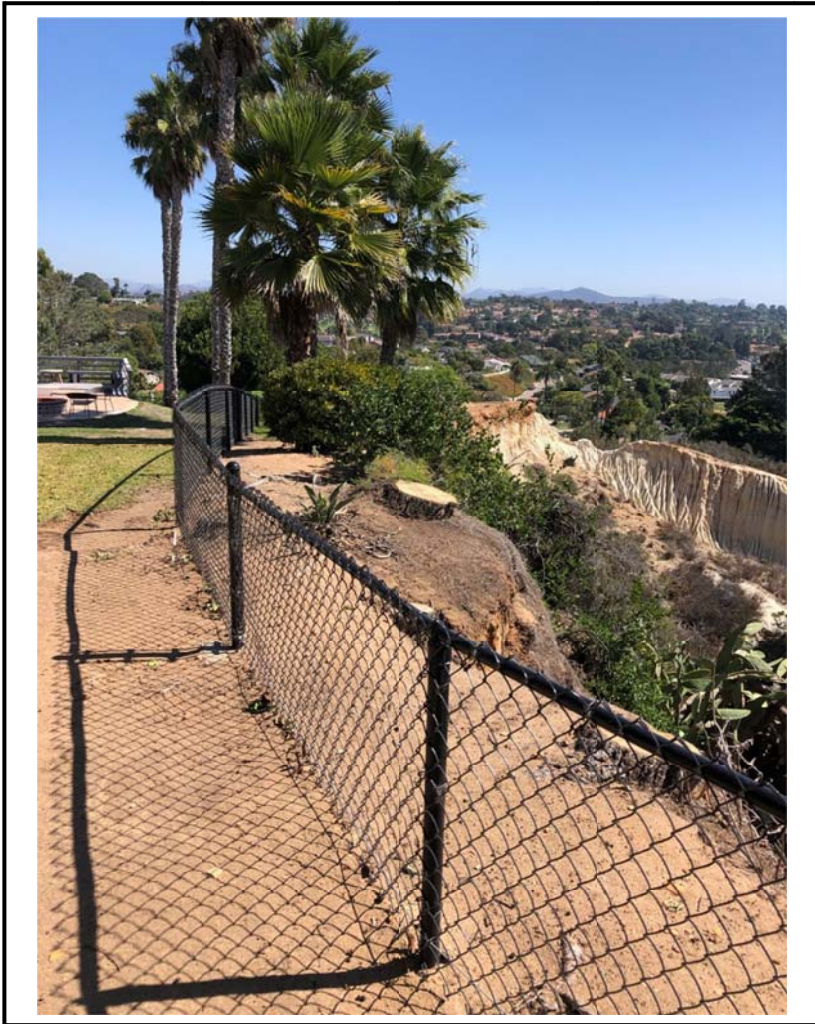


Photo Point 3. Photo facing southeast near southern boundary of parcel at non-native vegetation and eroded topography of offsite canyon. Photo taken October 13, 2021.

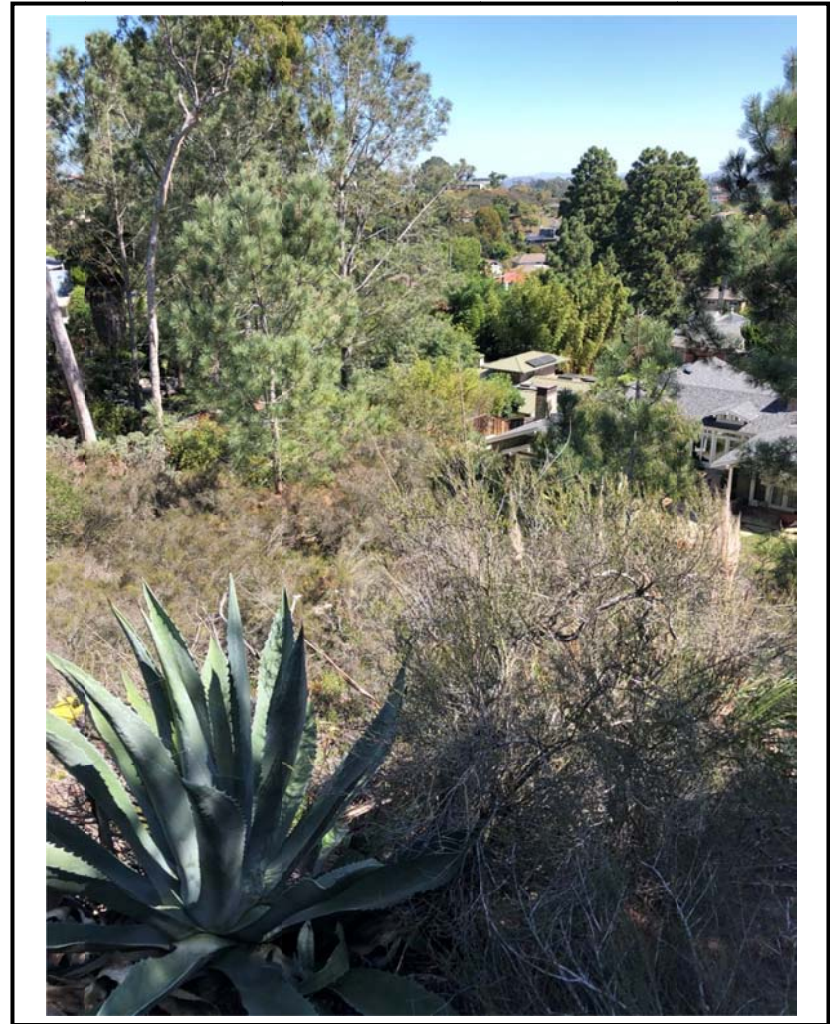


Photo Point 4. Photo facing northeast at narrow band of southern maritime chaparral habitat located within non-native vegetation along the eastern boundary of the 448 Marview Drive parcel. Photo taken October 13, 2021.

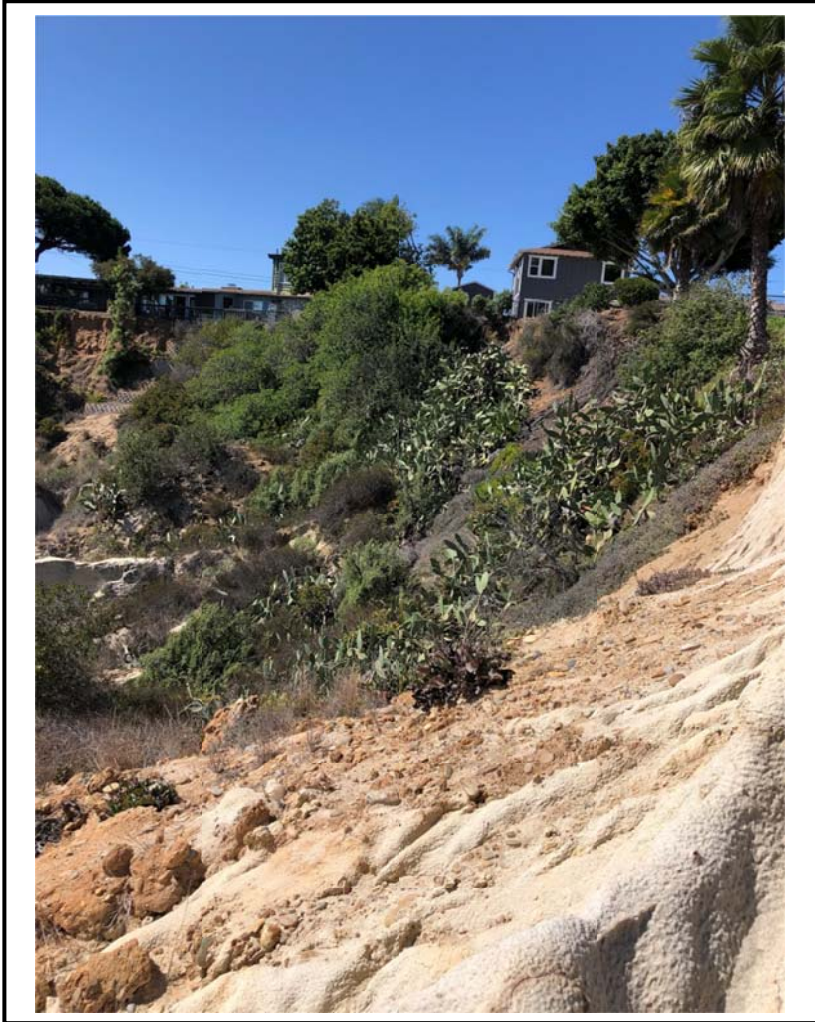


Photo Point 5. Photo facing northwest near southeast boundary of parcel at non-native vegetation (predominantly mission prickly-pear) and eroded topography. Photo taken October 13, 2021.

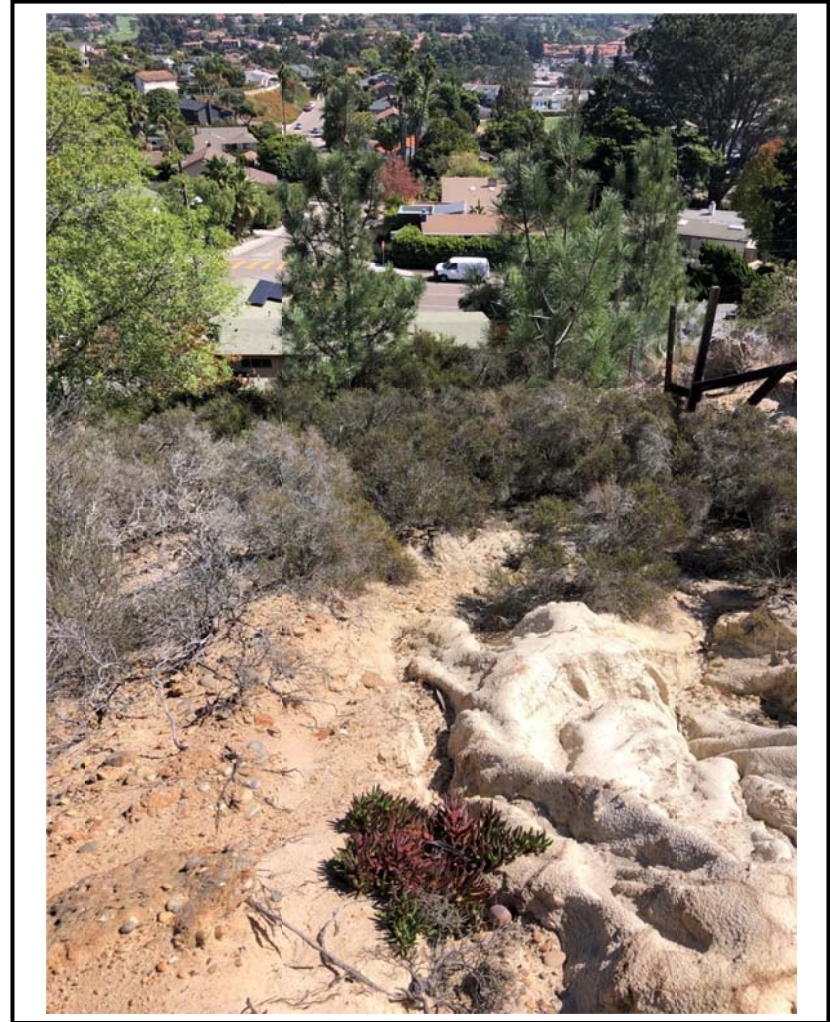


Photo Point 6. Photo facing southeast at narrow band of southern maritime chaparral habitat located at the southeastern corner of the 448 Marview Drive parcel. Photo taken October 13, 2021.



CITY OF SOLANA BEACH

635 SOUTH HIGHWAY 101 • SOLANA BEACH • CALIFORNIA 92075 • (858) 720-2400 • FAX (858) 755-1782

STORY POLE HEIGHT CERTIFICATION

Date: MARCH 3, 2025

Assessor's Parcel No.: 263-182-07

Site Address: 448 MARVIEW DR.

Owner's Name: JOHANSEN

This is to certify that on FEBRUARY 26, 2025 the story poles located on the above referenced site were surveyed by the undersigned, and found to be in conformance with the attached story pole plot plan. In addition, the following measurements were found:

	<u>HIGHEST POINT</u>	<u>TALLEST POINT</u>
Highest point of the story poles:	<u>#5 314.66' (M.S.L.)*</u>	<u>314.66' #5</u>
Pre-existing grade:	<u>(ON ROOF) 298.52' (M.S.L.)*</u>	<u>289.66' (UNDER SLAB)</u>
Finished grade elevation:	<u>289.80 (M.S.L.)*</u>	<u>289.80</u>
Finished floor elevation:	<u>— (M.S.L.)*</u>	<u>—</u>
TOTAL MAXIMUM HEIGHT:	<u>24.86'</u>	<u>25.00'</u>

PLEASE NOTE: The story poles must show and include the total height must include roofing materials. At framing inspection, a Height Certification will be required which must be in exact conformance with the maximum height shown on Story Pole Height Certification.

For additional information, please contact me at 760-224-7653 (phone number)


Licensed Land Surveyor

Seal of Registration:



*Mean Sea Level (MSL) — all measurements must utilize an established benchmark that will not change over the course of the project. TOP CTR SMH IN MARVIEW DR. ELEV. = 286.79

C-STORY POLES, INC.

Chris Collins PLS 8591
 POB 230972 Encinitas, CA 92023
 (760) 224-7653 chris@cstorypoles.com

Johansen Residence
 448 Marview Drive, Solana Beach
 W.O. CSP 23-1692
 CC, RM

2/11/2025
 Page 1 of 2

* "T" T-post, "B" Bucket, "R" Roof, "FS" Finished Surface

SP#	BASE ELEV	PLAN ELEV	C/F LENGTH	DESCRIPTION *
1	289.86	300.70	F - 10.84	T
2	289.79	302.50	F - 12.71	(290.29 T@EVE)T
3*	298.91	312.70	F - 13.79	UPR R
	298.91	302.50	F - 3.59	LWR
4	289.71	312.70	F - 22.99	O.R. B
5	298.52	314.66	F - 16.14	R
6	289.76	312.70	F - 22.95	O.R. T
7*	289.73	312.70	F - 22.97	UPR T
	289.73	307.30	F - 17.57	LWR
8*	289.66	307.30	F - 17.64	UPR T
	289.66	305.00	F - 15.34	LWR
9	289.86	305.00	F - 15.14	T
10*	297.91	305.00	F - 7.09	UPR R
	297.91	302.50	F - 4.59	LWR
11	293.29	302.50	F - 9.21	R
12	284.87	302.50	F - 17.63	B
13	289.41	305.00	F - 15.59	T
14*	299.33	312.70	F - 13.37	UPR R
	299.33	302.50	F - 3.17	LWR
15*	289.64	312.70	F - 23.06	UPR T
	289.64	305.90	F - 16.26	LWR
16*	289.82	312.70	F - 22.89	UPR O.R. T
	289.82	305.90	F - 16.09	LWR
17	289.82	314.66	F - 24.84	T
18**	290.28	312.70	F - 22.42	UPR O.R. T
	290.28	305.90	F - 15.62	MID
	290.28	305.00	F - 14.72	LWR
19	289.74	305.00	F - 15.26	T
20	298.16	305.00	F - 6.84	R
24*	306.64	312.70	F - 6.06	UPR R

VERTICAL BENCHMARK
 SS MANHOLE = 286.79

C-STORY POLES, INC.

Chris Collins PLS 8591

POB 230972 Encinitas, CA 92023

(760) 224-7653 chris@cstorypoles.com

Johansen Residence

448 Marview Drive, Solana Beach

W.O. CSP 23-1692

CC, RM

2/11/2025

Page 1 of 2

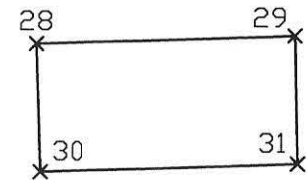
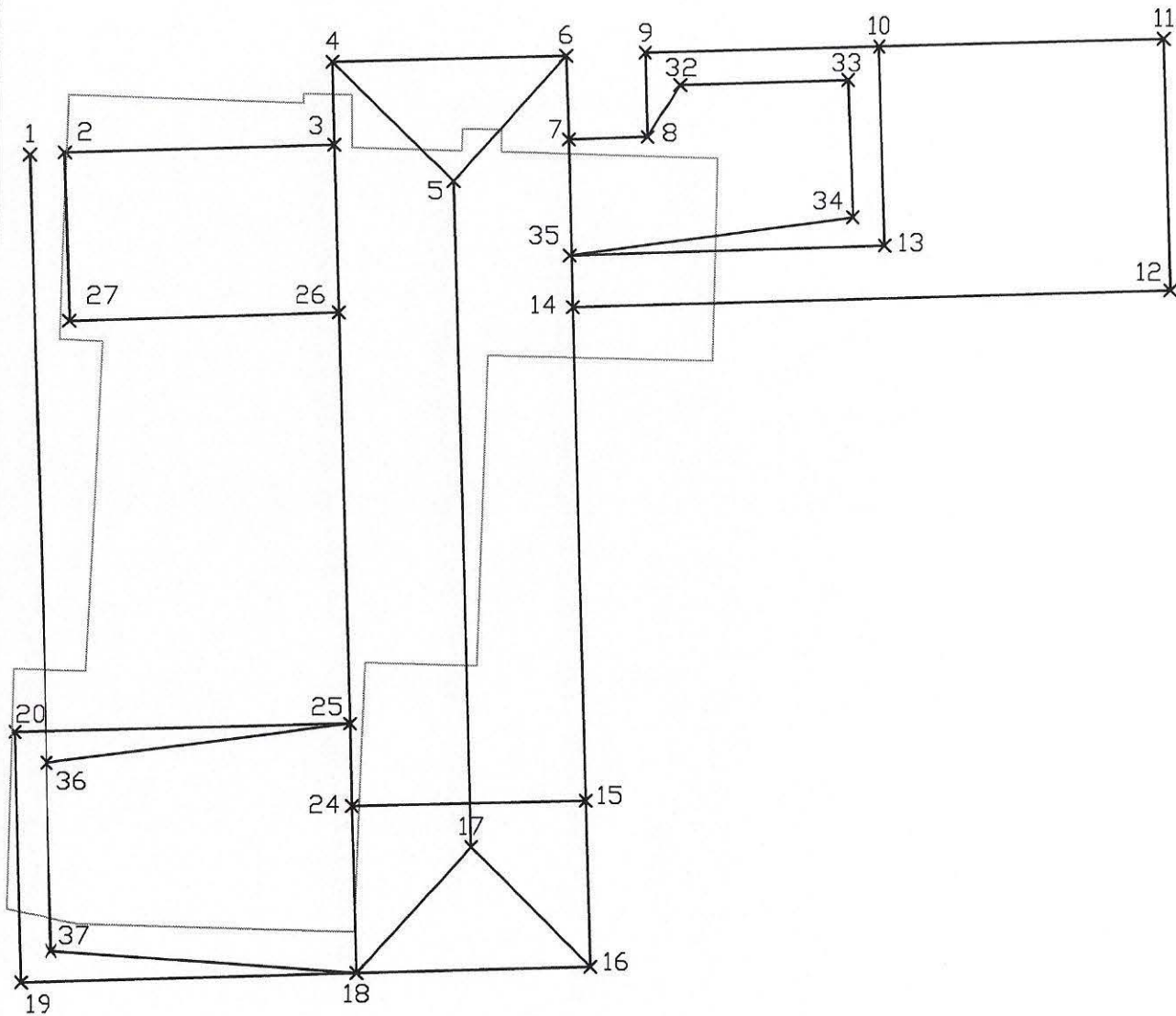
* "T" T-post, "B" Bucket, "R" Roof, "FS" Finished Surface

	306.64	305.90	C- -0.74	LWR	
25*	306.84	305.90	C- -0.94	UPR	R
	306.84	305.00	C- -1.84	LWR	
26*	299.08	312.70	F - 13.63	UPR	R
	299.08	302.50	F - 3.43	LWR	
27	298.36	302.50	F - 4.14		R
28	284.83	297.00	F - 12.17		B
29	284.37	297.00	F - 12.63		T
30	284.88	297.00	F - 12.12		B (5.4 OFFSET)
31	284.86	297.00	F - 12.14		B
32	289.74	307.30	F - 17.56		T
33*	288.97	307.30	F - 18.33	UPR	T
	288.97	305.90	F - 16.93	LWR	
34	289.62	305.90	F - 16.28		T
35*	300.92	305.90	F - 4.98	UPR	R
	300.92	305.00	F - 4.08	LWR	
36	299.27	305.90	F - 6.63	UPR	R
	299.27	304.60	F - 5.33	LWR	
37	289.67	305.90	F - 16.23		B

JOHANSEN RESIDENCE
443 MARVIEW DR., SOLANA BEACH
CSP 23-1692R
PAGE 1 OF 1



NOT TO SCALE



ALEC PETROS STUDIO

Attn: City Council Members c/o
Tiffany Wade, Associate Planner, City of Solana Beach
635 South Highway 101
Solana Beach, CA 92075

May 12, 2025

RE: Johansen Residence, DRP22-021 / SDP22-019
448 Marview Drive
Solana Beach, CA 92075

Introduction

Dear Honorable Members of Solana Beach City Council,

I am writing to provide context and support for the revised DRP/SDP application for 448 Marview Drive. This updated proposal represents a second iteration of the design, significantly shaped by feedback received from neighbors during the public notice period for the original application. Although the initial design had undergone full review—including story pole installation and public notification—new concerns from neighbors emerged that led the homeowners to withdraw from the City Council hearing. Rather than proceed with a contentious design, they chose to return to the drawing board and develop a completely new plan that addresses those concerns directly.

This letter outlines the property context, project goals, original design intent, neighbor feedback, and the significant revisions made in response.

Property Context

The property is located at the top of a hill on Marview Drive and offers expansive views of the Pacific Ocean from a second level. It sits on a ~32,600 sq. ft. lot with a relatively flat, buildable pad surrounded by hillsides to the east and south. There are no environmentally sensitive habitat areas (ESHA) onsite. Residences border the property to the north, south, and west, while the eastern edge opens to a sloped hillside. The neighborhood has seen redevelopment over the years that have enhanced ocean views for some while impairing views for others.

Project Goals

The homeowners, Kimeya and Todd—lifelong Solana Beach residents and Torrey Pines alumni—are raising their three children (ages 4 to 9) in a home that no longer meets their family's growing needs. Their goal was to design a residence that would:

- Reclaim ocean views to the West where possible and capture views to La Jolla to the South and hillsides to the East;
- Preserve outdoor yard space for landscape and room for kids to practice sports;
- Enhance indoor-outdoor living with covered, accessible outdoor spaces;
- Foster a sense of closeness with shared bedroom proximity and integrated home offices;
- Emphasize sustainable design using passive heating and cooling;
- Respect neighbors' views and maintain architectural harmony with the neighborhood;
- Remain on the existing pad to preserve the surrounding hillsides;
- Incorporate timeless design features with long-term appeal.

Initial Design Overview

The initial concept featured a two-story, L-shaped home wrapping around a rear play yard. The building was deliberately set back from the street to allow for a generous front yard and landscaped buffer, creating a welcoming frontage and softening its presence from the street.

The ground floor contained communal living spaces that connected seamlessly to outdoor areas. The second floor held all bedrooms, prioritizing privacy, connection, and ocean views. Covered decks on both ends were surrounded by landscaping to minimize visibility into neighboring yards while still offering views to the points of interest. A deep eave design enhanced passive climate control to reduce the home's energy needs while maintaining a low-profile silhouette using a tapered roof edge.

The project was developed with great care, balancing aesthetics, functionality, neighborhood compatibility and environmental sensitivity. Below are the simplified plans depicting this design.

MARVIEW DRIVE

452

SIDE YARD SETBACK LINE

EAST
VIEWS

COVERED
DECK

PROPOSED
RESIDENCE
LEVEL 1

SOUTH
VIEWS

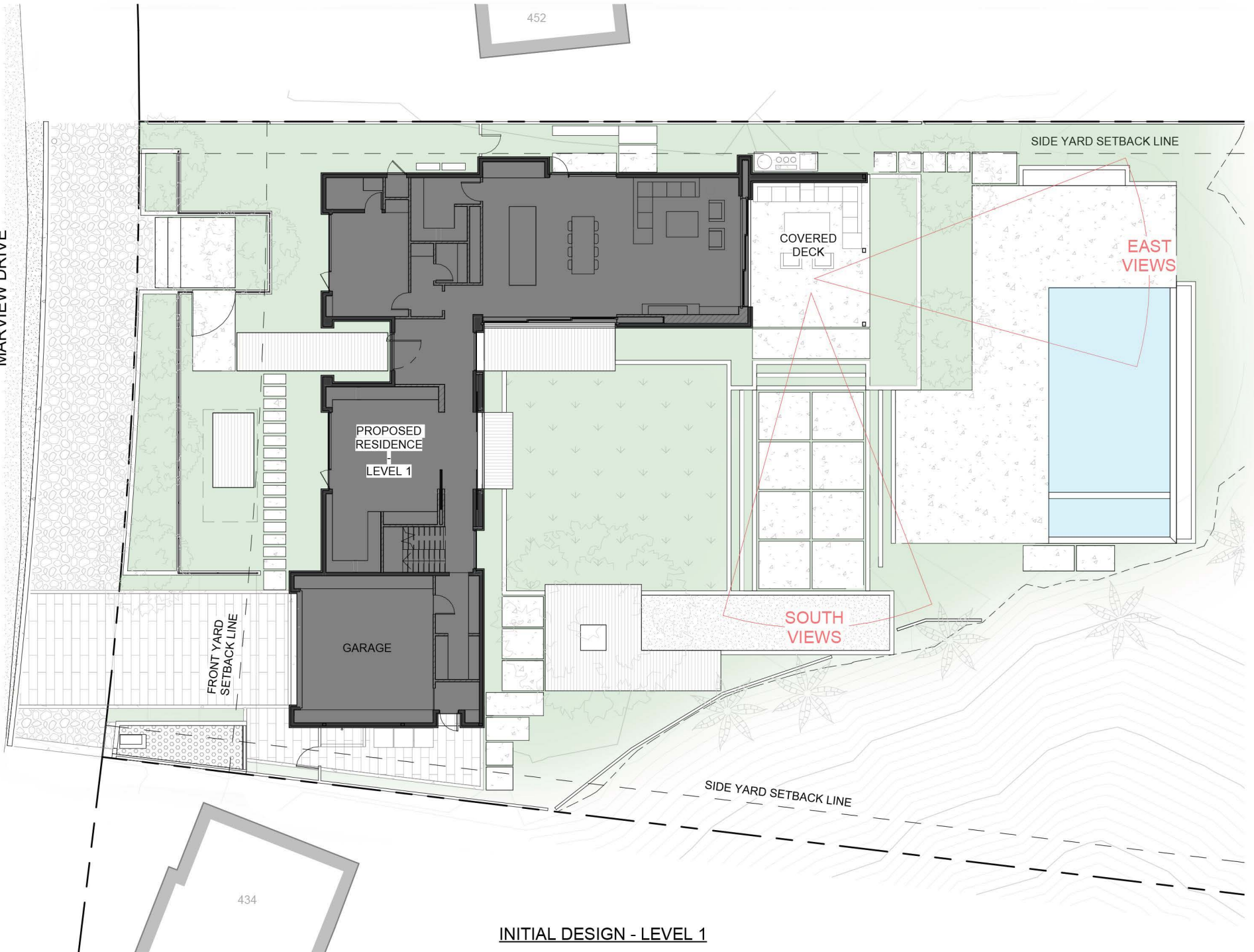
GARAGE

FRONT YARD
SETBACK LINE

SIDE YARD SETBACK LINE

434

INITIAL DESIGN - LEVEL 1



MARVIEW DRIVE

452

SIDE YARD SETBACK LINE

EAST
VIEWS

WEST
VIEWS
TO
OCEAN

PROPOSED
RESIDENCE

LEVEL 2

COVERED
DECK

SOUTH
VIEWS

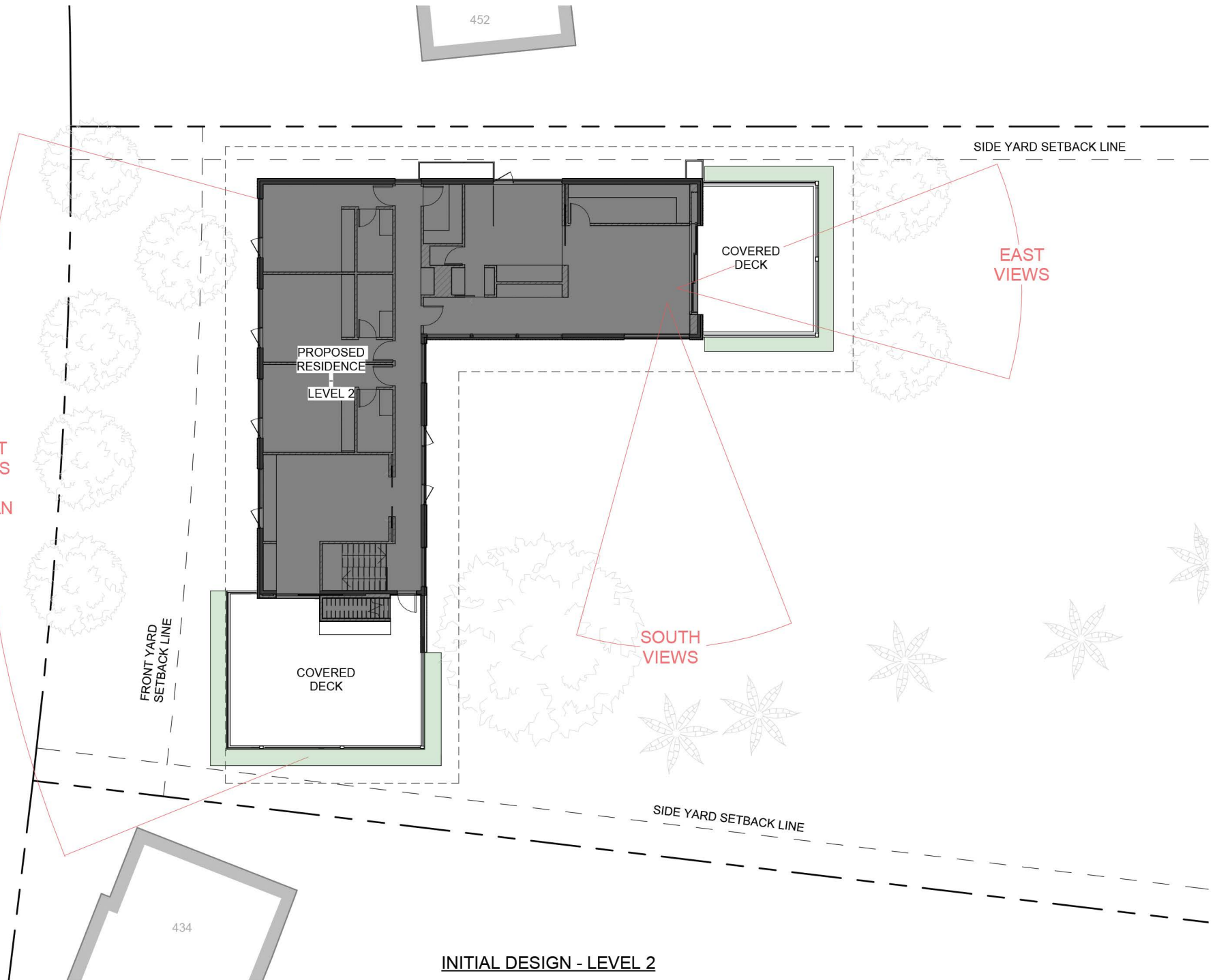
COVERED
DECK

FRONT YARD
SETBACK LINE

SIDE YARD SETBACK LINE

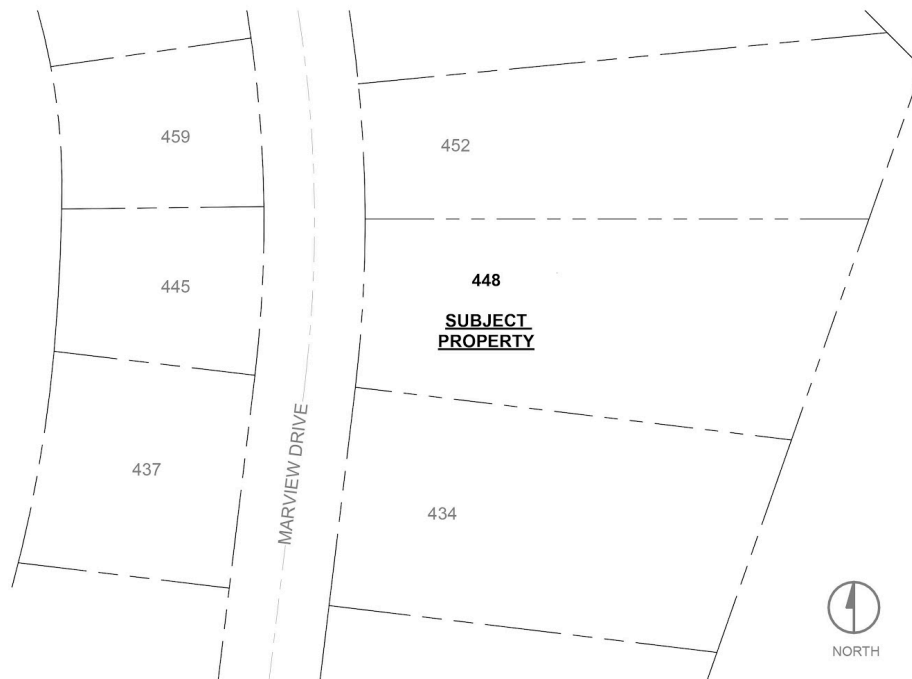
434

INITIAL DESIGN - LEVEL 2



Initial Community Engagement

Before submitting the application, the homeowners personally met with the immediate neighbors at 434, 437, 445, 452 and 459 Marview Drive, presenting the plans and renderings for feedback. Only one concern was raised by the resident at 452 Marview Drive—regarding potential gopher activity during construction—which was promptly addressed. Without any other pushback from surrounding neighbors, the homeowner decided to proceed forward with developing the required plans, reports and documents needed for the permit application. Below is a neighborhood map showing the subject property and neighbors that were contacted.



Initial Submission & Story Pole Installation

Following DRP/SDP submission and story pole installation, neighbors at 452 and 445 Marview Drive expressed concerns about the project, which came as a surprise to us after our initial neighborhood outreach. Below outlines the concerns we understood from the neighbors;

452 Marview Drive:

- Concerned about the massing along the street.
- Privacy concerns from proposed second-floor views into their backyard
- Shading concerns regarding proposed second-floor along shared property line
- Noise concerns from mechanical / pool equipment placement

445 Marview Drive:

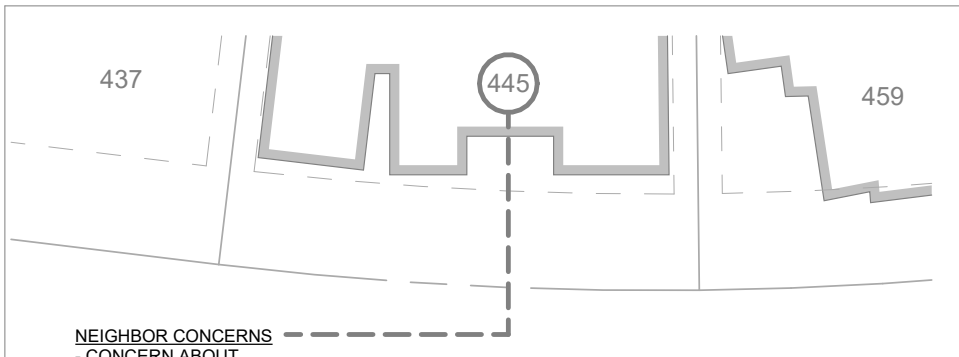
- Concerned about the massing along the street.
- Second-floor volume seemed too large
- Suggested relocating second-floor space to the first floor in the rear yard.

Design Revisions

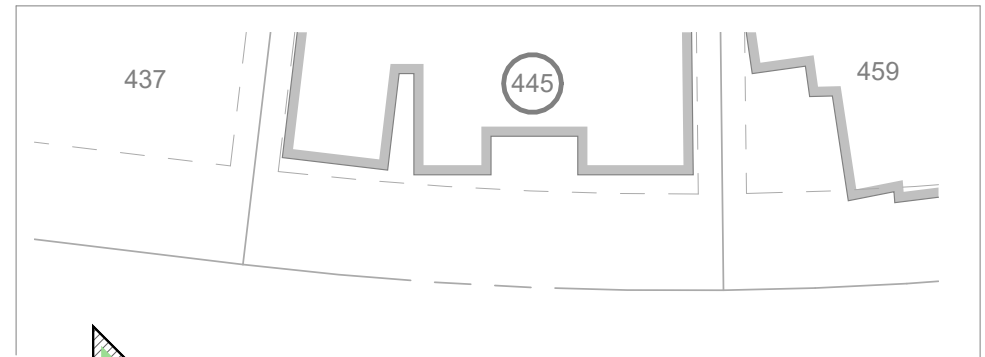
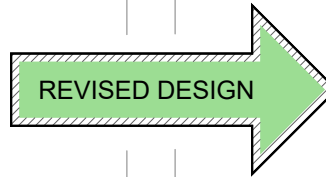
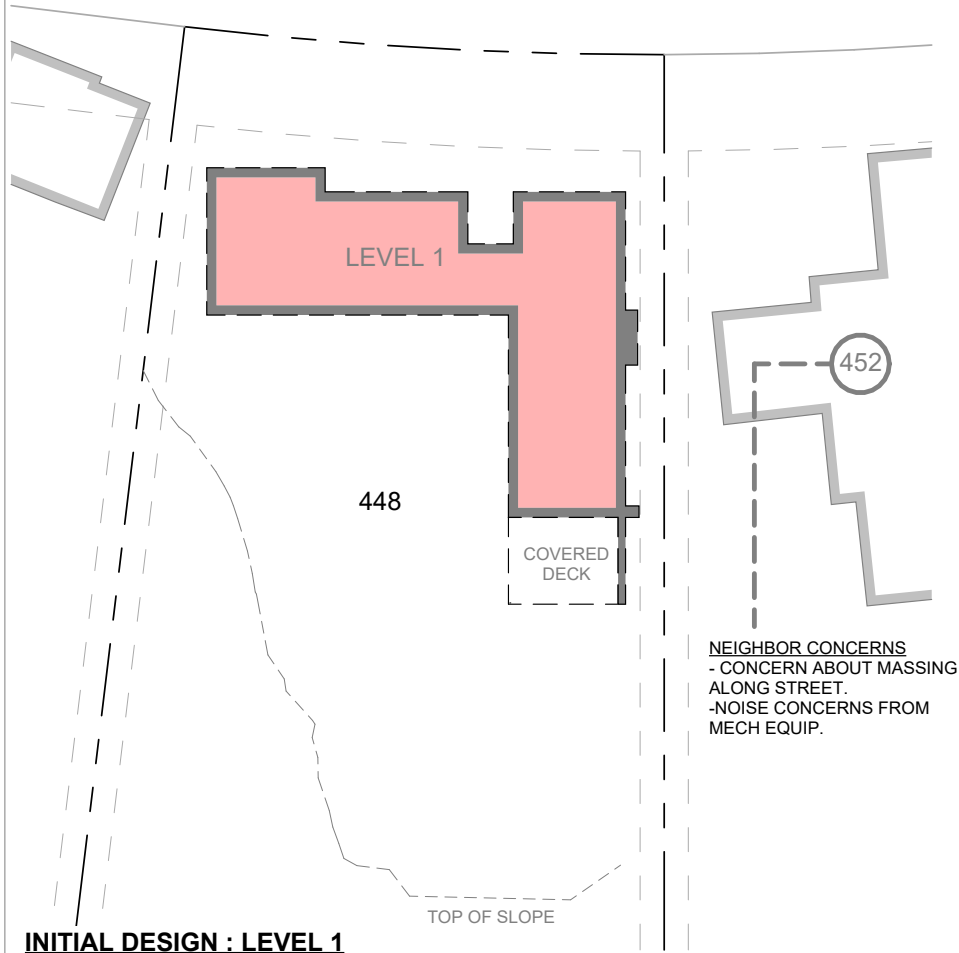
After extensive dialogue and consideration, it became clear that their neighbor's concerns could not be addressed through minor design changes. As a result, the homeowners chose to entirely withdraw the original application—despite the significant investment of time, resources, and emotional energy—and begin anew with a design that treated their neighbors' new concerns as core program requirements. Major changes included:

- **Relocating the building mass** toward the center of the lot, reducing the massing along the street and shared property line.
- **Creating a front courtyard** to open up the street-facing portion of the lot and soften massing, with new landscaping and tree screening for added privacy.
- **Reducing the second floor area** by more than 1,100 sq. ft., shifting that area to the ground floor in the rear yard to preserve functionality while addressing massing concerns.
- **Setting back the remaining second-floor** portion 21 feet from the original location, creating a ~50 foot distance from the front property line at its narrowest—farther than any other home on the street—significantly reducing its visual impact from the street.
- **Aligning the second level** with 452 Marview's structure to preserve their light and air on their front and back yards.
- **Detaching the office space** originally planned for the second story and relocating it to the backyard to further minimize the main structure's bulk.
- **Relocating mechanical and pool equipment** away from the shared yard with 452 Marview to minimize noise.
- **Reducing the main house area** by approximately 350 sq. ft.

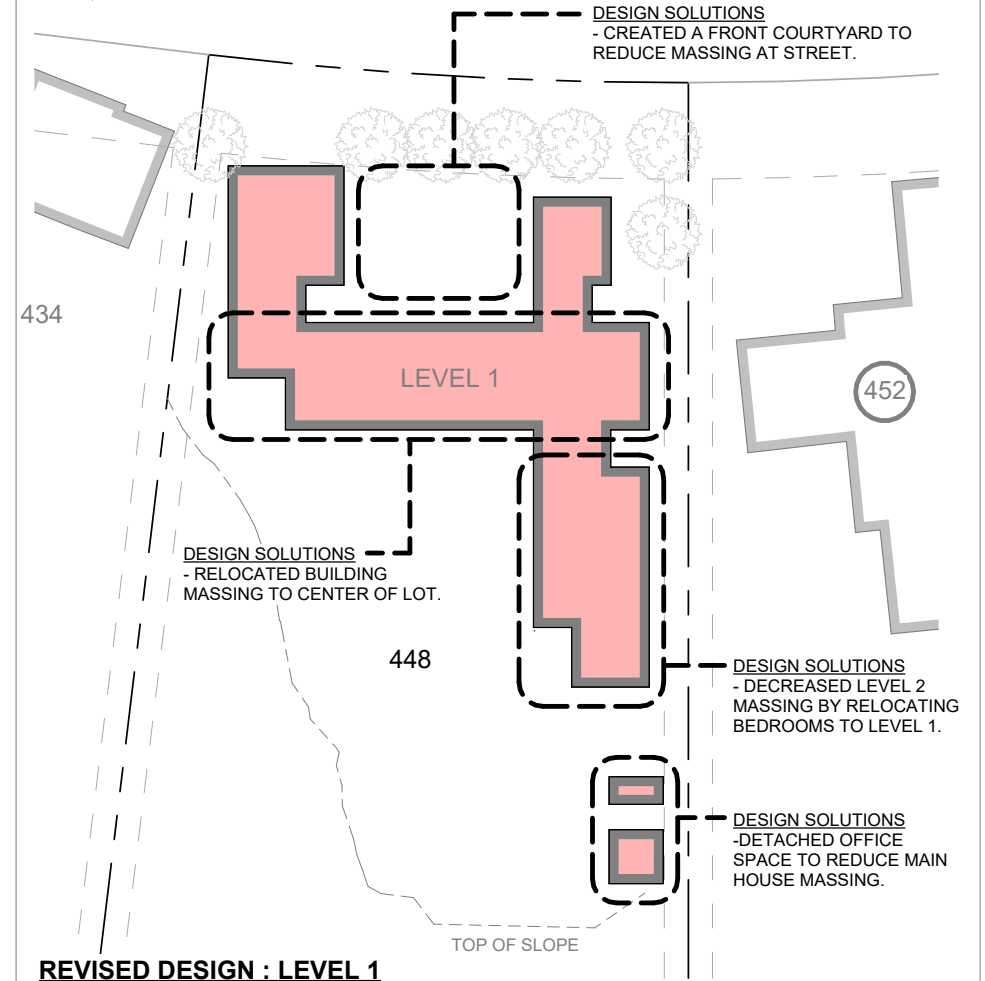
To help better visualize the proposed changes, below are several diagrams that represent the initial design and revised designs.

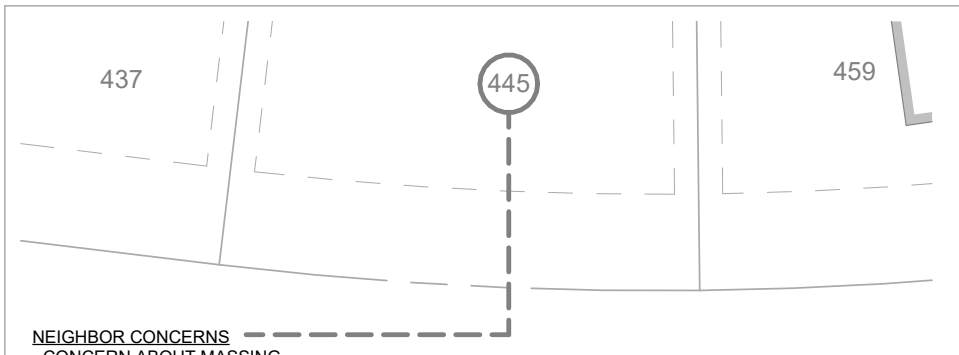


MARVIEW DRIVE



MARVIEW DRIVE

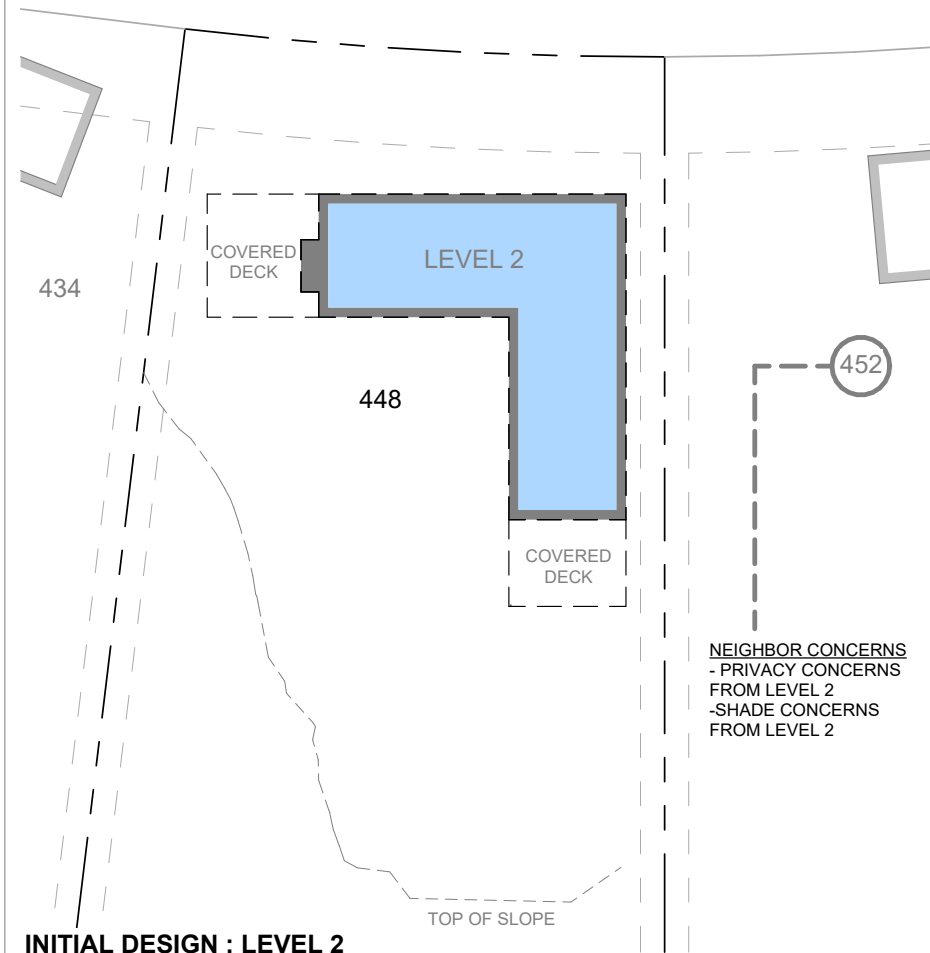




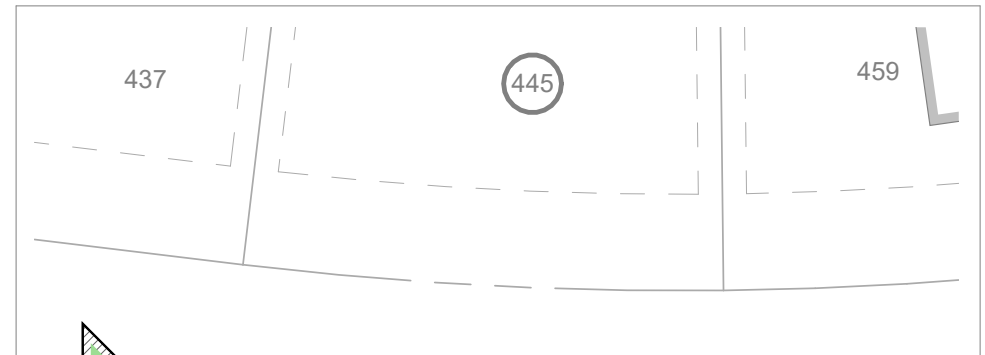
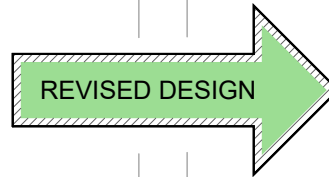
NEIGHBOR CONCERNS

- CONCERN ABOUT MASSING ALONG STREET.
- SECOND LEVEL FEELS TOO LARGE, PREFER RELOCATING SOME AREA TO LEVEL 1

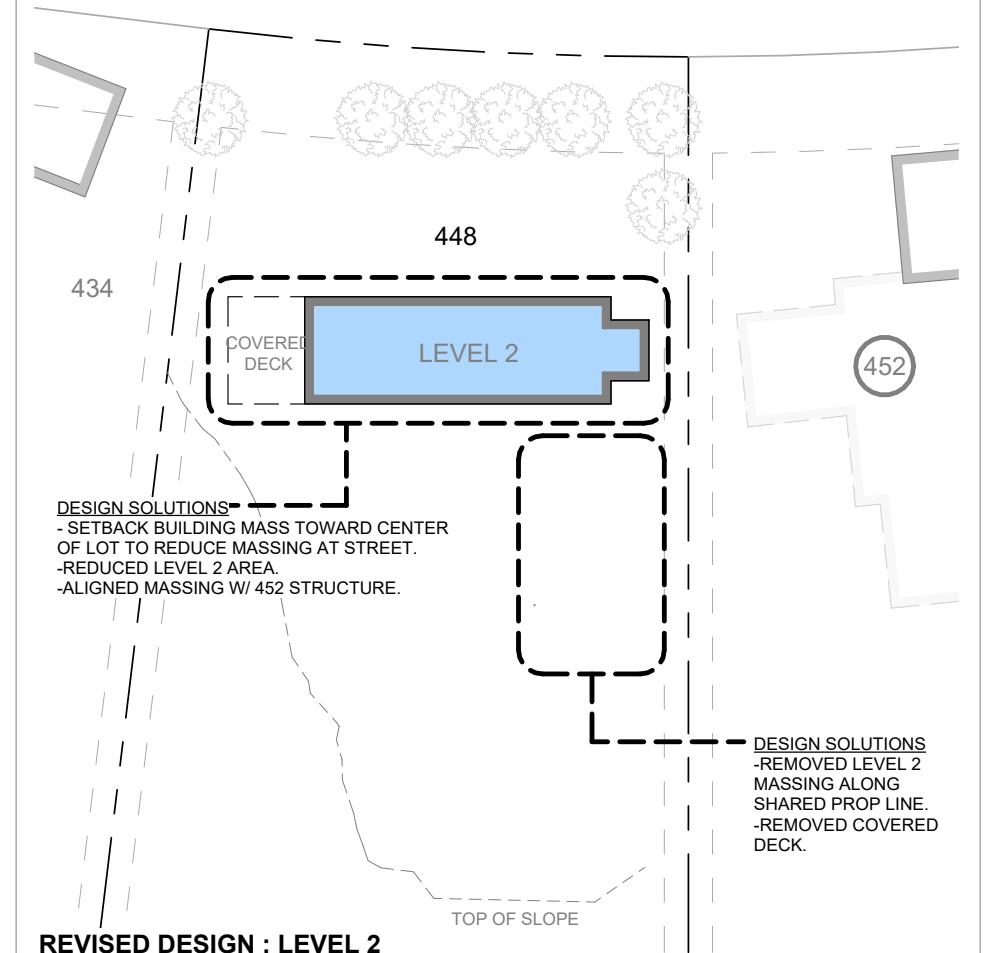
MARVIEW DRIVE



INITIAL DESIGN : LEVEL 2



MARVIEW DRIVE



REVISED DESIGN : LEVEL 2

DESIGN SOLUTIONS

- SETBACK BUILDING MASS TOWARD CENTER OF LOT TO REDUCE MASSING AT STREET.
- REDUCED LEVEL 2 AREA.
- ALIGNED MASSING W/ 452 STRUCTURE.

DESIGN SOLUTIONS

- REMOVED LEVEL 2 MASSING ALONG SHARED PROP LINE.
- REMOVED COVERED DECK.

Rendering Comparison



Initial Design Rendering - Street View (Eye Level)



Revised Design Rendering - Street View (Eye Level)

Artistic renderings are used to convey design intent only and may not represent the exact nature of the final building or site.
Copyright © Alec Petros Studio

Homeowner's Concessions

The decision to completely reimagine the project was not made lightly. It required the homeowners to part with a design that had taken years to develop—one that reflected their values, their aspirations for family life, and their vision for a long-term home. The redesign demanded not only additional financial resources and time, but also a willingness to make significant compromises that directly impacted their quality of life, daily routines, and long-term goals. However, in the interest of preserving a positive relationship with their neighbors, they chose collaboration and compromise. While it's challenging to quantify the vast amount of changes and associated concessions that occurred in the design transformation, below is a list of concessions that are readily apparent from a broader perspective:

- **A reduction in usable yard space** for children to play and practice sports;
- **Lost and diminished views to the South and to the ocean** due to massing adjustments from the second level;
- **Reconfigured bedrooms**—relocating all the children's rooms to the first level—has resulted in a reduced sense of security and connection among family members. This physical separation has caused unease for the children, presenting emotional and practical challenges for the parents to manage.
- **Loss of family connection** caused by detaching the office;
- **Loss of usable interior space** caused by a reduction in total building area;
- **Loss in family gathering locations** caused by the reduction in covered deck spaces.
- **Emotional and Financial Loss** associated with starting over.

Neighbor Response to Revised Design

After developing a preliminary revised design, the homeowners proactively reached out again to each of their immediate neighbors at 434, 437, 445, 452 and 459 Marview Drive to share the revised design and communicated specifically with homeowners at 452 and 445 Marview how the new design addressed their initial concerns.

Upon reviewing the updated design, the resident at 452 Marview expressed appreciation for the efforts made to accommodate her feedback but requested to wait until story poles were installed before providing more support for the project. Once the poles were in place, a follow-up meeting was held to walk her through the updated design in person. The combination of the revised plans and the physical context provided by the story poles helped her fully grasp the extent of the changes. She expressed gratitude for the thoughtful adjustments and confirmed that her initial concerns had been resolved, stating she had no further objections to the project.

While the owners of 445 Marview acknowledged the scope of the revisions, they continued to request new changes. Given the personal nature of interactions between neighbors, the homeowners are concerned that motivations may extend beyond the project itself. In our view, the redesign represents an extensive gesture to address their concerns and demonstrates a fair compromise.

Second Submission & Story Pole Installation

The revised project was developed with careful research to ensure compatibility with neighborhood scale, massing, and precedent. The new design preserves existing views, substantially reduces bulk/massing, and responds thoughtfully to neighbor input. Following resubmission, story poles were reinstalled and no view assessment claims were filed. Support letters for the project were received by neighboring property owners, which can be found on the following pages.

Final Thoughts

We respectfully ask the City Council to consider the extraordinary steps taken to redesign this home with care, collaboration, and community sensitivity. This process reflects a sincere effort to create a residence that not only meets the evolving needs of a local family, but also demonstrates a deep commitment to neighborhood character and respectful development.

Thank you for your time and consideration.

Sincerely,

Alec Petros

Principal Architect

Alec Petros Studio Inc.

Neighbor Support Letters

The following pages contain letters from neighbors who have expressed their support for our project. The accompanying map indicates the locations of the properties represented by these letters.



Kevin and Raha Shaw
415 Marview Dr.
Solana Beach, CA 92075

To: Solana Beach City Council
Subject: Support for the Johansen Family Home Remodel

Dear Honorable Members of the Solana Beach City Council,

We are writing in support of the Johansen family's proposed home construction project and to respectfully urge your approval of their design. As a nearby neighbor, we have had the opportunity to observe the Johansens' approach to this project and want to commend the thoughtful and collaborative process they have undertaken. From the very beginning, the Johansens have provided clear and open communication with their neighbors on our cul-de-sac about their plans. They proactively shared initial designs early in the process and made a sincere effort to invite honest feedback from neighbors. They created opportunities to listen, understand, and respond to the concerns raised by those around them.

What followed was a model of neighborly cooperation. The Johansens engaged in meaningful conversations, welcomed constructive input, and took significant steps to revise their plans accordingly. Their current proposal reflects sweeping and meaningful changes—particularly in reducing the massing along the street—to address concerns voiced in the earlier stages by our neighbors.

The result is a thoughtful, well-designed residence that will be a positive contribution to the character of the neighborhood. The proposed home is compatible with surrounding development, including many recently remodeled homes on our street, and has been designed with care and consideration for its context and community.

We had heard that there was concern regarding the construction of a two-story home on the east side of Marview, and that it may impact the west-sided properties. We are home-owners on the west side of Marview, and our neighbors across the street to the east have large, two-story homes that do absolutely nothing to diminish the pleasant environment, our sunlight, etc. In fact, our experience has shown that these homes significantly decrease the freeway noise and improve the peace and tranquility for those of us on the west side!

The Johansens' journey has been exactly the kind of collaborative, responsive planning process that should be encouraged in Solana Beach. I believe the Johansen family's home construction project deserves full support, and I respectfully ask the Council to approve their project.

Thank you for your time and consideration.

Warm regards,

A handwritten signature in blue ink, appearing to read "Kevin and Raha Shaw", followed by a long, horizontal, sweeping line.

Kevin and Raha Shaw
415 Marview Dr.
Solana Beach, CA

Dear Solana Beach City Council Members,

Paul and I are neighbors of Todd, Kimeya and their three young children; living two doors down on the same side of the street. I wanted to share a few thoughts on their proposed home project they have been designing over the past few years.

What's stood out most to me throughout this long process is how committed Todd and Kimeya have been to keeping communication open and gathering feedback at every step of the way. This doesn't always happen with major renovations and it meant a lot to both of us that they invited us to have a voice.

I know their plans have been reshaped significantly from their original drawings, especially when it comes to the street-facing side and the second story. Being on the east side of the street as well, Paul and I know how desirable it is to have an ocean view from the second story and are excited that the Johansens will be maximizing their views in their new home. This hasn't been an easy or quick process for them (close to a year of time lost when they started over with their design, I believe) to get it right. But the result is a home that feels well-suited to Marview Drive— scaled appropriately and just a beautiful design.

I've seen their new plans as well as the renderings and we believe this home will be a great addition to our street. The style is fresh but respectful of the area, and the overall scale — especially now — hits the right balance. I appreciate how much effort Todd and Kimeya have put into not just the design, but the process of being good neighbors.

Thanks for your time and consideration.

Warmly,

Samuel Cannon & Paul Stone
422 Marview Dr Solana Beach, Ca
92075

ATTN: Solana Beach City Council
City of Solana Beach
635 S. Highway 101
Solana Beach, CA 92075

Dear Council Members,

We are writing this letter to show our support to Todd and Kimeya Johansen as they work toward building their new home at 448 Marview Drive.

We've lived on Marview since 2017 and currently have a home under construction across from the Johansen family's property on the west side of the street. Having recently gone through the permitting process ourselves, we know just how complex and emotionally draining it can be to be in their shoes and it was important for us to show our strong support for Todd and Kimeya as they embark upon this journey to building their forever home for their family. We know better than most that it's not just about design — it's about listening, adapting, and finding a way to move forward while trying to satisfy a wide range of opinions and concerns and it's been a pleasure to watch Todd and Kimeya work through this process together.

We've watched them handle this endeavor with patience and a clear desire to do things in a way that suited surrounding neighbors despite having a difference of opinion. While we personally didn't raise concerns about their design, we know that others on Marview did — and the Johansens took those concerns seriously. We've been following along on their project updates over the last 2-3 years since they began working on this effort and it blew us away that when they redesigned their home for a second time they started from scratch - both with the home itself *and* landscape design to really address the feedback they'd received. This was an incredibly costly path to take both financially and with their time. Where they could have charged forward with their original plans and created more tension among neighbors, they went back, reevaluated, and made dramatic changes. Their commitment to find compromise speaks volumes about their desire to be great residents of the Marview community.

In their path toward seeking compromise with surrounding neighbors, they have also managed to design a beautiful home. We've been fortunate enough to see their thoughtful plans and renderings and are so looking forward to having a gorgeous and tasteful home on the street.

Given the lengths to which Todd and Kimeya have gone to address neighbor concerns and the concessions they've made to reach this point, I hope the Council will recognize the good faith they've shown and support their project as enthusiastically as we do.

Sincerely,

Tom & Martha Bertolino
437 Marview Dr, Solana Beach, CA 92075

Becky Schmitt
434 Marview Dr
Solana Beach, CA 92075

ATTN: Solana Beach City Council
City of Solana Beach
635 S. Highway 101
Solana Beach, CA 92075

Dear Honorable Members of Solana Beach City Council,

I would like to express my full support for the Johansen's effort in building a new home for their family. As their direct neighbors we have appreciated their thoughtful and communicative approach throughout the planning process and believe the proposed designs would be a great improvement to our neighborhood.

We appreciated the way they have kept us informed and provided us with the opportunity to review their plans each step of the way. The Johansens and their architect, Alec Petros, walked me through their plans and patiently answered my questions at formal meetings. As important, they have shared information casually in the form of phone pictures and story pole discussions. I have enjoyed working with all of them, including watching the plans evolve to their current iteration.

One area of particular importance to us has been the potential impact on our very small backyard area. With the height difference in our properties it would be easy for a bulky second story to loom over our backyard. Their decision to use second story decks, sliding screen panels and negative space, plus the position of the house at an angle along our shared lot line demonstrated sensitivity and care and helped avoid that becoming a concern. We appreciate that they have been proactive in designing for this and have made it easy for us to approve their plans.

We also acknowledge the Johansens have made substantial changes to the first design to accommodate our neighbors' feedback, requiring significant added time and resources to address their concerns. We respect and appreciate the length they've gone to preserve relationships with our neighbors and harmony on our street.

Writing this email is a pleasure because their plans are so visually appealing from the street. We've lived in our home for over 30 years and I have seen a lot of construction on my morning walks both on our street and in the neighborhood. Although I recognize everyone's desire to maximize square footage, I have found the results to be tolerable, but somewhat fortress-like. The Johansens' plans, with their use of a recessed second story with outdoor spaces, appear much less imposing and much more friendly and organic. I'm looking forward to seeing the final results.

Sincerely,
Becky Schmitt

To the Solana Beach City Council,

We live across the street from the Johansen family and are writing to express our full support for their proposed home project.

Throughout this process, Todd and Kimeya have been open, transparent, and proactive in sharing their plans to rebuild with the neighbors on our street. They didn't just submit drawings and hope for the best — they made a genuine effort to connect with neighbors and invite feedback right from the beginning.

The Johansens have had a long road to get here, and it's clear that the revised design reflects the feedback they received throughout the process. We have heard about multiple revisions they have made specifically to be sure the neighbors were considered as they designed their new home.

One of the major changes we know they made to accommodate the neighbors related to bedroom placement. As parents of young children ourselves, we understand how important it is for a young family to have all the bedrooms on the same level. While originally they had designed the home to accommodate their family needs, in response to concerns from surrounding neighbors, the Johansens made the difficult decision to reconfigure the layout and move their children's bedrooms downstairs. Any parent of young children knows this was a significant concession that clearly prioritizes being good neighbors over personal convenience. Their willingness to delay, rework, and adjust their plans in order to be responsive to the community is a testament to their character and their commitment to this neighborhood.

Just as important, in our opinion, the architecture and overall vision are well-considered. It's the kind of home that enhances the block and we are looking forward to having their project completed across the street.

We hope you'll see what we see: this project has been approached with care, community spirit, and a sincere desire to contribute positively to Solana Beach.

Sincerely,

Nathan and Taylor Rose
459 Marview Drive



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: Finance Department – Rachel Jacobs, Finance Director
SUBJECT: **Adopt (2nd Reading) of Ordinance 538 Relating to the Annual Sewer Service Charge per Equivalent Dwelling Unit (EDU) for Fiscal Year 2026 through Fiscal Year 2030**

BACKGROUND:

On May 7, 2025, the City Council introduced Ordinance 538. This ordinance is now before the City Council for the second reading and adoption to amend Section 14.08.060 of Chapter 14.08 of the Solana Beach Municipal Code increasing the annual Equivalent Dwelling Unit (EDU) rate as shown below for Fiscal Year 2026 through Fiscal Year 2030:

	2026	2027	2028	2029	2030
% Rate inc	10%	10%	8%	7%	7%

DISCUSSION:

At the May 7, 2025 Council Meeting, the City Council held a public hearing to receive written protests in compliance with Article XIII D, section 6 (a) of the California Constitution in order to increase the annual Equivalent Dwelling Unit (EDU) rate using variable rate increases shown above, the proposed rates for Fiscal Year 2026 through Fiscal Year 2030 are shown below:

Rate per Equivalent Dwelling Unit for Single Family Residential Home

Current	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030
\$682.30	\$750.54	\$825.58	\$891.64	\$954.04	\$1,020.84

The City received seventeen (17) written protests and there was one (1) protest during the Public Hearing. The City had 9,564 notices mailed to the property owners subject to the annual sewer charges. 4,783 written protests, which represent a majority of the notices

CITY COUNCIL ACTION:

mailed, would have been required in order to not adopt the proposed rate increase to the annual sewer charges.

Given there were insufficient protests not to adopt the proposed rate increase, the City Council introduced Ordinance 538 (Attachment 1) at the May 7, 2025 Council Meeting to amend Section 14.08.060 of Chapter 14.08 of the Solana Beach Municipal Code increasing the annual Equivalent Dwelling Unit (EDU) rate by ten percent (10%) for FY 2026 and FY 2027, eight percent (8%) for FY 2028, and by seven percent (7%) for FY 2029 & FY 2030.

CEQA COMPLIANCE STATEMENT: Not a project as defined in CEQA.

FISCAL IMPACT:

The adoption of Ordinance 538 will provide the necessary funding for the administration, maintenance, debt service and capital costs of the City's Sanitation District, and the costs of the San Elijo JPA operations, including the wastewater treatment, laboratory services, ocean outfall, pump stations, capital projects and debt service. The rate increases will generate approximately \$562,200 in additional revenues per year for FY 2026 through FY 2030.

WORK PLAN: N/A


OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications and provide direction to Staff.
- Do not adopt Ordinance No. 462 and do not increase sewer rates at this time.

CITY STAFF RECOMMENDATION:

Staff recommends the City Council:

1. Adopt Ordinance 538 related to the Sewer Service Charge for FY 2026 through 2030.


Alyssa Muto, City Manager

Attachments:

1. Ordinance 538

ORDINANCE 538

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AMENDING SECTION 14.08.060 OF CHAPTER 14.08 OF THE SOLANA BEACH MUNICIPAL CODE RELATING TO THE ANNUAL SEWER SERVICE CHARGE PER EQUIVALENT DWELLING UNIT FOR FISCAL YEAR 2026 THROUGH FISCAL YEAR 2030

WHEREAS, the City's Capital Improvement Program Budget contains sanitary sewer projects which are important to maintain health and safety standards, and which are identified in the Council's Work Plan; and

WHEREAS, the City of Solana Beach hired Raftelis Financial Consultants to prepare a Sewer Rate and Revenue Update in order to recommend a proposed rate increase to provide sufficient funding for the Capital Improvement projects, and support the operations and the debt service requirements of the Solana Beach Sanitation District; and

WHEREAS, the rates support the administration, maintenance, debt service and capital costs of the Solana Beach Sanitation District; and

WHEREAS, the rates also support the operations, maintenance, and Capital Improvement Program costs associated with the San Elijo JPA for the collection, transportation and treatment of sewage for the sanitary sewer system; and

WHEREAS, the City Council has selected a gradual, reduced Capital Improvement Program contribution to the San Elijo JPA; and

WHEREAS, the City of Solana Beach has complied with the notice and majority protest provisions of section 6 (a) of Article XIII D of the California Constitution; and

WHEREAS, the City Council has held a duly noticed public hearing on May 7, 2025; and

WHEREAS, the City Council did not receive a majority protest from the owners of the parcels that are affected by the proposed rate increases to the annual sewer charges.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF SOLANA BEACH DOES ORDAIN AS FOLLOWS:

Section 1. The City Council hereby declares:

Section 14.08.060 of Chapter 14.08 of the Solana Beach Municipal Code is hereby amended to reflect the increase to the annual sewer service charge for each equivalent dwelling unit to the following for Fiscal Year 2026 through Fiscal Year 2030.

FY 2026	FY 2027	FY 2028	FY 2029	FY 2030
\$750.54	\$825.58	\$891.64	\$954.04	\$1,020.84

EFFECTIVE DATE: This Ordinance shall be effective thirty (30) days after its adoption. Within fifteen (15) days after its adoption, the City Clerk of the City of Solana Beach shall cause this Ordinance to be published pursuant to the provisions of Government Code §36933.

INTRODUCED AND FIRST READ at a regular meeting of the City Council of the City of Solana Beach, California, on the 7th day of May 2025 and

THEREAFTER ADOPTED at a regular meeting of the City Council of the City of Solana Beach held on the 21st day of May 2025 by the following vote:

AYES: COUNCILMEMBERS –
NOES: COUNCILMEMBERS –
ABSTAIN: COUNCILMEMBERS –
ABSENT: COUNCILMEMBERS –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Alyssa Muto, City Manager
MEETING DATE: May 21, 2025
ORIGINATING DEPT: City Manager's Department – Alyssa Muto, City Manager
SUBJECT: **City Council Revisions to Draft Fiscal Year 2025/26 Work Plan**

BACKGROUND:

The Fiscal Year (FY) 2025/26 Work Plan is a guiding document that includes all of the City Council's (Council) priority projects. On April 23, 2025, Council meeting, Council discussed the draft FY 2025/26 Work Plan, recommend changes, and accept public comment.

This item is before Council to consider the revisions to the draft FY 2025/26 Work Plan (Attachment 1) based on the feedback received from the Council and the community at the April 23, 2025 Council meeting. During this meeting, Staff is requesting Council to provide further direction on priorities overall and within each area of the Work Plan.

DISCUSSION:

At the Council meeting, members of Council recommended revisions to the draft Work Plan presented by Staff. The revised draft FY 2025/26 Work Plan (Attachment 1, track changes format) has been amended based on Council and public comments and is now being brought back for consideration and direction.

As mentioned at the meeting, this year's Work Plan has been revised to more closely align with the City's recently adopted Legislative Policy. The new categories that the priority items are placed into are Affordable Housing and Livable Communities; Transportation and Mobility; Environmental Sustainability and Energy; Youth, Senior and Community Well-Being; and General Governance and Fiscal Responsibility.

The five policy areas outlined in the Work Plan reflect Solana Beach's commitment to being proactive in its legislative advocacy, addressing immediate concerns, and planning for the future. The City will continue to advocate for legislation that strengthens local governance, secures resources for essential services, and fosters collaborative solutions with regional and state partners. Additionally, the City remains dedicated to advancing

CITY COUNCIL ACTION:

policies that protect the health, safety, and quality of life of its residents, while promoting a fiscally responsible and effective municipal operation.

If City Council approves the recommended revisions in the attached draft FY 2025/26 Work Plan, or has any additional revisions, Staff recommends Council direct Staff to bring back for formal adoption with the Budget on June 18th, 2025.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

Funding for the projects contained in the draft Fiscal Year 2025/26 Work Plan vary from project to project. Some of the projects have been budgeted for; while others do not currently have funding identified at this time. The funding identified in this Work Plan is consistent with the funding that has been proposed in the FY 2025/26 and FY 2026/27 Budget.

WORK PLAN:


This item is a comprehensive annual update to the Work Plan for FY 2025/26.

OPTIONS:

- Provide further feedback and input to the City Manager on the prioritization of actions within the revised draft Fiscal Year 2025/26 Work Plan.

CITY MANAGER RECOMMENDATION:

The City Manager recommends the City Council review and discuss the revised draft Fiscal Year 2025/26 Work Plan and direct the City Manager to return this item to Council for approval with the FY 2025/26 and FY 2026/27 Budget on June 18th, 2025.


Alyssa Muto, City Manager

Attachment 1: Revised draft Fiscal Year 2025/26 Work Plan



COUNCIL WORK PLAN

**FISCAL YEAR
2025-2026**

Table of Contents

CITY MANAGER’S REPORT	3
MISSION STATEMENT	4
LEGISLATIVE PRIORITIES	4
1. AFFORDABLE HOUSING AND LIVABLE COMMUNITIES	5
2. TRANSPORTATION AND MOBILITY	9
3. ENVIRONMENTAL SUSTAINABILITY AND ENERGY	16
4. YOUTH, SENIOR, AND COMMUNITY WELL-BEING	23
5. GENERAL GOVERNANCE AND FISCAL RESPONSIBILITY	30
ONGOING PRIORITIES & Monitoring	38

CITY MANAGER'S REPORT

TBD – Will be included with Final Work Plan

MISSION STATEMENT

To have an efficient and effective City Government that works to balance fiscal sustainability while maintaining environmental sustainability, quality of life and community character.

LEGISLATIVE PRIORITIES

The City of Solana Beach is a vibrant coastal community committed to preserving its unique character while addressing the evolving needs of its residents. The City recently adopted a Legislative Policy that serves as a guiding framework for the City Council's advocacy efforts on key priorities that enhance the quality of life for all residents. Through this policy, the City will actively pursue legislation and funding opportunities that advance local priorities such as affordable housing and livable communities, transportation solutions, environmental sustainability, and the well-being of youth, seniors, and the broader community. By taking thoughtful and strategic legislative action, we will ensure that Solana Beach continues to be a great place to live—a community that is safe, welcoming, and full of opportunity for all its residents.

Following review of all submitted legislation for the 2024-2025 California Legislative Session, and with consideration of this Council 2025 Work Plan, there are five recommended areas for legislative policy. These areas are overarching to cover sub-topical priorities that align with the City's values and long-term goals. By establishing these key areas of focus, the City of Solana Beach seeks to enhance public safety, promote sustainable community growth, support the well-being of residents, and ensure efficient, accountable governance.

The five policy areas outlined in this platform reflect Solana Beach's commitment to being proactive in its legislative advocacy, addressing immediate concerns, and planning for the future. The City will continue to advocate for legislation that strengthens local governance, secures resources for essential services, and fosters collaborative solutions with regional and state partners. Additionally, the City remains dedicated to advancing policies that protect the health, safety, and quality of life of its residents, while promoting a fiscally responsible and effective municipal operation.

1. Affordable Housing and Livable Communities
2. Transportation and Mobility
3. Environmental Sustainability and Energy
4. Youth, Senior, and Community Well-being
5. General Governance and Fiscal Responsibility

1. AFFORDABLE HOUSING AND LIVABLE COMMUNITIES

1. General Plan Updates

Summary: The City's first General Plan was originally adopted in 1988. Individual elements of the General Plan, including Land Use, Circulation, Noise, and Housing have been reviewed and revised over time. The City's Housing Element was last updated in 2021, which outlines policies and goals for the housing planning period from April 15, 2021, through April 14, 2029. Annual reporting is conducted to monitor progress in implementing the Housing Element. As the next step in the General Plan update process, the City is required to update its Safety Element to maintain consistency with the recently updated San Diego County Hazard Mitigation Plan, comply with new State legislative requirements, and align with SANDAG's Regional Plan.

FY 2025/26 Actions:

- A. Issue RFI for 1st City housing site (Pearl Project).
- B. Release 2nd RFP for City housing site.
- C. Develop permit ready ADU program.
- D. Update Zoning Ordinance related to first floor commercial uses.

Summary of Budgetary Projections for FY 2025/26: The implementation of the policies and programs contained in the City's Housing Element is a multi-year project. The costs are predominantly Staff time to draft and implement policies and programs. Where possible Staff will seek additional grant funding to assist with the implementation of this project. With respect to the ADU Permit Ready Program, the City projects an approximate cost of \$100,000 for the purchase of plan sets for use by residents for standard studio and one-bedroom ADU designs. No additional funding is expected to be needed for FY 2025/26.

2. Customer Assistance Program Improvements

Summary:

Customer assistance and responsiveness to complaints remain a top priority for the City. Building on the need for conversions during the Covid-19 pandemic, in recent years the City has implemented a series of technological and procedural enhancements to better serve residents, businesses, and visitors. These improvements include upgrades to the City's permit tracking software (TRAKiT), deployment of the My Community App for reporting issues, the creation of permit processing flowcharts to guide customers through the permitting process, and the launch of an online system for electronic plan submittal and review.

To further improve service delivery, the City has launched online payment capabilities for business certificate renewals and is currently testing a public-facing interface that will allow new business certificate applications to be submitted and processed entirely online.

Additional online services now available include credit card payments for Summer Day Camp and Junior Lifeguard registration, photovoltaic/solar permit issuance, and business certificate renewals. The City is also working on expanded online permitting options, including electronic filing and processing for reroofing, water heater replacements, and electrical panel upgrades. These initiatives aim to streamline the permitting process and enhance the overall customer experience.

FY 2025/26 Actions:

- A. Develop a fee calculator that applicants may use to estimate building permit fees for a project prior to submitting an application.
- B. Implement additional on-line application and payment process for business certificates and permits.
- C. Prepare an annual report to Council on the My Community app including such things as usage, response time and highest reported issues.
- D. Pursue hiring an in-house Building Inspector/Official.
- E. Develop Over-The -Counter plan review and permitting program.

Summary of Budgetary Projections for FY 2025/26: Most of the actions included in this item would be implemented using staff time as such resources are available. The new Building Department position would be tasked to further implement and update building processes to improve customer service response times. The new staff position would result in more office hours available to the public than currently contracted. The position would be paid for by reducing professional service expenditures to the City's 3rd party building services consultant.

3. Outdoor Dining Regulations

Summary: Due to the COVID-19 pandemic, certain restrictions were modified to assist the business community during the difficult economic times, and to allow residents and visitors to continue to safely utilize certain services such as restaurants, bars, beauty salons, and exercise/wellness businesses outdoors and with appropriate social distancing. These specific businesses were allowed to temporarily expand into outdoor areas including sidewalks and parking lots (public and private) to provide additional space, especially during the times when indoor operations were not allowed.

Due to the popularity of certain businesses, mainly restaurants, the City Council directed the City Manager to prepare draft requirements and regulations to permanently allow these outdoor operations, including ways to mitigate potential issues to parking, noise, safety, aesthetics and other foreseeable areas. In Spring 2024 staff worked with the City Council subcommittee to refine and update Temporary Use Permit (TUP) development standards and regulations related to Outdoor Dining and Sidewalk Cafés. The new provisions were implemented in July 2024 and staff has been working with each of the existing dining

establishments to update the respective permits that would be in conformance with the new TUP regulations.

FY 2025/26 Actions:

- A. Bring forward draft regulations to City Council for consideration.
- B. Finalize strategy with respect to Coastal Commission permitting.

Summary of Budgetary Projections for FY 2025/26: Development of draft regulations can be completed with Staff time.

4. South Sierra Mixed Use Affordable Housing Project (Pearl Project)

Summary: In 2014, the City Council approved the Hitzke Development Corporation mixed use affordable housing project on South Sierra Avenue on a City-owned parking lot. The project as adopted includes commercial space and parking, ten (10) affordable housing units and associated parking, and 31 replacement public parking spaces. Following approval of the project, significant delays were encountered including a legal challenge against the City and Hitzke Development Corporation, where the City prevailed at both the lower court and the Court of Appeals. During this delay, construction costs increased and the inability of the Applicant to obtain required affordable housing funding, including State and County grants, resulted in Hitzke providing notice to the City in November 2020, that the project was no longer going forward for construction.

On February 24, 2021, pursuant to the terms of the Agreement, the Applicant provided to the City electronic copies of all plans prepared for the project. The City's objective is to pursue development of the project pursuant to the prepared plans and approvals through issuance of a Request for Proposals (RFP). This project would provide needed affordable housing adjacent to neighborhood services, including transit and commercial uses, and would further implement the goals of the Solana Beach Housing Element and the General Plan. Additionally, this project, if built, could also satisfy obligations from a settlement agreement from the 1990s related to the provision of deed-restricted affordable housing units in the City.

FY 2025/26 Actions:

- A. Issue RFI for RFP of this affordable housing site.
- B. Update building permit plans for review/approval and construction.

Summary of Budgetary Projections for FY 2025/26: Development of RFI for affordable housing site can be completed with Staff time.

5. Local Coastal Program/Land Use Plan Adoption and Preparation of the Local Implementation Plan

Summary: The entirety of the City of Solana Beach lies within the boundaries of the Coastal Zone. In 2012, the California Coastal Commission certified the City's prepared a Local Coastal Program (LCP) Land Use Plan (LUP). The City Council formally adopted the LUP in February 2013. In alignment with the CCC's direction, the City Council adopted a fee schedule in 2018 to address public recreation impacts and sand mitigation associated with bluff retention devices along the coastline.

The City continues to work on this effort along with other updates to the LUP as staff availability and workload allow. As work continues on this update, the City continues to update the LUP with any new applicable regulations and coordinate with the CCC staff directly on all CDPs to ensure compliance with the Coastal Act.

FY 2025/26 Actions:

- A. Prepare documents necessary to update the City's public recreation impact fee and sand mitigation fee.
- B. Conduct public engagement and prepare a draft LIP and Land Use Plan Amendment (LUPA) to correct zoning information within the approved LUP.

Summary of Budgetary Projections for FY 2025/26: The estimated budget proposed for FY 2025/26 to continue the LCP Local Implementation Plan efforts is approximately \$90,000 for consultant services. Additionally, the City has budgeted \$100,000 for the necessary work to update the City's public recreation impact fee and sand mitigation fee.

6. Short-Term Vacation Rental Permit Ordinance Update

Summary: The City's current Short-Term Vacation Rental (STVR) Permit regulations allow for the rental of any residentially zoned dwelling unit, other than Accessory Dwelling Units (ADUs), including detached single-family residences, condominiums, duplexes, twinplexes, townhomes and multi-family dwellings. Since adoption of the City's STVR regulations, the soaring popularity of vacation rental hosting websites has resulted in a proliferation of STVRs throughout the San Diego region. On an annual basis, Staff handles a variety of complaints regarding STVRs and their impacts to local neighborhoods including noise, parking and unruly guests. In order to maintain an appropriate balance of housing stock dedicated to residents and also to visitor accommodations, the City will evaluate the City's Short Term Vacation Rental Permit regulations for potential amendments.

FY 2025/26 Actions:

- A. Evaluate existing STVR Permit regulations for modifications.

Summary of Budgetary Projections for FY 2025/26: Development of draft regulations can be completed with Staff time.

2. TRANSPORTATION AND MOBILITY

1. Lomas Santa Fe Corridor Project

Summary: The Lomas Santa Fe Corridor project is a top priority due to the multiple benefits it could provide to the community. The project study area for the Lomas Santa Fe (LSF) Drive Corridor Project extends from Cedros Avenue on the East side of Highway 101 to Highland Drive at the City's eastern boundary. The City's goal for the Lomas Santa Fe Corridor Project is to construct physical improvements to improve the community character, safety, walkability, bikeability and circulation along this key east-west arterial through the City of Solana Beach.

The final design for the project was approved by the City Council on May 26, 2021. Partial funding for construction of the easterly segment of the project (from Santa Helena to Highland Drive) was secured from Congressman Levin's office. Staff is working with Caltrans to obligate the \$7,000,000 in federal funding, and is currently working through the federal procurement process that is required before the east side corridor improvements can be advertised for construction bids. The construction package was submitted to Caltrans for final review and approval in April 2025, as they are the delegated authority from the Federal Highway Administration (FHWA) to approve projects using federal funds in California. Based on the current project schedule, it is anticipated that a construction contract can be awarded in late Summer/early Fall of 2025 and, construction can begin at the end of calendar year 2025.

Under the present design, construction of the west side corridor improvements, from the west side of Interstate 5 to Cedros Avenue, are projected at approximately \$8 Million. The City has received approximately \$850,000 for the west side construction project, and the City Staff is working to secure additional funding through budgetary earmarks and grant funding. Staff has applied for construction grants through SANDAG and Congressman Levin's office. Since the roadway conditions require paving maintenance, in the interim, Lomas Santa Fe west of Interstate 5 has been included in the annual roadway repair project to overlay and restripe Lomas Santa Fe. This work would include narrowing – yet maintaining - the two travel lanes in both directions, and the installation of painted bike lanes with buffers in each direction. The west side paving project will be constructed as part of the annual maintenance and repair project is expected to start construction before the end of the 2025 calendar year.

FY 2025/26 Actions:

- A. Complete federal funding process with Caltrans for project east of Interstate 5, advertise for construction bids, award construction contract/approve PSA for construction management services and start construction.
- B. Continue to apply for potential construction grant funding for the west section of the project.

- C. Execute amendment to the PSA with City's consultant to Prepare Construction Plans, Specifications, Estimate for the west side for competitive bidding purposes.

Summary of Budgetary Projections for FY 2025/26: Construction of the entire length of the corridor is estimated to cost approximately \$15 million. The project has been separated into two segments for construction purposes. The first phase consisting of the easterly segment of the project (from Santa Helena to Highland Drive) was estimated at \$7 Million, which has been secured from Congressman Levin's office. The City Council authorized a transfer of \$1,000,000 of surplus Measure S funds at the end of FY 2023/24 to the CIP fund to cover any increase in costs that may have occurred since original scope and design. The City is expecting to expend the funding received for the east side in FY 2025/26 and FY 2026/27.

The second phase is the west side (from I-5 to Cedros Avenue) is projected to cost approximately \$8 Million. To date, the City has received \$850,000 from Congressman Levin's office.

2. Traffic Calming Projects

Summary: Several locations for traffic calming improvements, including signage and speed reduction installations (humps, pillows, tables, etc.), have been identified throughout the City. These projects include the monitoring and analysis of publicly initiated traffic calming requests and proposal of measures and installations that can be implemented within the public rights-of-way to enhance the user's experience for all modes of transportation.

FY FY2025/26 Actions:

- A. Monitor and assess traffic calming requests on Highland Drive south of Lomas Santa Fe, on San Mario Drive, and on Palmitas Street.
- B. Review City's Neighborhood Traffic Management Program (Traffic calming).
- C. Present options pursuant to AB 43 (Friedman, Citywide speed reduction) for Council consideration (prioritize Highway 101 and Lomas Santa Fe).
- D. Present framework options for implementation of AB 413 "Daylighting".
- E. Prior to final occupancy of the Solana Highlands project, implement the traffic calming measures included in the conditions of approval.

Summary of Budgetary Projections for FY 2025/26: Staff will bring forward project-specific requests as needed. \$75,000 for miscellaneous traffic calming projects are expected to be appropriated in the FY 2025/26 & FY 2026/27 Adopted Budgets.

3. Implementation of the Comprehensive Active Transportation Strategy (CATS) Study Projects

Summary: The Comprehensive Active Transportation Strategy (CATS), approved by the City Council in 2015, identifies approximately 20 bicycle and pedestrian projects throughout Solana Beach. These projects are designed to enhance bikeability and walkability across

neighborhoods and major corridors, and they align with the City's Climate Action Plan (CAP) and Vision Zero goals.

The City advances Vision Zero through safe roadway design, prioritization of active transportation, Safe Routes to School programs, and traffic calming initiatives. In support of these efforts, SANDAG recently completed a regional Vision Zero Action Plan, offering cities strategies focused on the five E's: Engineering, Education, Encouragement, Evaluation, and Enforcement.

Currently Active CATS Projects:

- Lomas Santa Fe (East of I-5) – Federal funding process underway; construction bids expected Summer 2025
- Lomas Santa Fe (West of I-5) – Out to Bid for Paving and Striping; construction anticipated to begin by end of 2025
- Glencrest Sidewalks – Design and Bid Phase
- Santa Helena Improvements – Design Phase
- Cliff Street (Cedros to Glenmont) – Preliminary Engineering

FY 2025/26 Actions:

- A. The City Engineer will prepare a memo to the City Manager outlining the plan for implementation over the next 5 years, including the number of projects in planning, design and implementation annually.
- B. Review SANDAG's Vision Zero Action Plan and implement any pertinent policies or strategies.
- C. Install audio alerts on Lomas Santa Fe on-ramp and off-ramp crossings, or other identified locations, where visibility is limited. If feasible, implement lighting improvements for pedestrian crossings and bicycles inside the underpass.

Summary of Budgetary Projections for FY 2025/26: Budget allocations for the various CATS projects are included in the budget.

4. Traffic Signal Upgrades

Summary: The City has 16 signalized intersections, that are maintained by Yune. The City's traffic engineering consultant, STC Traffic, performed a citywide traffic signal assessment and made recommendations to maintain and improve the efficient and effective operation of the traffic signal systems. The first phase of improvements was to replace obsolete, damaged, and worn equipment, with a future phase to comprehensively upgrade and modernize the City's system and equipment. The final component in the Phase I improvements was to install Battery Backup Systems for two intersections (1) Stevens/San Rodolfo (2) Stevens/Valley Ave. All work in Phase I is complete. The Phase II comprehensive system improvement will require significant costs, and a master plan based on priority components and upgrades.

FY 2025/26 Actions:

- A. Prepare a master plan for comprehensive system improvements as recommended in the Citywide assessment.
- B. Analyze the feasibility of installing flashing left turn lights (permissive yellow) in appropriate locations.
- C. As part of the Lomas Santa Fe – West pavement repair project, some of the items in Phase 2 of the signal upgrades will be completed. This includes installation of video detection systems (instead of loop detectors) at five intersections, replacement of controller hardware at five intersections, replacement of cabinets and battery backup systems at three intersections and other miscellaneous upgrades.

Summary of Budgetary Projections for FY2025/26 Phase II will consist of an evaluation and prioritization of projects and corresponding cost estimates consistent with the City's traffic signal master plan. The City is expecting an appropriation of \$230,000 for FY 2026/27 Adopted Budget from Gas Tax Funds for Phase II.

5. Highway 101 Tree Grate Replacement

Summary: Decorative tree grates were installed as part of the Highway 101 Westside Improvement Project back in 2011. Because of normal wear and tear, the tree grates are starting to deteriorate. This project will replace the existing, deteriorating tree grates along the west side of Highway 101. During FY 2024/25, a total of eight tree grates were purchased at a cost of approximately \$25,000.

FY 2025/26 Actions:

- A. Replace tree grates along Highway 101 with Cast Iron Grey anti-skid tree grates.
- B. The number of tree grates to be replaced in future years will be determined based on an as-needed basis.

Summary of Budgetary Projections for FY 2025/26: The estimated cost to replace an additional eight (8) tree grates is \$25,000. The City is expecting an appropriation of \$25,000 annually for FY 2025/26 and FY 2026/27 Adopted Budgets from Coastal Business/Visitors Fund.

6. Glencrest Sidewalk Improvements

Summary: The Glencrest Sidewalk Improvement Project is identified as a high priority project in both the Safe Routes to School and CATS programs. The intent of this project is to provide safe pedestrian facilities while respecting private improvements and residential parking to the extent feasible without acquiring additional right of way. In 2024, the Council advanced a design for this project to include the construction of concrete curbs, gutters and sidewalks along both sides of Glencrest Drive from Lomas Santa Fe to Dell Street. The City is preparing construction drawings and bid documents that minimize impacts to the private improvements that are encroaching into the public right of way. Design should be completed

by the end of December 2025. Construction could begin in the Spring of 2026. As mentioned below, Staff has submitted granting funding requests to three separate agencies. If this project receives grant funding, the grant funding requirements may impact the construction schedule.

FY 2025/26 Actions:

- A. Prepare plans, specifications and estimate (PS&E) package
- B. Advertise for construction once funding has been identified.
- C. Complete construction of the project, including coordination with adjacent property owners.

Summary of Budgetary Projections for FY 2025/26: Construction drawings and bid documents are being performed by in-house Staff and will include an estimate of construction costs. There is \$75,000 available which was included in the FY 2023/24 TransNet Budget that was rolled over to FY 2024/25. These funds will be rolled over to FY 2025/26. Staff has applied for construction grants through SANDAG, Congressman Levin's office and State Assemblymember Boerner's office.

7. Cliff Street Comprehensive Improvements

Summary: Cliff Street runs generally east to west, ascending steeply from its starting point at N. Cedros Avenue. Presently, Cliff Street is paved with asphalt/concrete (a/c), and has no sidewalk, intermittent a/c berms, and a variety of materials along the shoulder used primarily for parking. Currently, there is no underground drainage system in place, and precipitation and other runoff flow occurs from east to west, carrying sedimentation during storm events. City Council has requested that the City Engineer investigate possible designs for improved pedestrian access along Cliff Street. As part of this review, it is considered good Engineering practice to evaluate potential drainage improvements to mitigate runoff and erosion along this street. City Staff will evaluate the limitations and challenges with respect to existing private improvements encroaching into the right of way, co-alignment for drainage improvement, and possible design solutions for consideration by the City Council. A continuous walkway would also be implemented along one side of the road to accommodate pedestrians.

FY 2025/26 Actions:

- A. Develop opportunities and constraints analysis for Cliff Street for pedestrian access, such as a walkway, and drainage.
- B. Conduct engagement with residents and nearby businesses and schools on use and possible design ideas.
- C. Develop design-level plans for the proposed drainage system.
- D. Develop a construction-level cost estimate for the proposed drainage and walkway improvement.

Summary of Budgetary Projections for FY 2025/26: Preliminary tasks will be performed by in-house Staff. Staff will continue to develop construction level plans, specifications and

cost estimates with support from the City's on-call civil engineering consultants. Additionally, Staff will work on designing appropriate right of way improvements along both sides to Cliff Street.

8. CRT Extension at North City Limits

Summary: This project is a continuation of the City's existing Coastal Rail Trail (CRT) from its current terminus near Ocean Street, northerly to the City's jurisdictional boundary with the City of Encinitas. The project would end at a proposed pedestrian crosswalk that would link the Harbaugh Seaside Trails to the Seaside State Beach in Encinitas. The project would include an extension of the concrete path, decomposed granite (DG) shoulders, landscaping, irrigation and minor concrete repairs to the existing concrete path. This work will also include a refresh and repairs to the existing northern segment of the CRT, including removal of the crescent deck platform, and replacement with similar drought-tolerant, native plantings.

FY 2025/26 Actions:

- A. Coordinate with City of Encinitas to connect the CRT extension to the proposed pedestrian crosswalk between Harbaugh Seaside Trails to the Seaside State Beach.
- B. Include removal of the crescent deck platform and replace with landscaping consistent with existing landscaping.
- C. Prepare plans, specifications and estimate (PS&E) package.
- D. Advertise for construction once funding has been identified.

Summary of Budgetary Projections for FY 2025/26: Estimated total cost for this project is \$375,000. The City is expecting to appropriate \$375,000 in Public Recreation Impact Fees for FY 2025/26 & FY 2026/27 Adopted Budgets for design (\$75,000) and construction (\$300,000). Staff has applied for construction grants through Congressman Levin's office and State Assemblymember Boerner's office.

9. Santa Helena Neighborhood Trail

Summary: City Staff is working on a plan that would implement the recommendations contained in the CATS and Safe Routes to School studies. The paved area on Santa Helena, north of Sun Valley Road, is approximately 64 feet wide, with a painted median. The area within the painted median was not constructed to carry vehicle traffic, and as a result, the traffic that crosses over the median area degrades the condition.

The citywide condition assessment identified Santa Helena as being in need of paving and repair work. In preparation for this paving work, Staff developed a comprehensive plan for a multi-use trail along Santa Helena; however, based on neighborhood feedback, that design is no longer being pursued. Pothole repair work within and adjacent to the painted medians was conducted in early 2025. City staff is now working on modified designs that include consideration of the median area, such as raised, planted medians or full reconstruction for long-term wear from crossing vehicle traffic. During the next year, City staff will be

conducting additional community engagement on median options and plan for a paving project that can be implemented for the norther segments of Santa Helena.

FY 2025/26 Actions:

- A. Conduct additional community outreach on median options, paving and striping.
- B. Prepare design and bid documents for the pavement repair and stripping project.
- C. Advertise for construction bids, award construction contract and construct project.

Summary of Budgetary Projections for FY 2025/26: The FY 2024/25 Budget Update allocated a \$450,000 transfer from the Measure S Fund to the CIP Fund for construction of this project. Depending on the community feedback on the median options, additional funding may be necessary for this project.

10. Electric Bicycle (E-Bike) Safety and Education Program

Summary: The proliferation of E-Bikes in the city has resulted in both positive and negative impacts on the community. E-Bikes can help riders of all ages, skills and physical abilities live more active lives, reduce daily miles traveled in vehicles, and provide a convenient and clean mode of transportation around the community. However, there are significant safety concerns that have arisen as the popularity of E-Bikes has exploded. The City would like to continue to promote the use of E-Bikes in the community but also create a safe environment for pedestrian and vehicular traffic. The continued education of both E-Bike riders and the public is paramount to a harmonious community that can both foster clean alternative modes of transportation while protecting the health and safety of the residents.

FY 2025/26 Actions:

- A. Continue the partnership with the San Diego County Bike Coalition and BikeWalkSolana to provide E-Bike safety educational workshops and practical exercises throughout the community. These trainings should incorporate driver education related to bikes and E-Bikes safety as laws are constantly changing.
- B. Continue to collaborate with the local schools to provide educational opportunities and on the permit program for E-Bike riders.
- C. Partner with the local bicycle shops on educational opportunities when E-Bikes are purchased. Coordinate/communicate ongoing educational workshops/seminars to bike shops to distribute when e-bikes are sold.
- D. Coordinate with Sheriff's Office on enforcement actions of illegal (not street legal) e-bikes.

Summary of Budgetary Projections for FY 2025/26: Anticipated costs associated with partnering with the San Diego County Bike Coalition and BikeWalkSolana are approximately \$6000 for the education and training programs in FY 2025/26.

3. ENVIRONMENTAL SUSTAINABILITY AND ENERGY

1. Climate Action Plan Update

Summary: In October 2024, the City of Solana Beach adopted an updated Climate Action Plan (CAP), building upon the original 2017 plan. This update reflects advancements in technology, evolving market trends, and the latest scientific best practices to strengthen the City's response to climate change. According to the most recent greenhouse gas (GHG) inventory (2018), prepared by the San Diego Association of Governments (SANDAG) and the Energy Policy Initiatives Center (EPIC), Solana Beach has achieved a 40% reduction in emissions compared to 2010 levels.

To sustain and accelerate this progress, the City will prioritize implementation of CAP strategies and actions aimed at further reducing GHG emissions and enhancing community resilience. Key initiatives for the upcoming fiscal year include:

- Expansion of publicly accessible electric vehicle charging infrastructure
- Launch of a heat pump water heater incentive program
- Tree canopy expansion to increase urban greening and cooling
- Identification of Benchmarks for a Building Performance Standard (BPS)
- Completion of a new GHG inventory to track progress

The City continues to collaborate with regional partners and coalitions to ensure effective and coordinated CAP implementation. Additional details on policies and action items can be found in the Climate Action Plan Update ([Climate Action Plan | Solana Beach](#)).

FY 2025/26 Actions:

- A. Implement priority actions as outlined in the CAP Update Implementation Matrix.
- B. Research a public charging station program, focusing first on underserved areas, or areas with multifamily residential.
- C. Continue working on the feasibility of a microtransit pilot program; over the next year continue engaging focus groups to determine demand and researching potential funding options.

Summary of Budgetary Projections for FY 2025/26: Staff estimates \$100,000 annually to implement various actions, as identified in the CAP Update Implementation Matrix. As projects are identified and costs are finalized, projects will be brought to the City Council. In addition, \$230,000 is estimated for public EV parking infrastructure and \$100,000 for the planning and pilot framework for a senior, microtransit pilot program. Additional cost analysis will be conducted on the CAP actions for implementation, as needed.

2. Continued Participation in Clean Energy Alliance (CEA)

Summary: The City of Solana Beach has been at the forefront of promoting and establishing a local Community Choice Aggregation (CCA) program. In February 2018, the City Council gave final approval to launch Solana Energy Alliance (SEA), and SEA officially began operations in June 2018, becoming the first CCA in San Diego County. SEA transitioned to the Clean Energy Alliance (CEA) in collaboration with the cities of Carlsbad and Del Mar. CEA currently includes the cities of Carlsbad, Del Mar, Solana Beach, Escondido, San Marcos, Oceanside, and Vista.

The City of Solana Beach remains proud of its leadership role in launching the first CCA in San Diego County and looks forward to continuing its efforts in promoting sustainable energy solutions through the Clean Energy Alliance.

FY 2025/26 Actions:

- A. Advocate the potential to increase the baseline RPS of CEA to eventually reach the 100% RPS goal as soon as possible but no later than 2035. CEA has incorporated incremental (~2%) annual increases to the RPS in its Integrated Resource Plan (IRP), as well as the pro forma, to achieve 100% by 2035.
- B. Continue to work with the CEA Board and staff to expand programs for local generation and storage programs.
- C. Engage CEA to explore incentive programs for heat pumps/water heater installations.

Summary of Budgetary Projections for FY 2025/26: Participation in CEA meetings and events will be limited to Staff time.

3. City Facility Energy Efficiency and Decarbonization Upgrades

Summary: City facilities represent a significant opportunity to reduce municipal energy consumption, lower utility costs, and demonstrate leadership in sustainability. By investing in targeted energy efficiency upgrades, Solana Beach can make meaningful progress toward its Climate Action Plan (CAP) goals while also improving building performance and resilience. Potential upgrades include the installation of high-efficiency lighting systems, modern HVAC units, energy-efficient windows, and, where feasible, on-site renewable energy systems such as photovoltaic (solar) panels and battery energy storage systems. These improvements not only reduce greenhouse gas emissions but can also lead to long-term cost savings through lower energy bills and reduced maintenance needs.

To evaluate the feasibility and potential benefits of these upgrades, City staff will collaborate with energy efficiency consultants to assess the condition and energy performance of municipal buildings. This assessment will include identification of high-impact energy efficiency measures, projected energy and cost savings over time, and operational and maintenance considerations. In parallel, staff will research and pursue potential funding sources to support implementation, including federal and state grants, utility rebates, and low-interest financing programs. These financial mechanisms could make it possible to

move forward with projects that offer strong environmental and economic returns. Findings from this effort can inform and serve as a model for local businesses and residents and future updates to the Climate Action Plan.

FY 2025/26 Actions:

- A. Draft and issue an RFP for an Energy Efficiency Consultant to evaluate potential energy projects for City facilities.
- B. Research opportunities for the City to enter into Power Purchase Agreements (PPAs) and obtain funding for Microgrids at City facilities.
- C. Pursue the design and installation of operable windows at City Hall.

Summary of Budgetary Projections for FY 2025/26: Total costs unknown and would be determined after identifying the scope of the project.

4. Marine Safety Center

Summary: The City's Marine Safety Center is deficient and does not meet current and long-term needs of the community and beach visitors. The existing facility is dilapidated with design deficiencies that don't meet the current needs of our lifeguards with respect to storage, operations, and technology, as well as facilities for persons with disabilities or of different genders/identities. A needs assessment study was completed in June 2017, which determined that the best alternative was to demolish the existing building and construct a new building.

A Professional Services Agreement with an architectural consultant was approved in October 2018, to develop a preliminary site and building design for a new Marine Safety Center. Following a community meeting in February 2019, the City consultant prepared three design options that were presented to the Council during a public hearing in November 2019. Upon receiving direction from the Council and input from the community, a facility design was developed, and story poles were installed in April 2022. After receiving testimony from the public, the City Council provided further direction to the City Manager to modify the proposed design to minimize view impacts without jeopardizing the operational needs for the Lifeguard Station. Following numerous design iterations, a second set of story poles were installed in October 2024. As part of the December 2024 public meeting, the Council approved a modified design and adopted a Development Review Permit (DRP)/Site Development Permit (SDP) for the replacement of the Marine Safety Center.

The next step for the project is to submit a Coastal Development Permit application to the California Coastal Commission. Upon receipt of the necessary permits, the City will prepare final engineering and construction design documents to be released for bid for construction. While allocation of funding for construction of the Marine Safety Facility is still pending, throughout the next phases, the City will be exploring the availability of grant funding and/or alternative approaches for this significant public capital investment to ensure construction of this project can start at the earliest possible time given the remaining regulatory and financial requirements for this important City facility project.

FY 2025/26 Actions:

- A. Prepare additional technical studies and apply for a Coastal Development Permit.
- B. Engage Coastal Commissioners for a site visit to see existing conditions.
- C. Research and apply for grant funding opportunities.
- D. Upon approval of the CDP, prepare final engineering and construction design documents.

Summary of Budgetary Projections for FY 2025/26: As part of the update in January 2024, the City Council authorized an increase to the PSA with the Consultant (domusstudio) in the amount of \$500,000. This budget allocation will be carried forward into FY 2025/26 to allow the project to progress through the Coastal permitting process and receipt of an engineering cost estimate for a construction bid solicitation. It is anticipated that additional funding will be necessary in future fiscal years to complete the state permitting, prepare construction level plans and specifications, and advertise for competitive construction bids. Council authorized a transfer of \$1,000,000 in surplus Measure S funds at the end of FY2023/24 to the CIP fund towards future construction costs for the Marine Safety Building. An additional \$700,000 in design services and an additional \$1,000,000 in future construction costs are expected to be appropriated in the FY 2025/26 and FY 2026/27 Adopted Budget from Measure S funds.

5. Fletcher Cove Improvements

Summary: The proposed Fletcher Cove Improvements consist of the replacement of the beach access ramp, the dissipater grate at the bottom of the ramp, and improvements to the shower area, including the drainage and expansion of number of shower heads. The ramp replacement includes replacing the concrete ramp, the asphalt concrete walkway immediately south of the ramp, the concrete curb and the metal handrailing. The existing dissipator grate was installed in approximately 1998, as part of the NCTD train station project and associated drainage work. Due to the ocean weather and salt water, the dissipator grate is corroding and needs to be replaced. A Coastal Development Permit waiver from the California Coastal Commission was obtained in November 2023, for replacement of the dissipator grate and associated beach access ramp improvements. This project was advertised for construction bids in April 2025 and planned to be awarded in July 2025. It is anticipated that construction can start after Labor Day (September 1, 2025) to avoid the peak summer months.

In addition to the ramp, dissipator and shower project, improvements/repairs are needed for the decorative surfacing within the park. These repairs will occur near the Nautilus landing between the Lifeguard and restroom buildings, at the compass adjacent to the vehicle entrance along South Sierra Avenue and other small miscellaneous concrete repairs throughout the park.

FY 2025/26 Actions:

- A. Construct the comprehensive Fletcher Cove Improvement Project to include the replacement of the concrete access ramp and walkway, replacement of the dissipater grate and installation of a new shower tower, with foot showers, near the bottom of the access ramp.
- B. Repair Lithocrete/decorative concrete in areas to be specified throughout the park.

Summary of Budgetary Projections for FY 2025/26: Construction bids were received for repairs to the access ramp, replacement of the dissipater and additional shower improvements. With the inclusion of materials testing and construction contingency, the construction contract is expected to cost approximately \$510,000. There is \$190,000 allocated in the Sand Retention Fund's FY 2024/25 Adopted Budget and \$60,000 in the Coastal/Visitors Fund's FY 2024/25 Adopted Budget, which will be rolled to FY 2025/26 for project completion. An additional \$260,000 will be added to the FY 2025/26 Proposed Budget from the Measure S Funds for the access ramp replacement project. Additional work for the Lithocrete/paving repairs are proposed at \$140,000 to be appropriated in FY 2025/26 Proposed Budget from the Measure S Funds.

6. Major Storm Drain System Improvement Projects

Summary: There are a number of storm drain systems throughout the City that are in need of improvements/upgrades. This project provides ongoing priority ranking, design and construction of city-wide storm drain system improvements based on available funding. A project was completed in FY 2023/24 to line and replace several Corrugated Metal Pipes that were in the worst condition. The FY 2024/25 project will consist of open trench replacement of deteriorated corrugated metal pipes (CMP) throughout the City. A construction contract was awarded at the March 12, 2025, City Council meeting and construction started on May 12, 2025. It is expected that this project will be completed before the end of the 2025 calendar year. There is also a separate pipelining project that was identified in the FY 2024/25 CIP budget. This project was advertised for construction bids in April 2025 and is expected to begin construction during the Fall of 2025.

FY 2025/26 Actions:

- A. Identify priority projects to continue to improve storm drain infrastructure throughout the City.
- B. Complete design, procurement and construction of identified projects.

Summary of Budgetary Projections for FY 2025/26: Estimated total cost of \$500,000 for storm drain improvements in Fiscal Year 2025/26, which is expected to be appropriated in the FY 2025/26 Adopted Budget, with \$300,000 from the Measure S Fund and \$200,000 from the Misc. CIP Fund.

7. The Mayors Monarch Pledge

Summary: The monarch butterfly, an iconic species, has seen a dramatic decline in its populations, with eastern populations decreasing by 90% and western populations by 99% in recent years. To combat this decline, the City of Solana Beach has joined the National Wildlife Federation's (NWF) Mayors' Monarch Pledge. This initiative encourages U.S. cities, municipalities, and communities to create habitats for the monarch butterfly and other pollinators, and to educate residents on how they can contribute to these efforts at home and within their communities.

By taking the Mayors' Monarch Pledge, mayors must commit to implementing at least three of the 30 action items listed on the NWF website (nwf.org/MayorsMonarchPledge) each year they participate. At least one of these actions must come from the "Program & Demonstration Gardens" section. Mayors who complete eight or more actions are recognized as part of the National Wildlife Federation's Mayors' Monarch Pledge Leadership Circle, and those who complete 24 or more actions are honored as Monarch Champions.

The City of Solana Beach first committed to the pledge for the 2021 program year and has renewed its pledge annually for each year thereafter. The City is actively involved in this initiative by implementing various action items, such as establishing demonstration gardens, hosting educational events, and planting milkweed and pollinator-friendly native nectar plants. Furthermore, the City reports its progress annually, detailing the engagement activities, the number of participants, and the specifics of the planted areas to track and promote the success of these conservation efforts.

FY 2025/26 Actions:

- A. Continue to engage with the SeaWeeders and other partners to support monarch butterfly conservation and plant native milkweeds and nectar-producing plants in locations like the Coastal Rail Trail, at the La Colonia Community Center, and other City-owned properties.
- B. Add or maintain native milkweed and nectar producing plants in community gardens and at the El Jardin de los Ninos at the La Colonia Community Center.
- C. Add native milkweed and nectar producing plans at new City projects, including the future Glenmont Park.
- D. Prepare annual report about progress on the above three actions including statistics on numbers of plants purchased or planted per the Mayors' Monarch Pledge guidelines.

Summary of Budgetary Projections for FY 2025/26: Maintenance costs for plants and any costs for new plants to replenish existing monarch gardens is approximately \$1,000 annually (included within Public Works budget). To expand to other City-owned properties, Staff anticipates another \$10,000 in plant, irrigation, and labor costs (to be included within the Climate Action Plan budget).

8. San Diego Regional Climate Collaborative

Summary: The San Diego Regional Climate Collaborative is a network of public agencies, nonprofits, businesses, and academia working together to advance climate change solutions and promote sustainability across the San Diego region. By fostering collaboration and information sharing, the Collaborative aims to enhance regional efforts in climate protection, resilience, and sustainability.

The City of Solana Beach has been an active participant in the San Diego Regional Climate Collaborative, engaging in various initiatives to advance sustainability and climate resilience. Over the years, the City has collaborated with other member jurisdictions to share best practices, develop and implement climate action plans, and participate in regional projects focused on reducing greenhouse gas emissions and enhancing climate resilience. Notable achievements include the successful implementation of waste minimization programs, efforts to protect and restore healthy ecosystems, and initiatives to improve water quality and efficiency. Through its ongoing participation, the City continues to demonstrate leadership in promoting sustainability and addressing climate change at the regional level.

FY 2025/26 Actions:

- A. Renew the City membership and attend the San Diego Regional Climate Collaborative meetings and sponsored events.
- D.

Summary of Budgetary Projections for FY 2025/26: Participation in SDRCC meetings and events will be limited to Staff time. If sponsorship or other opportunities are presented, additional budget authorizations will be consistent with City policy.

4. YOUTH, SENIOR, AND COMMUNITY WELL-BEING

1. La Colonia Park Improvements

Summary: In 2006, a community-based La Colonia Park Needs Assessment Advisory Committee developed recommendations for improvements throughout La Colonia Park, which included among other improvements, ADA-compliant ramps and pathways throughout the park and facilities. The City completed the conceptual design for the park improvements in December 2009, and preliminary design of the park in September 2010.

Since the original La Colonia Master Plan (LCMP) was completed, three components of the LCMP were built as separate projects. Construction of the Veteran's Honor Courtyard was completed in May 2016, construction of the La Colonia Skate Park was completed in April 2019, and the new tot lot playground was completed in May 2024.

With the City's purchase of the property immediately north of the skate park, there was a need to re-evaluate the property and existing park, and the needs and priorities. The Council approved a PSA for updating the La Colonia Master Plan in February 2022, and a public workshop was held in February 2023 to gather community input on priorities and needs for design, operations, and facilities onsite. Updates were provided to the City Council in March 2024 and February 2025. While work continues on the larger Master plan document, Staff has prepared a conceptual drawing of potential interim improvements that could be implemented before the full LCMP is completed and construction funding is identified. These interim improvements include passive uses of the vacant lot north of the La Colonia Skate Park and may include features such as minor grading to facilitate pedestrian access from the existing park, decomposed granite walkways, seating, grass area, irrigation improvements, and maintaining existing mature trees and landscape.

While ongoing maintenance and smaller facility and park improvements are programmed, the City continues to seek additional funding for expansion, park improvements, including ADA-compliant renovations in compliance with the City's ADA Transition Plan.

FY 2025/26 Actions:

- A. Conduct outreach and complete design for the new City building to include youth and senior center.
- B. Heritage Museum: Prepare a construction bid package (RFB) for roof repairs, fascia repairs, and various other building improvements at the museum. Conduct bid process and complete construction

- C. Determine feasibility of interim building solutions to open community center main entrance and install new windows. This would include the relocation of the “Tree of Life” that celebrates the founding families of the La Colonia neighborhood.
- D. Identify interim outdoor improvements around trellis and courtyard area.
- E. Develop concept for interim park improvements on vacant lots north of the Skate Park. Present interim park improvements to community and City Council.
- F. Install echo/noise control in the large Community Room.
- G. Initiate a planning process to explore a comprehensive guiding plan for the community that can provide further design and setback regulations to maintain the historic and cultural history of the neighborhood.

Summary of Budgetary Projections for FY 2025/26: The total Capital Improvement Plan costs for La Colonia Park Improvements is estimated to cost \$913,000, with \$500,000 from Measure S Funds, \$300,000 from Public Development Impact Fees Fund, \$66,000 from Facilities Replacement Fund; expected to be appropriated in the FY 2025/26 & FY 2026/27 Adopted and \$47,000 Facilities Replacement Fund available in FY 2024/25 Budget that will be rolled over as well. Funding is proposed to be allocated as follows:

- Interim improvements to vacant lot, community center entrance and outdoor courtyard - \$800,000
- Community Center – replacement of HVAC Unit – \$30,000
- Community Center – replacement of HVAC Control System – \$6,000
- Community Room inside Community Center – echo/noise control for the – \$30,000
- Heritage Museum – roof and fascia repairs – \$47,000

2. Age Friendly Communities Action Plan

Summary: The City acknowledges the importance of addressing the needs of its aging population, which is one of the oldest in San Diego County. In partnership with the San Diego Foundation, the American Association of Retired Persons (AARP), and San Diego State University, the City has embraced the Age-Friendly Communities Program. This initiative seeks to create more livable environments for residents of all ages and abilities by promoting programs and system-level changes.

The Age-Friendly Solana Beach Action Plan, adopted by the City Council on March 22, 2023, outlines strategies to address various needs of older adults, including transportation, housing, outdoor spaces and buildings, community support and health services, respect and social inclusion, communication and information, social participation, and civic participation and enjoyment.

Moving forward, City Staff will continue to implement programs and policies outlined in the adopted Age-Friendly Action Plan. Solana Beach remains committed to fostering an inclusive and supportive community where residents of all ages can thrive.

FY 2025/26 Actions:

- A. Implement circulator or shuttle services specifically tailored to meet the transportation needs of seniors, providing convenient access to essential services and amenities.
- B. Continue to coordinate with other local service providers, including Solana Beach Community Connections, Solana Beach Presbyterian Church, the County Library, etc. to maximize programs and services for the senior community.
- C. Work with youth organizations such as the Solana Beach School District, San Dieguito Unified High School District, and San Dieguito Boys & Girls Club, to develop a program that pairs youth with senior residents to provide companionship, friendship, and mentoring/tutoring opportunities that reflect both the City of Kindness initiative and the Age-Friendly Action Plan
- D. Increase community-based senior health and wellness programs and activities, including exercise classes, health screenings, and support groups tailored to the needs of older adults.
- E. Within capital projects or facility improvement, include designs that promote accessibility and walkability for persons of all abilities.
- F. Identify funding for fixed- and low-income senior homeowners to retrofit their properties with age-friendly features such as grab bars, wheelchair ramps, and non-slip flooring.

Summary of Budgetary Projections for FY 2025/26: Costs for implementing a circulator service continue to be developed through further engagement and funding opportunities. Staff has recommended \$100,000 be allocated in the next fiscal year budget for this purpose. City Staff will continue to explore partnerships to maximize senior programs and services including utilizing City facilities. Staff will continue to work with organizations such as the Boys and Girls Club, Solana Beach Presbyterian Church Senior Center and Solana Beach Community Connections to provide programming for the senior community. However, increased programs and services may require more investment from the City, which will be brought to Council for consideration before implementation.

3. Glenmont Neighborhood Park

Summary: The City has been working with Santa Fe Irrigation District (SFID) to explore the possibility of the development of a park along Glenmont Avenue adjacent to the SFID reservoir. The City has initiated discussions with SFID to create an agreement and a timeline for the development of a future neighborhood park at this location. The site is presently excess land around the tank, and planned to be used by SFID as a construction staging and laydown yard for a seismic retrofit and roof replacement project for the existing tank. The SFID is currently conducting a study of the scope and timeline for that reservoir repair work. The City is working with SFID to create a timeline for design, funding, bid, and construction following the completion of the tank project. In the meantime, the City has completed conceptual design work for a passive neighborhood park. Future fiscal year work will include city and CCC permitting, construction RFP and bid process, and construction.

FY 2025/26 Actions:

- A. Work with the community to receive project feedback on design and prepare a preliminary project timeline and conceptual design.
- B. Enter into an agreement with Santa Fe Irrigation District.
- C. Work with residents and SFID to minimize impacts related to any work in proximity to the tank or during tank improvement project construction to the greatest extent possible.

Summary of Budgetary Projections for FY 2025/26: It is estimated that the conceptual design and public outreach would cost approximately \$10,000, and the estimated cost for preparation of construction plans including landscaping and irrigation plans is \$65,000. Additional funding will be required for future fiscal years for construction; a construction cost estimate will be provided after the project is designed. There is \$350,000 available which was included in FY 2024/25 CIP budget. The City is expecting an additional \$75,000 to be appropriated in the FY 2026/27 Adopted Budget from Public Use Facilities Impact Fee Fund. Staff has also included a placeholder amount of \$1,000,000 in the FY 2027/28 CIP budget for construction of the project.

4. Fletcher Cove Community Park and El Viento Pocket Park Trail Upgrade

Summary: The existing trail system in both locations are subject to significant erosion during storm events. This project would convert the existing D.G trail pathways into a more stable semi-pervious surfacing that can withstand high-precipitation storm events and is ADA compliant. Staff is doing research on alternative products, and pursuing a pilot project for an acceptable product that can be used in lieu of bonded/stabilized DG.

FY 2025/26 Actions:

- A. Develop a set of design plans, specifications, and cost estimate (PS&E) for both sites.
- B. Conduct bid process and complete construction.

Summary of Budgetary Projections for FY 2025/26: The preliminary cost for both sites is estimated at \$200,000, which is currently appropriated in the FY 2024/25 CIP Fund and will be rolled over to FY 2025/26.

5. City of Kindness Coalition

Summary: The City of Kindness is a coalition of organizations dedicated to inspiring and promoting kindness worldwide. This initiative aims to effect meaningful change among schools, professionals, young people, elected officials, and companies. It is a project of the Social Impact Fund, a non-profit public charity that supports efforts to advance social good and make a positive difference globally.

Mayors across the country have united to encourage the nation to adopt a culture of kindness in our cities, businesses, and schools through acts of kindness. Solana Beach is officially a part of this coalition, and our Staff will continue to collaborate with the community group to promote the program and assist with events regularly. We will integrate these activities into City events and programming to foster a kinder and more inclusive community. By working together, we can create an environment where kindness thrives, benefiting everyone in our city.

FY 2025/26 Actions:

- A. Install banners with themes to implement the City of Kindness programs.
- B. Encourage acts of kindness throughout the community and submittal of observed acts of kindness to the Kindness Counter link on the City's website.
- C. Host outreach efforts concurrently with existing City events for residents of all ages to come together on projects with positive messages of kindness and encouragement.
- D. Continue annual World Kindness Day celebration event in November to bring the community together with fun and interactive kindness activities at Fletcher Cove Park.
- E. Initiate quarterly "Solana Beach Cares – Seasonal Kindness Drives" to collect and distribute community donations of essential food and other necessities to those in need.
- F. Develop a working group of non-profits and other interested stakeholders to meet on a regular basis to promote the City of Kindness programs.

Summary of Budgetary Projections for FY 2025/26: These actions can be completed with City Staff time.

6. Replacement of Emergency Generator at Fire Station

Summary: The existing generator at the fire station is approximately 28 years old and was installed when the fire station was constructed in 1991. Due to the age of the existing generator, the permit with the Air Pollution Control Board only allows for the operation of the generator up to 20 hours per year in non-emergency situations during testing and maintenance. As part of the design study, the operational needs of the building were evaluated to determine the size of the generator required. The electrical switchgear was also evaluated to determine if upgrades were necessary. The project was advertised for construction bids during FY 2024/25 and the City Council awarded a construction contract in April 2025. It is anticipated that the construction and installation will occur in Fall of 2025.

FY 2025/26 Actions:

- A. Contractor to obtain permits from Air Pollution Control District (APCD).
- B. Contractor to order generator. Lead time to procure new generator is 16 to 20 weeks.
- C. Complete construction and installation of project.

Summary of Budgetary Projections for FY2025/26: Complete construction funding is estimated to cost \$243,000 plus \$30,000 in contingency was appropriated as part of the

award of a construction contract on April 23, 2025, with \$209,000 current appropriated as part of the FY 2024/25 Adopted Budget in CIP fund. The shortfall of \$41,000 will be allocated from the CIP undesignated fund balance.

7. Synthetic Drug Substance Prohibition

Summary: Synthetic substances, commonly referred to as Bath Salts or Spice, are documented that when consumed to cause hallucinations, agitation, psychosis, aggression, suicidal tendencies, among other things. While newly created drugs often go unregulated in California due to testing and other regulatory requirements, many of these substances are given emergency scheduling under the U.S. Food and Drug Administration. The City Council has directed the City Manager to develop appropriate regulatory language to be considered by the Council to prohibit the manufacturing, sale, distribution and/or possession of Federal Schedule I drugs, including novel synthetic drugs.

FY 2025/26 Actions:

- A. Develop proposed regulatory language that incorporates updates under state law by reference to be considered for adoption by the Council.

Summary of Budgetary Projections for FY 2025/26: Development of draft regulations can be completed with Staff time.

8. Healthy and Livable Communities

Summary: The City of Solana Beach has always been a leader in initiating programs and policies to encourage a healthy, safe and thriving community. Throughout the years, the City has adopted progressive policies to ensure the health of all residents, especially focused on youth and seniors. While these policies are sprinkled throughout this Work Plan in various Priority Items, we felt it was important to add a dedicated item to include any programs or projects that were not specifically included in other sections of the Work Plan.

FY 2025/26 Actions:

- A. Continue to develop and implement programs that encourage active participation for the youth and seniors in the community.
- B. Research the potential for a multifamily smoking ban ordinance.
- C. Continue to work with our Public Safety Departments to ensure a safe and welcoming community. This includes fire safety, law enforcement participation and Marine Safety involvement to ensure residents and visitors feel safe, businesses have access to resources and feel secure, and residents have tools to ensure the protection of their property.
- D. Research possible restrictions on wood burning appliances and fireplaces.

- E. Review and update urban agricultural regulations related to backyard chickens, beekeeping, fruit trees.

Summary of Budgetary Projections for FY 2025/26: Staff time will be needed to develop and implement additional programs to promote community well-being. Any significant new programs will be brought to City Council for consideration, which may include dedication of new funding.

5. GENERAL GOVERNANCE AND FISCAL RESPONSIBILITY

1. Legislative Platform and Lobbying

Summary: Legislative priorities for the City are generally reflected throughout this Work Plan. The following is a list of actions that should be conducted on an annual basis and with regular review to ensure new and pending legislation is being responded to in a manner consistent with the City's priorities and regulations.

FY 2025/26 Actions:

- A. Update Legislative Priority List annually for Council Consideration and develop policy on priority topic areas to support/advocate.
- B. Continue to work with lobbyists to promote City agenda and priorities.
- C. Engage representatives and submit letters to further City and regional priorities.
- D. Adopt City ordinances and policies to respond to and remain compliant with changes in law.
- E. Explore opportunities or alternatives for City governance such as a Charter City.

Summary of Budgetary Projections for FY 2025/26: The City's lobbyists are engaged at a total estimated not to exceed amount of \$107,000 for Fiscal Year 2025/26, including federal public affairs.

2. Staff Engagement and Effectiveness

Summary: The Staff in the City of Solana Beach are the backbone of operations and essential for delivering vital services to our residents. Recognizing their expertise, individualism and role fosters a strong, Staff-focused workplace. The cornerstone to the success of our city lies in prioritizing their well-being, growth, and recognition as key drivers of community success. Creating a highly supportive municipal work environment should include Staff engagement aimed at empowering employees, supporting professional growth, and maximizing skills that contribute to organizational success. This can be realized through a consistent and fair approach to hiring that ensures inclusiveness, transparency and internal promotional opportunities.

FY 2025/26 Actions:

- A. Create programs that implement an "open-door policy" where employees can share their ideas, concerns, and suggestions for continuous improvement of the City as a workplace and a community.

- B. Identify opportunities as part of the annual review process for Staff to pursue certifications, attend workshops, and participate in ongoing training and development opportunities to enhance employees' skills and knowledge.
- C. Conduct mandatory training for all (100%) permanent City employees focused on promoting accountability, transparency, and ethical standards.
- D. Conduct annual performance reviews and regular feedback sessions to provide employees with opportunities for growth and improvement.

Summary of Budgetary Projections for FY 2025/26: These actions can be completed with City Staff time.

3. Promote a Diverse and Inclusive Work Environment

Summary: Recognizing the evolving social and political landscape, organizations are actively working towards fostering diversity, equity, and inclusion within their ranks. Research indicates that beyond legal and moral imperatives, diversity and inclusion offer substantial competitive advantages. The City is committed to nurturing an inclusive workplace culture, emphasizing employee engagement to bolster professional advancement, development, and retention. These objectives are communicated transparently to Staff and the Council, with progress assessed through key performance indicators that track trends within the City and across the broader region. By incorporating these actions, the City can actively promote and cultivate a more diverse, equitable, and inclusive workplace environment.

FY 2025/26 Actions:

- A. Implement regular diversity training sessions and workshops for all Staff members to raise awareness and promote understanding of diverse perspectives, cultures, and identities.
- B. Review and update City policies and procedures to ensure they are inclusive and supportive of all employees, regardless of their background or identity.
- C. Collaborate with local community organizations and advocacy groups to foster partnerships and initiatives that promote diversity and inclusion both within the City workforce and the broader community.

Summary of Budgetary Projections for FY 2025/26: These actions can be completed with City Staff time; additional funding may be necessary to bring in outside speakers or forms of DEI workshops for City Staff.

4. Implement Performance Measurement Program

Summary: Implementing a performance measurement program involves establishing a systematic approach to evaluate and track the effectiveness and efficiency of the City. By measuring the current activities areas for improvement can be identified. The City can work with the employees to make adjustments in programs, policies and practices that can result

in a better workplace environment, with improved organizational productivity and with optimal customer service.

FY 2025/26 Actions:

- A. Complete analysis of FY 2024/2025 performance measures and report results and action plan to City Council in the FY 2025/2026 Budget.
- B. Identify relevant Key Performance Indicators (KPIs) that align with City Council goals and ensure both customer service and a positive workplace experience are maintained.
- C. Identify appropriate community survey tool(s) to evaluate customer satisfaction that match with the performance measurement goals.
- D. Recognize/Evaluate existing Committees/Commissions and un-official Committees/Commissions and develop performance measures and/or guidelines for these designees.

Summary of Budgetary Projections for FY 2025/26: These actions can be completed with City Staff time.

5. Digital Communications

Summary: The City continues to effectively utilize digital communications to keep the community engaged, informed, and connected. Regular updates to the City's website, email alerts, the weekly e-newsletter (Solana Beach Weekly Update), and active use of social media platforms (Facebook, Instagram, Threads & LinkedIn) allow the City to promptly share important information regarding City services, programs, news, and events. In the coming year, there will be a concentrated effort to expand the City's social media presence and maximize the use of digital platforms to better promote and grow community forward programs, events and initiatives, such as the City of Kindness Initiative. Social media accounts will focus on key news updates, special events, and specific programs like the Junior Lifeguard Program, Summer Day Camp Program, and various special events to ensure residents stay informed about important updates and opportunities. By incorporating the following actions, the City can effectively leverage its digital outreach as a tool for community engagement and promotion of City programs, events, and initiatives.

FY 2025/26 Actions:

- A. Continue to increase community engagement by growing the City's social media accounts and providing useful and community focused information and posts.
- B. Provide training for City Staff to ensure social media accounts are managed responsibly and content is appropriate and reflective of the City.
- C. Regularly monitor social media channels for comments, messages, and mentions to ensure information is consistent with City-driven information.
- D. Create partnerships with local businesses and organizations to amplify the reach of City messages and events on social media.

- E. If possible, track key metrics such as reach and engagement to measure the effectiveness of social media efforts and to inform future communication to residents and businesses.
- F. Evaluate the effectiveness of current social media strategies and make adjustments as necessary to better align with community interests and engagement goals.

Summary of Budgetary Projections for FY 2025/26: Most of the social media tasks are completed by City Staff. The City does pay approximately \$90 a month for the Constant Contact notification system.

6. Cyber Security Expansion- Awareness Training, Business Continuity & Disaster Recovery

Summary: The City made significant strides in strengthening cybersecurity infrastructure and operational readiness. A full deployment of a Cybersecurity Operations System was completed, providing enhanced visibility and threat detection across the network. Staff refined the Disaster Recovery and Business Continuity Plan by improving network redundancy through the installation of UPS battery backups and rewiring of the switch stack and patch panel infrastructure for greater efficiency and reliability.

In parallel, the City launched a comprehensive Cybersecurity Awareness Program, which included four quarterly phishing campaigns, remediation training for participants, one citywide cybersecurity awareness survey, and a third-party cybersecurity assessment to evaluate current practices and identify risks. Additionally, the city has partnered with local cybersecurity groups such as the Cybersecurity and Infrastructure Security Agency (CISA) for external penetration testing done bi-weekly to the network.

FY 2025/26 Actions:

- A. Implement cybersecurity incident response protocols based on NIST guidelines, including reporting and escalation procedures.
- B. Expand cybersecurity training offerings with role-specific modules for staff handling sensitive data.
- C. Conduct an annual tabletop exercise to test Business Continuity and Disaster Recovery readiness.
- D. Establish a recurring schedule for backup system audits and validation tests.
- E. Review and update the City's Information Security Policies to reflect evolving cybersecurity threats and best practices.

Summary of Budgetary Projections for FY 2025/26:

Core cybersecurity infrastructure is in place; current efforts will focus on training, policy development, and testing. All anticipated costs are included within the existing IT budget allocations.

7. Unified Communications

Summary: The City continued its initiative to modernize and unify its communication platforms during FY 2024/25. Staff completed an internal audit to remove unused phone lines, and public Wi-Fi was successfully expanded to La Colonia Park and Fletcher Cove. Council approved a new vendor for the City's phone system, and deployment is scheduled for the upcoming fiscal year. In addition, Council Chambers technology was upgraded to allow remote participation by Council, Staff or presenters, including the installation of voting PC monitors, kiosk displays, enhanced sound with hard-wired microphones, and streamlined AV switching infrastructure. Internally, the City launched a centralized knowledge base for staff, improving information access and support across departments.

FY 2025/26 Actions:

- A. Complete migration to the Council-approved cloud-based phone system.
- B. Integrate Microsoft Teams with the new phone system for unified communications across devices and locations.
- C. Monitor and evaluate public Wi-Fi performance; consider expansion to additional parks and facilities as needed.
- D. Continue refinement of Council Chambers broadcasting to enhance the hybrid meeting experience.
- E. Maintain and update the internal knowledge base to ensure timely access to support documentation and FAQs.

Summary of Budgetary Projections for FY 2025/26:

Budget will support phased implementation of the new phone system and Teams integration. All other tasks, including Wi-Fi monitoring and knowledge base maintenance, will be managed with existing IT resources and Staff time.

8. North County Transit District (NCTD) Property Planning & Coordination

Summary: The North County Transit District (NCTD) is the landowner for the property that includes the Solana Beach Train Station. This property has been explored for development over the last couple decades with a number of initiated solicitations for proposal. No development proposal is being pursued by NCTD at this time. The City continues to meet with NCTD as-needed on the planning and public agency use and/or development of the NCTD site and related public parking.

FY 2025/26 Actions:

- A. Continue to work with NCTD on any proposed future development of the property, prioritizing public agency use and/or development that ties into the existing commercial Corridor.
- B. Analyze the extension of the sidewalk on the west side of North Cedros to Cliff Street.

Summary of Budgetary Projections for FY 2025/26: These actions can be completed with City Staff time. If improvements along the property frontage are determined to be feasible, design and construction costs will be identified and presented to Council for consideration.

9. Business District Collaboration

Summary: The City understands the value of a strong business sector and what it can provide for the overall benefit of the community. A thriving business community provides economic value, job opportunities and entertainment options for those the live, work and play here. The City can assist the business community through many avenues, including special event collaborations, operations efficiencies and strengthening relationships with the various districts. The City is committed to working collaboratively with the businesses to enhance the vibrancy of the community, and all that live here.

FY 2025/26 Actions:

- A. Continue working with the business districts through the Business Liaison committee to strengthen the relationship between the City and business leaders.
- B. Continue to look at City operational efficiencies to assist the businesses with permits and inspections.
- C. Collaborate with the business districts on special events to serve the residents and bring in visitors and new business opportunities

Summary of Budgetary Projections for FY2025/26: At this time, only Staff time is anticipated to continue collaboration with the business districts. If there are joint opportunities that the City can assist with, there may be minimal costs associated.

10. Facilities/Asset Replacement Master Plan

Summary: The purpose of the facilities/asset replacement master plan was to identify costs and funding for the replacement and/or renovation of City facilities and existing assets, including buildings, parks, beach stairs, equipment, vehicles, computers, and furnishings. The City completed a condition assessment and associated costs for all City facilities. Starting in FY 2014/15 through FY 2024/25, Council had authorized a total of \$2,371,000 for this Master Plan. The FY 2025/26 objective is to keep funding this Master Plan and completing necessary maintenance projects at City facilities.

FY 2025/26 Actions:

- A. Update City facility/asset inventory list on an annual basis and prioritize maintenance and replacement costs.
- B. Continue funding Facilities Replacement Fund on an annual basis. Funding will be based on a formula applied equal to 50% of the annual depreciation value building & improvement assets for the prior fiscal year end.

- FY 2025/26 formula-based transfer would be approximately \$300k for General Fund.
- C. Continue funding the Asset Replacement Fund on an annual basis based on a formula applied equal to 50% of the annual depreciation value of vehicles & equipment assets for the prior fiscal year end.
 - FY 2025/26 formula-based transfer would be approximately \$172k for General Fund.
- D. Create a position to oversee asset management and contracts.
- E. Purchase an asset management software program.

Summary of Budgetary Projections for FY 2025/26: The costs to fund facility and asset replacement are significant. Recommended transfers for FY 2025/26 Budget include, \$300,155 to Facilities Replacement from General Fund Reserve for Public Facilities, and \$172,390 to Asset Replacement Fund from General Fund, pending final budget adoption. The total expenditure budget for FY 2025/26 is \$556,782 for the Asset Replacement Fund and \$246,573 for the Facilities Replacement Fund, pending final budget adoption.

11. Proactively Pursue Measures to Reduce CalPERS Future Liabilities

Summary: Council established a PARS Pension Trust Fund in FY 2015/16 to fund Pension liabilities and has appropriated a total of \$5,629,488.20 for unfunded pension liabilities through FY 2024/25. Including contributions and investment earnings, the pension liabilities fund had an account balance of \$6,987,430.88 as of March 31, 2025. The purpose of the establishment of this Trust would be to pay down the CalPERS unfunded future liability quicker and provide less volatility which would lower the overall costs to the City.

FY 2025/26 Actions:

- A. Continue funding the PARS Trust Fund in FY 2025/26.
- B. Consider the development of a Council Pension Funding Policy to address the City's long-term pension obligations.

Summary of Budgetary Projections for FY 2025/26: Staff will request 35% of the fiscal year end surplus be deposited into the PARS Pension Trust Fund.

12. Proactively Pursue Measures to Reduce Other Post-Employment Benefits (OPEB) Future Liabilities

Summary: Council established and is funding a PARS Post-Employment Benefits Trust Fund in FY 2015/16 to fund Other Post-Employment (Health) Benefits (OPEB) liabilities and has appropriated a total of \$1,473,681 for unfunded OPEB liabilities through FY 2024/25. Including contributions and investment earnings, the OPEB liabilities funds had an account balance of \$1,993,200.02 as of March 31, 2025. The purpose of the establishment of this

Trust would be to establish a long-term reserve to pay down the OPEB unfunded future liability quicker and provide less volatility which would lower the overall costs to the City.

Council approved as part of the FY's, 2018/19 through 2025/26 adopted budgets an amount for the City's OPEB obligation. These amounts were equal to the actuarially determined contribution (ADC) for the fiscal years as determined by Foster & Foster, Inc. The ADC includes annual pay-as-you-go benefit payments for retirees and PEMCHA administrative costs with the balance of the ADC being sent to the PARS Trust Fund for OPEB.

Establishing this funding mechanism in the adopted budgets resulted in a reduction in the City's OPEB net liability by \$2,750,870 from \$4,454,874 in FY 2017/18, to \$1,704,004 on June 30th, 2024. Staff will continue to fund an on-going budget line item equal to the ADC as determined by the OPEB actuarial valuation to address the City's OPEB liability obligation.

FY 2025/26 Actions:

- A. Continue funding the PARS Trust Fund in future Fiscal Years pursuant to Council direction.

Summary of Budgetary Projections for FY 2025/26: \$139,300 is included in the FY 2025/26 budget.

13. City Hall Deferred Maintenance

Summary: During FY 2024/25, two HVAC units at City Hall were replaced, including resealing the roof ducts and replacing associated duct insulation. This project was completed in April 2025. Also in FY 2024/25, the elevator modernization project began and is expected to be completed by June 2025.

FY 2025/26 Actions:

- A. Asphalt repairs to parking lot. This work may include removal of trees in the small islands in the interior of the parking lot.
- B. Replace two HVAC units (with heat pumps) and perform corresponding duct work.

Summary of Budgetary Projections for FY2025/26: \$60,000 for City Hall AC and duct work are expected to be appropriated in FY 2025/26 and FY 2026/27 Adopted Budgets. There is \$30,000 available in FY 2024/25 Adopted Budget for the parking lot repairs, that can be rolled over to FY 2025/26.

ONGOING PRIORITIES & MONITORING

The City has completed several integral capital projects and programs over the last fiscal year that are of priority to the City and require monitoring and/or reporting on a regular basis. Additionally, there are a number of areas that as funding arises, or new programs, policies, or legislation are proposed, the City Council has identified a need to prioritize action and responsiveness. The following is a list of ongoing priorities for the City:

Housing and Homelessness:

- A. Identify/pursue outside funding opportunities for development of lower and moderate-income housing.
- B. Evaluate the potential to convert existing buildings to affordable housing.
- C. Explore partnerships with developers to fund units within City-initiated housing projects, when feasible.
- D. Support regional efforts and outreach to address opioid crisis, drug overdose (including prescription drugs) and homelessness problems.

Coastal and Environmental:

- A. Coordinate with the City of Encinitas, USACE, and State Parks on Sand Replenishment Post-Construction Monitoring and Reporting.
- B. Coordinate with SANDAG on regional shoreline monitoring, other coastal projects and Regional Beach Sand Project III.
- C. Continued coordination of efforts with key parties including local, regional, State and federal regulatory and governing agencies for beach sand replenishment and retention projects as a key local sea level rise/climate change adaptation strategy.
- D. Continue to identify and implement other SCoup compatible projects in the City.
- E. Monitor parking and access for Annie's Canyon trail and update social media and other information sources to direct users to the Manchester Avenue Park and Ride.
- F. Continue to reach out and educate all food generators who must comply with the requirements of SB 1383.
- G. Continue to reach out and educate all businesses who must comply with the City's Single-Use Plastics Ordinance.
- H. Continue to use the latest available organic and nonchemical pesticides and eliminate any use of rodenticides in City's Parks, rights of ways and public facilities.
- I. Budget for ongoing infrastructure costs after project completion for such things as the replacement of sprinkler heads and other assorted needs.
- J. Support and promote SEJPA and its efforts to develop a potable reuse program.

Circulation and Parking:

- A. Monitor traffic and parking issues in neighborhoods related to beach and trail usage, and fairgrounds activities, as needed.
- B. Explore the implementation of a circulator or alternative solution to expand mobility options for residents and visitors to move throughout the City, thereby reducing congestion and promoting sustainable solutions.
- C. Prepare an annual Pavement Repair program to address City roadways requiring maintenance and repair.
- D. Explore increased funding for maintenance of the Coastal Rail Trail.
- E. Evaluate the development of a sidewalk installation policy.

Land Use and Planning:

- A. Monitor the regional circulation and land use plans, and any specific rail projects that could impact the City residents and businesses either directly or indirectly.
- B. Monitor the development proposal for the North Bluff property on Border Avenue in Del Mar.
- C. Monitor Fairgrounds plans and projects.
- D. Research ADU and affordable ADU incentive programs.
- E. Conduct Short Term Vacation Rental (STVR) Monitoring and Compliance Review.
- F. Continue to work with SDGE to advance the remaining Utilities Undergrounding Projects (UUP) toward construction.
- G. Continue to seek out opportunities for a community dog park.
- H. Ensure compliance with organic waste management regulations in new developments

City Organizational Effectiveness

- A. Conduct a Transient Occupancy Tax (TOT) local hotel audit.
- B. Sustain and improve the City's records management plan to ensure efficient and effective access and retention of City records for the purpose of identifying, protecting, and preserving the official history of City actions.
- C. Development of City Donation, Dedication and Memorial Policies.
- D. Identify and prioritize Cybersecurity training modules and implement phishing campaigns with Staff to test and correct, if needed, response to cyber threats.